



AGENDA
VILLAGE BOARD MEETING NO. 3338
February 23, 2026 - 7:00 PM
Village Hall - Board Room
300 Plaza Circle, Mundelein, IL 60060

I. CALL TO ORDER

II. ATTENDANCE

III. PLEDGE OF ALLEGIANCE

IV. MINUTES APPROVAL

A. Minute review and approval

Motion to approve the Board of Trustees Regular meeting minutes from February 9, 2026.

V. PRESENTATIONS / AWARDS

A. Liquor License Interest - Hatricks Irish Pub - 320 East Hawley Street

The Board will make a recommendation on whether to proceed to the liquor license application stage.

VI. PUBLIC COMMENTARY

VII. PUBLIC HEARINGS

VIII. MAYOR'S REPORT

A. **Meeting Call** — Committee of the Whole Meeting to discuss the annual Commission / Committee reports on March 9, 2026, at 6:00 PM, at the Mundelein Village Hall - 300 Plaza Circle.

B. Mayoral Proclamation — Verne Lappe

C. Ordinance Amending Chapter 5.76 of the Mundelein Municipal Code - Class J Liquor License

Motion to pass an Ordinance amending Chapter 5.76 of the Mundelein Municipal Code to

authorize sealed-container sales in hotel or university markets under a Class J license, subject to conditions requiring sales only to registered hotel guests aged 21 or older, with ID and residency verification, and compliance with all applicable laws.

D. CBRE Fourth Amendment to Property Management Agreement

Motion to adopt Resolution Approving a Fourth Amendment to a Property Management Agreement with CBRE, Inc. regarding Village-Owned Property at 165 North Archer Avenue, Mundelein, Illinois.

IX. TRUSTEE REPORTS

A. Community Happenings Committee (Grieco, Juarez, Lambert)

1. Community Happenings Report from Trustee Grieco

B. Community and Economic Development Committee (Juarez, Schwenk, Grieco)

1. Mundelein High School District 120 — Ordinance for Interior Parking Lot Landscape Variation

Motion to pass an Ordinance approving a variation from Sections 20.60.110(A) and (B) of the Zoning Ordinance regarding the required interior parking lot islands and shade trees for the properties located at 1350 and 1500 West Hawley Street.

2. Preliminary and Final Plat of Subdivision - 1212 and 1250 South Butterfield Road

Motion to authorize staff to prepare a resolution approving the preliminary and final plat of subdivision for the properties located at 1212 and 1250 South Butterfield Road.

3. Map Amendment and Variations - 1212 and 1250 South Butterfield Road

Motion to authorize staff to prepare an ordinance approving a map amendment and a variation from Section 20.32.040(A)(4) and Section 20.52.040(A)(1) of the Zoning Ordinance for the property located at 1250 South Butterfield Road.

C. Public Works & Engineering Committee (Lambert, Krinski, Juarez)

1. Intergovernmental Agreement between the Lake County Stormwater Commission and the Village of Mundelein for the Wellington Avenue Drainage Improvements Project

Motion to authorize the Mayor to sign an Intergovernmental Agreement between the Lake County Stormwater Commission and the Village of Mundelein for the Wellington Avenue Drainage Improvement Project.

2. NIMEC Electricity Bid - Large and Medium Accounts

Motion to adopt a Resolution authorizing Mundelein to participate in the Northern Illinois Municipal Electric Collaborative (NIMEC) bid process and authorizing the Village Administrator to approve a contract with the lowest cost electricity provider.

3. PW&E Gate Repair

Motion to adopt a Resolution waiving bids, accepting a proposal from Action Fence Contractors, of Mundelein, IL, and approving purchase order number 26-00854 in the amount of \$33,150 for repairs to the Public Works & Engineering gate.

D. Finance Committee (Schwenk, Ugaste, Grieco)

1. Governing Body

Motion to approve the payment of bills, as indicated in the Governing Body Report for the period between February 10, 2026 and ending February 23, 2026 in the amount of \$1,846,390.08.

E. Public Safety Committee (Ugaste, Lambert, Krinski)

F. Building Committee (Krinski, Ugaste, Schwenk)

X. SCHEDULED BUSINESS

A. Omnibus Vote Items

1. CDW Government, Inc. - Microsoft 365 Agreement

Motion to approve purchase order number 26-00825 in the amount of \$81,539.67 to CDW Government, Inc. for year one of three for the Microsoft 365 Agreement.

2. EREG Development LLC-FY26 TIF2 Payment

Motion to approve purchase order number 26-00857 in the amount of \$21,346.66 to EREG Development LLC for Annual TIF Payment Tax Year 2024 Paid 2025.

XI. OTHER BUSINESS

XII. EXECUTIVE SESSION

A. **Motion** to recess into Executive Session to discuss personnel pursuant to 5 ILCS 120, Section 2(c)(1), and minutes pursuant to 5 ILCS 120, Section 2(c)(21).

B. Motion to reconvene Village Board Meeting

C. Attendance

D. Action from Executive Session

XIII. ADJOURNMENT

A. Motion to Adjourn the Regular Board Meeting

The Village of Mundelein, in compliance with the Americans with Disabilities Act, requests that persons

with disabilities who require certain accommodations to allow them to observe and/or participate in this meeting, or who have questions about the accessibility of the meeting or facilities, to contact the ADA Coordinator at 847-949-3200 to allow the Village to arrange accommodations for those persons.

CALL TO ORDER

The 3337th Regular Meeting of the Board of Trustees of the Village of Mundelein was held on February 9, 2026 at 300 Plaza Circle, Mundelein. Mayor Meier called the meeting to order at 7:00 PM.

ATTENDANCE

Clerk Walsh took the roll call. It indicated as follows:

Board Attendance

PRESENT: Trustees Grieco, Juarez, Krinski, Lambert, Schwenk, Ugaste

ABSENT: None

Village Attendance

PRESENT: Attorney Cahill, Village Administrator Guenther, Assistant Village Administrator Monroe, Finance Director Miller, Fire Chief Lark, Police Chief Seeley, Building Department Director Sellas, Community Development Director Orenchuk, Business Services Manager Howe

ABSENT: None

PLEDGE OF ALLEGIANCE

Mayor Meier led the Pledge of Allegiance.

MINUTES APPROVAL

Motion to approve the Board of Trustees Regular meeting minutes from January 26, 2026.

RESULT:	Passed [Yes 6, No 0, Abstained 0]
MOVER:	Trustee Erich Schwenk
SECONDER:	Trustee Jennifer Grieco
AYES:	Jennifer Grieco, Daniel Juarez, Arnold Krinski, Kara Lambert, Erich Schwenk, Tony Ugaste
NAYS:	None
ABSTAIN:	None

PRESENTATIONS / AWARDS

None

PUBLIC COMMENTARY

None

PUBLIC HEARINGS

None

MAYOR'S REPORT

Meeting Call — Committee of the Whole Meeting to discuss the Water Meters on February 23, 2026, at 6:00 PM, at the Mundelein Village Hall - 300 Plaza Circle.

Proclamation - 211 Day

Mayor Meier read the proclamation honoring 211 Day, February 11, 2026, an easy to remember number to help the people of Lake County regardless of the language they speak. Calls are compassionately answered, mostly for help for housing, utilities, employment/income support, mental health concerns, food health care, government and legal support to mention a few. Tim Sashko spoke about the many services, this started just 5 years ago. He made a very firm "ask"--have the Village's front-end staff trained by the 211 staff so that as they become aware of residents' needs they can help. He would like to re-educate the Fire and Police about 211 and improve the customer service so that we are the model community.

Mayor Meier shared the news that the Public Works Department was awarded the Chester Ciecko 2025 Organization of the Year award. The Public Works Department helps the Mundelein Community Connection throughout the year with all the many events they put on.

TRUSTEE REPORTS

Community Happenings Committee (Grieco, Juarez, Lambert)

Community Happenings Report from Trustee Grieco

Trustee Grieco announced the Valentine's Day Blood Drive, the Economic Development Commission will host its annual breakfast on February 26.

Community and Economic Development Committee (Juarez, Schwenk, Grieco)

Fence Variation at 445 Brice Avenue

Motion to pass an Ordinance granting a variation from Section 20.52.050(G)(2)(d)(v) of the Zoning Ordinance regarding a coated chain link fence located within the required corner side yard setback at 445 Brice Avenue, Mundelein, IL.

RESULT: Passed [Yes 6, No 0, Abstained 0]

MOVER: Trustee Daniel Juarez
SECONDER: Trustee Arnold Krinski
AYES: Jennifer Grieco, Daniel Juarez, Arnold Krinski, Kara Lambert, Erich Schwenk, Tony Ugaste
NAYS: None
ABSTAIN: None

Mundelein High School District 120 - PZ2025-0039 - Variation for Interior Parking Lot Landscape

Motion to authorize staff to prepare an ordinance approving a variation from Sections 20.60.110(A) and (B) of the Zoning Ordinance regarding the required interior parking lot islands and shade trees for the properties located at 1350 and 1500 West Hawley Street.

RESULT: Passed [Yes 6, No 0, Abstained 0]
MOVER: Trustee Daniel Juarez
SECONDER: Trustee Erich Schwenk
AYES: Jennifer Grieco, Daniel Juarez, Arnold Krinski, Kara Lambert, Erich Schwenk, Tony Ugaste
NAYS: None
ABSTAIN: None

Comprehensive Plan Amendment

Motion to pass an Ordinance Amending the Official Comprehensive Plan of 2021 for the Village of Mundelein, PZ2025-0038.

RESULT: Passed [Yes 6, No 0, Abstained 0]
MOVER: Trustee Daniel Juarez
SECONDER: Trustee Arnold Krinski
AYES: Jennifer Grieco, Daniel Juarez, Arnold Krinski, Kara Lambert, Erich Schwenk, Tony Ugaste
NAYS: None
ABSTAIN: None

Trustee Lambert asked for clarification as to what this does the the Comprehensive Plan. Director of Community Development Orenchuk explained the Village is not amending the entire plan just a part of the growth area. It is not a regulatory document.

Amendment to Ordinance O-25-10-74 Establishing the Village of Mundelein Micro Shops Advisory Group

Motion to pass an Ordinance Amending Ordinance O-25-10-74, An Ordinance Establishing the Village of Mundelein Micro Shops Advisory Group.

RESULT: Passed [Yes 6, No 0, Abstained 0]
MOVER: Trustee Daniel Juarez
SECONDER: Trustee Kara Lambert

AYES: Jennifer Grieco, Daniel Juarez, Arnold Krinski, Kara Lambert, Erich Schwenk, Tony Ugaste
NAYS: None
ABSTAIN: None

Public Works & Engineering Committee (Lambert, Krinski, Juarez)

Budget Amendment - 260-436-48740 - Streets

Motion to approve a FYE2026 budget amendment for account number 260-436-48740 - Streets in the amount of \$69,479.00 for the construction inspection services for the 2025 (FY26) MFT Roadway Improvements project.

RESULT: Passed [Yes 6, No 0, Abstained 0]
MOVER: Trustee Kara Lambert
SECONDER: Trustee Tony Ugaste
AYES: Jennifer Grieco, Daniel Juarez, Arnold Krinski, Kara Lambert, Erich Schwenk, Tony Ugaste
NAYS: None
ABSTAIN: None

Resolution authorizing the Surface Transportation Program (STP) Federal Fund Appropriation for East Hawley Street improvements

Motion to approve a Resolution authorizing the Surface Transportation Program (STP) Federal Fund Appropriation for East Hawley Street improvements

RESULT: Passed [Yes 6, No 0, Abstained 0]
MOVER: Trustee Kara Lambert
SECONDER: Trustee Jennifer Grieco
AYES: Jennifer Grieco, Daniel Juarez, Arnold Krinski, Kara Lambert, Erich Schwenk, Tony Ugaste
NAYS: None
ABSTAIN: None

Resolution for Construction in a State Highway

Motion to Adopt a Resolution for Construction in a State Highway.

RESULT: Passed [Yes 6, No 0, Abstained 0]
MOVER: Trustee Kara Lambert
SECONDER: Trustee Erich Schwenk
AYES: Jennifer Grieco, Daniel Juarez, Arnold Krinski, Kara Lambert, Erich Schwenk, Tony Ugaste
NAYS: None
ABSTAIN: None

Finance Committee (Schwenk, Ugaste, Grieco)

Governing Body

Motion to approve the payment of bills, as indicated in the Governing Body Report for the period between January 27, 2026 and ending February 9, 2026 in the amount of \$1,553,498.65.

RESULT:	Passed [Yes 6, No 0, Abstained 0]
MOVER:	Trustee Schwenk
SECONDER:	Trustee Lambert
AYES:	Trustee Grieco, Trustee Juarez, Trustee Krinski, Trustee Lambert, Trustee Schwenk, Trustee Ugaste
NAYS:	None
ABSTAIN:	None

Budget Amendment for TIF 2 Payments to School Districts

Motion to approve an FYE2026 budget amendment to account number 340-264-49901.000 in the amount of \$39,313.75 for expenses related to TIF 2 payments to School Districts 75 and 120.

RESULT:	Passed [Yes 6, No 0, Abstained 0]
MOVER:	Trustee Schwenk
SECONDER:	Trustee Krinski
AYES:	Trustee Grieco, Trustee Juarez, Trustee Krinski, Trustee Lambert, Trustee Schwenk, Trustee Ugaste
NAYS:	None
ABSTAIN:	None

Public Safety Committee (Ugaste, Lambert, Krinski)

Fire Chief Lark reminded all again of the blood drive this coming Valentine's Day, February 14.

Police Chief Seeley announced that there will be an open house at the Police Station on March 7. Both canines, Millie and Ranger, will be in attendance.

Building Committee (Krinski, Ugaste, Schwenk)

No report.

SCHEDULED BUSINESS

Omnibus Vote Items

Mundelein High School TIF 9-2025

Motion to approve purchase order number 26-00826 in the amount of \$58,967.40 to Mundelein High School for TIF 9-2025 (2024-25 School Year requested 9/24/25 for Tax Year 2023).

RESULT:	Passed [Yes 6, No 0, Abstained 0]
MOVER:	Trustee Erich Schwenk
SECONDER:	Trustee Tony Ugaste
AYES:	Jennifer Grieco, Daniel Juarez, Arnold Krinski, Kara Lambert, Erich Schwenk, Tony Ugaste
NAYS:	None
ABSTAIN:	None

Mundelein School District #75 TIF 9-2025

Motion to approve purchase order number 26-00827 in the amount of \$38,999.69 to Mundelein School District #75 for TIF 9-2025 (2024-25 School Year requested 9/24/25 for Tax Year 2023).

RESULT:	Passed [Yes 6, No 0, Abstained 0]
MOVER:	Trustee Erich Schwenk
SECONDER:	Trustee Tony Ugaste
AYES:	Jennifer Grieco, Daniel Juarez, Arnold Krinski, Kara Lambert, Erich Schwenk, Tony Ugaste
NAYS:	None
ABSTAIN:	None

Executive Session Meeting Minute Approval

Motion to approve the Executive Session Meeting Minutes for the December 8, 2025 meeting.

RESULT:	Passed [Yes 6, No 0, Abstained 0]
MOVER:	Trustee Erich Schwenk
SECONDER:	Trustee Tony Ugaste
AYES:	Jennifer Grieco, Daniel Juarez, Arnold Krinski, Kara Lambert, Erich Schwenk, Tony Ugaste
NAYS:	None
ABSTAIN:	None

OTHER BUSINESS

EXECUTIVE SESSION

Motion to recess into Executive Session to discuss pending litigation pursuant to 5 ILCS 120, Section 2(c)(11), land acquisition or sale of property pursuant to 5 ILCS 120,

Section 2(c)(5), personnel pursuant to 5 ILCS 120, Section 2(c)(1), and minutes pursuant to 5 ILCS 120, Section 2(c)(21).

Motion to reconvene Village Board Meeting

Attendance

Action from Executive Session

ADJOURNMENT

Motion to Adjourn the Regular Board Meeting

RESULT:	Passed [Yes 6, No 0, Abstained 0]
MOVER:	Trustee Erich Schwenk
SECONDER:	Trustee Jennifer Grieco
AYES:	Jennifer Grieco, Daniel Juarez, Arnold Krinski, Kara Lambert, Erich Schwenk, Tony Ugaste
NAYS:	None
ABSTAIN:	None

The regular Board Meeting adjourned at 7:28 PM.

Village Clerk

To: Mayor and Board of Trustees

From: Jennifer Marshall, Executive Assistant

For: Village Board Meeting of February 23, 2026

Subject: Liquor License Interest - Hatricks Irish Pub - 320 East Hawley Street

Financial Impact:

N/A

Attachments:

1. Hatricks Liquor License Letter of Interest
2. VGT_NTI_Analysis_Report_Mundelein_2025 (1) (002)

Background:

Please see the attached letter of interest for Hatricks Irish Pub at 320 East Hawley Street.

Recommendation:

The Board will make a recommendation on whether to proceed to the liquor license application stage.

Hatricks Irish Pub

Liquor & Video Gaming License Presentation – Village of Mundelein, Illinois



Affiliated Brands: Duffer's Pub • Donati's Pizza • Bratski's

Opening Letter

Mayor Robin Meier and Members of the Village Board, Village of Mundelein, 300 Plaza Circle, Mundelein, IL 60060.

We respectfully submit this proposal in support of our request for approval of a new liquor license and Illinois video gaming license for Hatricks Irish Pub. This reinvestment into the existing Teddy O's location is backed by proven ownership, a food-forward operating model, responsible gaming oversight, and a long-term commitment to the Village of Mundelein.

Executive Summary

Hatricks Irish Pub will operate as a smaller-format version of Duffer's Pub and similar in size and operational efficiency to Bratski's in Lake Bluff. Our objective is to elevate standards, enrich the culinary experience, and operate a compliant, community-centered establishment aligned with downtown Mundelein's growth.

Ownership, Management & Oversight

Ownership consists of Jeff Urso (67%) and Margaret Hahn (33%), with Margaret serving as on-site General Manager. Jeff brings over 25 years of hospitality experience and operates Duffer's Pub, Donati's Pizza, and Bratski's, maintaining multiple liquor, gaming, and food licenses in good standing. Daily oversight ensures compliance, cleanliness, and professional standards.

Food-First Operating Model & Menu

Food is projected to exceed 60% of total revenue. The menu combines traditional Irish fare with proven sports pub favorites.

- Irish Classics: Reubens, Shepherd's Pie, Fish & Chips, Corned Beef & Cabbage

- Sports Favorites: Wings, Burgers, Chicken Sandwiches, Loaded Fries, Shareables
- Pizza Program modeled after Duffer’s Pub
- Catering & Delivery for teams, schools, and organizations

Marketing & Loyalty Program

Hatricks will integrate into the Duffer’s/Donati’s/Bratski’s rewards ecosystem of over 10,000 enrolled members, primarily from Lake Forest and Lake Bluff. Members earn and redeem points across all brands, providing immediate exposure to Downtown Mundelein.

Gaming Operations & Compliance

Gaming operations will follow the successful Bratski’s model with defined placement along the south wall, a 4-foot half wall with frosted glass separation, clear bartender visibility, and full compliance with Illinois Gaming Board requirements.

Financial Projections

Revenue Stream	Projected Annual Revenue
Food Sales	\$350,000
Alcohol Sales	\$225,000
Gaming Revenue	\$180,000

Projections are based on historical operating performance of our existing establishments and will support staffing, compliance, property improvements, and long-term sustainability while generating tax revenue for the Village.

Closing Statement

Hatricks Irish Pub represents experienced ownership, responsible operations, and a long-term investment in the Village of Mundelein. We respectfully request approval and look forward to contributing positively to the downtown district.

VGT Net Terminal Income Analysis Report

Municipality: Mundelein

Reporting Period: January 2025 – December 2025

1. Locations with 6 Machines

Total Locations: 12

Total Machines: 72

Total Net Terminal Income (NTI): \$17,415,150.34

Average NTI per Location: \$1,451,262.53

Average NTI per Machine: \$241,877

2. Locations with 5 Machines or Less

Total Locations: 6

Total Machines: 25

Total Net Terminal Income (NTI): \$2,104,660.15

Average NTI per Location: \$350,776.69

Average NTI per Machine: \$84,186

Performance Comparison

Category	Avg NTI per Location	Avg NTI per Machine
6 Machines	\$1,451,263	\$241,877
5 or Less	\$350,777	\$84,186

Key Takeaways

- 6-machine locations generate approximately 2.87x more NTI per machine.
- On a per-location basis, 6-machine establishments generate over 4x more NTI.
- The performance gap is significant and consistent across the dataset.

Mayoral Proclamation

MAYOR PROCLAMATION RECOGNIZING AND APPRECIATING VERN LAPPE FOR HIS DEVOTED SERVICE TO THE MUNDELEIN COMMUNITY AS A MEMBER OF THE MUNDELEIN OLD # 1 FIRE TRUCK PRESERVATION COMMITTEE

WHEREAS, Vern Lappe was one of the original members of the Mundelein Old #1 Fire Truck Preservation Committee when the group unofficially formed in August of 2008 during the planning of the Village's Centennial Celebrations; and

WHEREAS, he, along with other dedicated volunteers, helped locate, purchase, and restore the 1925 Stoughton Fire Truck originally presented to the Mundelein Fire Department by Cardinal Mundelein in 1925; and

WHEREAS, Vern Lappe and fellow committee members initiated and led fundraising efforts to reimburse the Village for the purchase and restoration of its first fire truck, successfully raising more than \$70,000 in just over two years; and

WHEREAS, he was present when Old #1 was formally returned to the Village of Mundelein as part of the Centennial Celebrations in 2009; and

WHEREAS, when the Mundelein Old #1 Fire Truck Preservation Committee was officially established by ordinance in 2013, Vern Lappe served from its inception with dedication and distinction; and

WHEREAS, upon his retirement in December 2025, Vern Lappe had faithfully served the Committee as its Secretary for more than thirteen years; and

WHEREAS, throughout his tenure, Vern Lappe devoted countless volunteer hours across numerous Village committees, helping to plan, prepare, and carry out events that strengthened community bonds, enriched civic life, and enhanced the spirit of togetherness in Mundelein; and

WHEREAS, the Village of Mundelein and its residents have greatly benefited from Vern Lappe's exceptional dedication, leadership, and unwavering commitment to the residents and visitors of Mundelein.

NOW THEREFORE, BE IT PROCLAIMED, by the Mayor and Board of Trustees of the Village of Mundelein, Lake County, Illinois, that Vern Lappe is hereby recognized and sincerely appreciated for his outstanding contributions and devoted service to the Mundelein community as a member of the Mundelein Old #1 Fire Truck Preservation Committee.

PROCLAIMED, signed, and sealed this 23rd day of February 2026.

ATTEST:

Village Clerk

Mayor

To: Mayor and Board of Trustees

From: Lynne Monroe, Assistant Village Administrator

For: Village Board Meeting of February 23, 2026

Subject: Ordinance Amending Chapter 5.76 of the Mundelein Municipal Code - Class J Liquor License

Financial Impact:

N/A

Attachments:

1. O-26-02-10 - Liquor License Letter of Interest - 510 East Route 83 - Doubletree Request Letter - 01.19.26

Background:

Staff is requesting the board consider an ordinance amending Section 5.76.140 of the Mundelein Municipal Code to allow hotels holding a Class J liquor license to sell alcoholic beverages in sealed containers from a locked case in a designated market area adjacent to the front desk.

Current Class J licenses permit limited on-premises consumption in banquet rooms, lounges, and pool areas, and allow room service under strict conditions. DoubleTree by Hilton (510 East Route 83) submitted a request to enhance the guest experience by offering a small selection of alcoholic beverages in its market, located next to the front desk. The market would be staffed 24/7 by BASSET-certified personnel, with ID checks and locked cooler access only at the time of purchase. Sales would be limited to registered hotel guests aged 21 or older, verified by government-issued ID and confirmation of active reservation.

The proposed amendment to the code adds a new subsection to Class J license provisions authorizing sealed-container sales in hotel markets under strict conditions:

- Products allowed: beer, wine, ready-to-drink beverages (e.g., seltzers, hard teas), and spirits in single-use bottles not exceeding 375 ml.
- Sales only to registered guests aged 21+, with ID and residency verification.
- Locked cooler/case access is controlled by BASSET-certified staff.

- Compliance with existing time restrictions (no sales between 2:00 AM and 8:00 AM) and state open-container laws.

Recommendation:

Motion to pass an Ordinance amending Chapter 5.76 of the Mundelein Municipal Code to authorize sealed-container sales in hotel or university markets under a Class J license, subject to conditions requiring sales only to registered hotel guests aged 21 or older, with ID and residency verification, and compliance with all applicable laws.

STATE OF ILLINOIS)
)
COUNTY OF LAKE)

CERTIFICATE

I, Karen Walsh, certify that I am the duly elected Municipal Clerk for the Village of Mundelein, Lake County, Illinois.

I further certify that on February 23, 2026 the Corporate Authorities of such Village passed and approved:

Ordinance No. O-26-02-10
which is entitled

Ordinance Amending Chapter 5.76 of the Mundelein Municipal Code - Class J Liquor License

The pamphlet form of said Ordinance, including the Ordinance and a cover sheet thereof was prepared and a copy of such Ordinance was posted in the Village Hall commencing on 2/24/2026, and was posted for at least ten days thereafter.

Copies of such Ordinance are available for public inspection upon request in the Customer Service Office.

Dated at Mundelein, Illinois on 2/24/2026.

Village Clerk

ORDINANCE NO. O-26-02-10

AN ORDINANCE AMENDING SECTION 5.76 OF THE MUNDELEIN MUNICIPAL CODE FOR CLASS J LIQUOR LICENSES TO AUTHORIZE SEALED-CONTAINER SALES IN HOTEL MARKETS UNDER A CLASS J LICENSE

WHEREAS, the Village of Mundelein (the “Village”), Lake County, Illinois, is a home rule municipality, as contemplated under Article VII, Section 6, of the Constitution of the State of Illinois, and the passage of this Ordinance constitutes an exercise of the Village’s home rule powers and functions as granted in the Constitution of the State of Illinois;

WHEREAS, the Village of Mundelein regulates the sale of alcoholic liquor under Chapter 5.76 of the Municipal Code;

WHEREAS, Class J licenses currently authorize limited on-premises consumption for hotels, motels, and universities with overnight accommodations;

WHEREAS, DoubleTree by Hilton, located at 510 East Route 83, has requested permission to sell alcoholic beverages in sealed containers from a locked cooler in its market area adjacent to the front desk, exclusively for hotel guests, with BASSET-certified staff and ID verification in place;

WHEREAS, the Village Board finds that allowing such sales under strict conditions will enhance guest experience while maintaining public safety and compliance with state law;

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF MUNDELEIN BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF MUNDELEIN, LAKE COUNTY, ILLINOIS, that:

SECTION I. Amendment to Section 05.76.140

Section 05.76.140, License classifications; fees; number; hours, of the Mundelein Municipal Code is hereby amended to add the following provision under Class J License:

(5) Sealed-Container Market Sales. A Class J licensee may sell alcoholic liquor in sealed containers for off-premises consumption by registered guests, subject to the following conditions:

(a) Definition – “Sealed container” means any factory-sealed bottle, can, or tamper-evident package of alcoholic liquor.

(b) Location – Sales may occur only from a locked cooler or secured display located in a designated market area adjacent to the front desk.

(c) Staffing – Market must be staffed at all times by BASSET-certified personnel who verify age and unlock the case only at the time of purchase.

(d) Products – Permitted items include: spirits in single-use bottles not exceeding 375 ml; canned/bottled beer, wine, ale, and malt beverages, ready-to-drink mixed beverages (e.g., seltzers, hard teas); all products must meet the definition of “alcoholic liquor” as defined in this chapter.

(f) Hours – All existing Class J time restrictions apply (no sales between 2:00 a.m. and 8:00 a.m.).

(g) Compliance – All sales must comply with state open-container laws and Village regulations.

(h) Guest Restriction – Alcoholic liquor may only be sold to registered hotel guests aged 21 or older.

(i) Verification – The licensee shall verify both age and guest status by checking a government-issued photo ID and confirming the guest’s active reservation at the time of purchase.

SECTION II. Remaining Provisions

All other provisions of Section 05.76.140 remain in full force and effect.

SECTION III. Severability

If any section, paragraph or provision of this Ordinance shall be held to be invalid or unenforceable for any reason, the invalidity or unenforceability of such section, paragraph or provision shall not affect the remaining provisions of this Ordinance.

SECTION IV. All ordinances or parts of ordinances in conflict herewith are hereby repealed to the extent of such conflict.

SECTION V. Effective Date

This Ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form, as required by law.

RESULT:	<input type="checkbox"/>
MOVER:	None
SECONDER:	None
AYES:	None
NAYS:	None
ABSTAIN:	None

President

ADOPTED: Monday, February 23, 2026

APPROVED: Monday, February 23, 2026

ATTEST: _____

Village Clerk

Dear Jennifer and Village of Mundelein,

I am writing on behalf of Doubletree by Hilton Mundelein to respectfully request permission to sell alcoholic beverages at our market exclusively for our hotel guests.

The purpose of this request is to enhance our guests' experience by offering a limited, controlled selection of alcoholic drinks as part of our hospitality services. Please be assured that any sale of alcohol would be conducted responsibly, in full compliance with all applicable laws and regulations, and with strict measures in place to prevent misuse. Sales would be limited to adults of legal drinking age and confined to designated times and areas within the market.

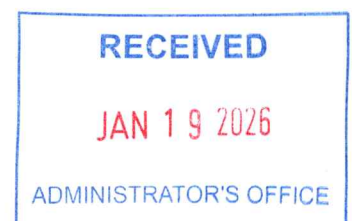
We would offer a small selection of canned and bottled beers, wine, ready-to-drink alcoholic beverages like seltzers and hard tea, and 375ml single-use bottles of alcohol. The market would be staffed 24/7 by our front desk agent, as the market is located adjacent to the desk. All alcoholic items would be placed in a locked display, require an ID check by a Basset-certified hotel agent, and be unlocked only at the time of purchase.

We value our relationship with the village and are committed to operating in a manner that respects local customs, community standards, and public safety. We believe this initiative can enhance our guests' experience while maintaining harmony with the village and its residents.

We would be grateful for the opportunity to discuss this request further or to provide any additional information the council may require. Thank you very much for your time and consideration.

Sincerely,

Allan Zinkann
General Manager
Doubletree Libertyville Mundelein



To: Mayor and Board of Trustees

From: Lynne Monroe, Assistant Village Administrator

For: Village Board Meeting of February 23, 2026

Subject: CBRE Fourth Amendment to Property Management Agreement

Financial Impact:

Approximately \$65,000 annually is budgeted under Archer Business Center fund.

Attachments:

1. R-26-02-08 - Exhibit A - CBRE 4th Amendment to PMA
2. R-26-02-08 - Original Agreement for reference

Background:

The Village entered into a management agreement with CBRE in March of 2022 to assist with property management and financial administration at the Archer Business Center building, 165 North Archer. The term of the agreement is one-year and is due for renewal.

CBRE's services contribute to responsiveness of tenant concerns, assist with building maintenance and provide financial management, and staff recommends renewing the management agreement for an additional one-year period under the same contract terms.

Recommendation:

Motion to adopt Resolution Approving a Fourth Amendment to a Property Management Agreement with CBRE, Inc. regarding Village-Owned Property at 165 North Archer Avenue, Mundelein, Illinois.

I hereby certify that the attached is an original of

Resolution No. R-26-02-8

that said Resolution was adopted on **February 23, 2026**,

that it was posted in the Village Hall commencing on

2/25/2025 and for at least 10 days

thereafter. Copies are available for public inspection

upon request of the Village Clerk.

Village Clerk

RESOLUTION NO. R-26-02-8

RESOLUTION APPROVING A FOURTH AMENDMENT TO A PROPERTY MANAGEMENT AGREEMENT WITH CBRE, INC. REGARDING VILLAGE-OWNED PROPERTY AT 165 NORTH ARCHER AVENUE, MUNDELEIN, ILLINOIS

WHEREAS, the Village and CBRE Inc. entered into a property management agreement (the “Management Agreement”) on March 2, 2022 with a one-year term to manage and maintain the building owned by the Village of Mundelein at 165 North Archer Avenue, Mundelein, IL; and

WHEREAS, the Village and CBRE Inc. signed a first amendment to the agreement on February 27, 2023; and

WHEREAS, the Village and CBRE Inc. signed a second amendment to the agreement on February 12, 2024; and

WHEREAS, the Village and CBRE Inc. signed a third amendment to the agreement on January 27, 2025; and

WHEREAS, the Village Board has determined that it is in the best interest of the Village of Mundelein to extend the Management Agreement with CBRE, Inc. regarding the management and maintenance of said property for a period of one year, to expire on March 14, 2027.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF MUNDELEIN, COUNTY OF LAKE, STATE OF ILLINOIS as follows:

SECTION I. The Fourth Amendment to Property Management Agreement between CBRE, Inc. and the Village of Mundelein, a copy of which is attached hereto as **Exhibit A**, is hereby approved.

SECTION II. The Mayor is hereby authorized to sign the Fourth Amendment to Property Management Agreement on behalf of the Village of Mundelein.

RESULT:	<input type="checkbox"/>
MOVER:	None
SECONDER:	None
AYES:	None
NAYS:	None
ABSTAIN:	None

President

ADOPTED: Monday, February 23, 2026

APPROVED: Monday, February 23, 2026

ATTEST: _____

Village Clerk



FOURTH AMENDMENT TO PROPERTY MANAGEMENT AGREEMENT

This Fourth Amendment to the [*Property Management Agreement*] ("Amendment") is entered into this 12 day of February 2026, but shall be deemed to have been effective as of March 15, 2026 (the "Amendment Effective Date") by and between the Village of Mundelein, ("Owner"), and CBRE, INC., a Delaware corporation ("Manager").

WHEREAS, Owner and Manager have previously entered into a Property Management Agreement dated March 2nd, 2022 ("Agreement") for the property commonly known as The Village of Mundelein, and located at 165 N Archer Avenue, Mundelein, IL ("Property"); and

WHEREAS, Owner and Manager desire to modify certain terms of the Agreement.

NOW, THEREFORE, in consideration of the mutual promises contained herein, the receipt and sufficiency of which are hereby acknowledged, Owner and Manager agree as follows:

1. Definitions. Unless otherwise defined herein, all capitalized terms used in this Amendment shall have the same respective meanings provided therefor in the Agreement.
2. Term. The Term of the Agreement shall be extended for a period of one year, commencing on the Amendment Effective Date and expiring, if not sooner terminated, on March 14, 2027.
3. Counterparts and Delivery. This Amendment may be executed in any number of counterparts, each of which shall be deemed to be an original, but all of which together shall constitute one and the same instrument. Delivery of a signed counterpart of this Amendment by electronic means constitutes a good and valid execution and delivery of this Amendment.
4. Ratification; Binding Effect. Owner and Manager hereby ratify and confirm their respective obligations under the Agreement, as modified pursuant to this Amendment. This Amendment shall be binding upon Owner and Manager and their respective successors and assigns. If any inconsistency exists or arises between the terms of the Agreement and the terms of this Amendment, the terms of this Amendment shall prevail.

IN WITNESS WHEREOF, this Amendment has been executed on the date and year first above written.

Owner:

Manager:

Village of Mundelein

CBRE, INC.

By: _____

By: _____

Name: _____

Name: Jeff Venable

Title: _____

Title: Managing Director

I hereby certify that the attached is an original of
Resolution No. 22-02-12
that said Resolution was adopted on **February 28, 2022**;
that it was posted in the Village Hall commencing on the
3rd day of **March 2022** and for at least 10 days
thereafter. Copies are available for public inspection
upon request in the office of the Village Clerk.



Village Clerk

RESOLUTION NO. 22-02-12

A RESOLUTION APPROVING AND AUTHORIZING EXECUTION OF A PROPERTY MANAGEMENT AGREEMENT WITH CBRE, INC. REGARDING VILLAGE-OWNED PROPERTY AT 165 NORTH ARCHER AVENUE, MUNDELEIN, ILLINOIS

WHEREAS, CBRE Inc. has prepared a property management agreement (the "Management Agreement") with a one-year term to appoint CBRE, Inc. to manage and maintain the building owned by the Village of Mundelein at 165 North Archer Avenue, Mundelein, IL; and

WHEREAS, the Village Board has determined that it is in the best interest of the Village of Mundelein to enter into the Management Agreement with CBRE, Inc. regarding the management and maintenance of said property.

NOW, THEREFORE, BE IT RESOLVED by the President and Board of Trustees of the Village of Mundelein, Lake County, Illinois as follows:

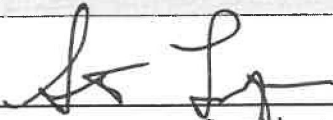
Section 1. The Management Agreement between CBRE, Inc. and the Village of Mundelein, a copy of which is attached hereto as **Exhibit A**, is hereby approved.

Section 2. The Mayor is hereby authorized to sign the Management Agreement on behalf of the Village of Mundelein.

PASSED this 28th day of February 2022 by a roll call vote.

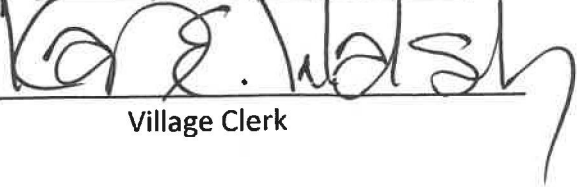
<p>RESULT: CARRIED [UNANIMOUS] MOVER: Kerston Russell, Trustee SECONDER: Tim Wilson, Trustee AYES: Wilson, Cabachuela, Ross, Lambert, Russell, Schwenk</p>
--

PASSED: February 28, 2022



President

APPROVED: February 28, 2022

ATTEST: 

Village Clerk



****CONFIDENTIAL FORM AGREEMENT****

****PROPRIETARY TO CBRE****

This Management Agreement ("Agreement") is made as of March 2, 2022, between Village of Mundelein, ("Owner" or "Village"), and CBRE, Inc., a Delaware corporation ("Manager"), with reference to the following facts:

- A. Owner is the owner of the land and improvements commonly known as Archer Business Center and located at 165 N. Archer Avenue, Mundelein, IL 60060, containing approximately 163,300 square feet, with Tax Identification Number: 11-30-100-039 and 11-30-100-040 (the "Property").
- B. Manager is in the business of managing properties similar to the Property and possesses the skills and experience necessary for the efficient, professional management of the Property.
- C. Owner desires to engage the services of Manager in connection with managing the Property and Manager desires to provide such services to Owner.

Now, therefore, in consideration of the mutual covenants and agreements contained herein, Owner and Manager agree as follows:

ARTICLE I - BASIC TERMS

1.1 Appointment. Owner hereby appoints Manager as the exclusive manager for the Property as of the Commencement Date for the Term of this Agreement. Owner hereby authorizes Manager as "agent" to exercise such powers and take such actions on Owner's behalf with respect to the Property as may be necessary for the performance of Manager's obligations under this Agreement. Manager hereby accepts such appointment on the terms and conditions hereinafter set forth. The "Commencement Date" for the services to be performed hereunder shall be **March 15, 2022**

1.2 Term.

The term of this Agreement shall commence on the Commencement Date and, unless earlier terminated pursuant to Section 8.1, shall continue for a period of one (1) year ("Term"). The date on which this Agreement expires or is terminated is referred to herein as the "Termination Date."

- 1.3 Bank and Bank Account: Manager shall designate a financial institution reasonably acceptable to Owner (the “Bank”), Mundelein Community Bank & Trust, the deposits of which are insured by the Federal Deposit Insurance Corporation (“FDIC”), up to the FDIC insurance coverage limits, in which, on behalf of Owner and at Owner’s expense, and using Owner’s tax identification number, Manager shall open one or more Property management accounts (collectively, the “Bank Account”), into which all rents and other revenues from the Property shall be deposited pursuant to this Agreement and from which Manager is authorized as “Agent for Owner” to draw funds to pay all approved and authorized expenses for the Property, as set forth herein. Manager shall name as signatories for the Bank Account employees of Manager, in accordance with applicable law. If Manager’s electronic signature is stored on Owner’s server, Owner shall use best efforts to secure Manager’s signature so as to prevent unauthorized use thereof and Owner shall be responsible for any unauthorized use. If the Property is located in California, Arizona, Oregon, or Washington (collectively, the “Restricted Jurisdictions”), Owner acknowledges that applicable law states that Manager and Owner cannot both be signatories on the Bank Account. In such instances, Manager shall be the sole signatory and have sole control over such Bank Accounts; provided that in the Restricted Jurisdictions Manager agrees to act promptly at the direction of Owner with respect to the use and distribution of funds in the Bank Account. In such instances if Manager is the signatory on the Bank Account then Manager shall deliver to Owner, upon Owner’s request, all funds in excess of what is reasonably required to remain in the Bank Account to manage the Property and pay Property-related expenses. Except in the Restricted Jurisdictions, Owner and Manager shall have control of the Bank Accounts, and any and all monies received from the operation of the Property by Manager from any source shall pass through the corresponding Bank Account. The funds in the Bank Account shall at all times be the separate property of Owner, maintained separate and apart from any funds of Manager or of others. The Bank Account shall consist of one or more non-interest bearing transactional accounts unless (a) Owner instructs Manager in writing to open (at Owner’s expenses) an additional, separate money market account or other interest-bearing account, in which case Manager shall arrange to maintain in the interest-bearing account such funds as it can, in its reasonable discretion, from time to time without unduly impairing its ability to pay day-to-day Property management expenses from the transactional accounts or (b) if the amounts to be deposited consist of tenant security deposits required by state law to be maintained in separate accounts, whether interest-bearing or not, in which case, Manager shall establish such additional account or accounts and maintain such account or accounts in accordance with applicable law. If such additional accounts are established, they shall be deemed collectively to constitute the “Bank Account” for purposes of this Agreement. Manager’s responsibilities with respect to the Bank Account shall be only as specifically set forth herein. Owner acknowledges that the principal purpose of the Bank Account is to facilitate the management of the Property hereunder and not as an investment opportunity for Owner. Manager shall have no duty to provide or arrange for any particular rate of return on the funds in any interest-bearing account or to seek alternative investment opportunities for uninvested funds. The parties acknowledge that the transaction account established hereunder is non-interest bearing; that no financial or other benefits will be earned by Owner with respect to funds deposited in the transactional account (or by any tenant with respect to funds deposited into a non-interest bearing tenant security deposit account). Any earnings allowances granted Manager in connection with Manager’s maintenance of the Bank Account will first be used to offset Owner bank service fees or be applied to monthly charges. Residual benefits not directly attributable to the Property or Bank Account otherwise accrue to the benefit of Manager. The value of such residual benefits, if any, is taken into account by Manager in pricing its property management services generally. Owner acknowledges and agrees that Manager is entitled to receive and retain such benefits.
- 1.4 Party Representatives. Each of Owner and Manager shall appoint a representative to be the party’s contact for decisions relating to the services performed under this Agreement. Initially, Owner’s representative shall be [Village Administrator or their Designee] and Manager’s representative shall be [_____]. Either party may change their representative by notice pursuant to Section 9.4.
- 1.5 Management Fee and Related Fees.

- (a) Management Services Fee. Owner shall pay Manager as compensation for the management services rendered hereunder a management fee (the "Management Fee") in an amount per month equal to the greater of **\$4,600** (as defined below). The Management Fee will be adjusted each January 1 during the Term by the increase in the CPI-U 1982=100 on a seasonally adjusted basis for the previous 12 months as compiled by the U.S. Bureau of Labor Statistics. Any sales tax imposed on Manager's expenses or fees in connection with its services hereunder will be paid by the Property. The Management Fee shall be due and payable in the month in which it is earned. Manager shall withdraw such Management Fee from the Bank Account and account for it in a manner consistent with this Agreement.
- (b) Project Management Fee. Owner shall pay Manager as compensation for any construction or project management services requested by Owner pursuant to Section 3.13 a fee ("Project Management Fee") as set forth below, provided Manager shall be entitled to a minimum Project Management Fee of **\$2,500** on any Project requested. If Manager is not paid for such services, neither Manager nor its employees shall have an obligation to provide any construction or project management services including, but not limited to, supervision, bid capital or tenant improvement work, collection of lien releases, or obtaining certificates of insurance from general contractors and/or subcontractors for construction and related matters.

Managed Project Cost	Fee - % of Managed Project Cost
First \$0 – \$500,000	6%
Next \$500,001 - \$750,000	5%
Next \$750,001 - \$1,000,000	4%
Thereafter Greater than \$1,000,000	3%

The fee shall be calculated based on total project costs on a cumulative basis. For example purposes only, if the total project costs equal \$600,000, Manager shall be paid 6% of the first \$500,000 and 5% of the remaining \$100,000.

Payment will be made to Manager in equal periodic payments over the duration of the project or as a monthly invoice calculated by the determined percentage fee multiplied by the monthly design or construction related invoice. As used herein, "Managed Project Cost" means the cost of all demolition work and improvement work coordinated by Manager, including all Authorities Having Jurisdiction permits, licenses and approvals; planning and design; mobilization and construction; security; voice/data cabling; signage; furniture, fixtures and equipment; art, audio visual; and coordination and integration to base building systems.

- (c) Financial and Consulting Services Fees. Owner shall pay Manager an hourly fee, mutually agreed to by the parties in advance, for any additional financial services not covered by Exhibit A or consulting services relating to the property that Manager may agree to perform upon Owner's request.
- (d) Due Diligence Fee. Owner acknowledges that due diligence work relating to the acquisition, sale or refinancing of all or part of the Property, including generating, reviewing or analyzing accounting or other financial reports, generating or reviewing estoppels and delivery and collection thereof from tenants, performing physical property audits, compiling copying and transmitting information to prospective purchasers or lenders and settlement sheet preparation and review are outside the scope

of this Agreement. Owner shall pay Manager for these services as follows:
_____].

- (e) Legal Proceedings. Owner shall pay to Manager a fee for time of its employees (other than employees fully dedicated to the Property) and excluding the time for routine matters during normal business hours of Manager's on-site reimbursed personnel, expended in connection with any legal proceedings relating to the Property in an amount of \$200 per hour. This fee shall only be incurred in connection with any partially allocated employee of Manager providing assistance to Owner in connection with litigation involving Owner or the Property and shall not extend to any matter covered by the parties' indemnification obligations or any matter in which CBRE is a party and Owner is not named.
- (f) CBRE Technical Services Charges. Owner shall pay Manager the amounts and in the manner set forth in Exhibit B attached hereto.

1.6 Reimbursement and Charges. The following items relating to Manager's operation and management of the Property shall be reimbursed and paid by Owner by disbursement from the Bank Account:

- (a) Owner shall pay or reimburse Manager for a percentage of any employment severance payments incurred by Manager for terminating an employee of Manager as a result of Owner's early termination of this Agreement or Owner's request that the number of Manager's personnel allocated to the Property be reduced (the "Terminated Employees"). Owner's percentage of severance for Terminated Employees shall be determined by comparing (1) the time such individual devoted to the operational activities under this Agreement and (2) the Terminated Employee's tenure with Manager. Owner will not be responsible for reimbursing Manager for any severance payments if the applicable Terminated Employee was terminated or removed for "cause". Owner shall also pay or reimburse Manager for the pro rata portion of any accrued vacation of a Terminated Employee.
- (b) Owner shall pay or reimburse Manager on a monthly basis for telecommunications, including network or Internet connectivity and maintenance, computer hardware, software and maintenance; necessary software licenses (including, without limitation, Kardin Budget) and training, and office supplies, postage, copier, parking expenses, courier services, outsourced common area maintenance, insurance certificate tracking services, lockbox for tenant receipts, accounting and payroll software, and banking services and local business and license fees and similar items which are directly attributable to the management of the Property. Owner and Manager may agree upon a fixed rate charge for any of the foregoing items, which rate will be reflected in the Approved Budget. The parties acknowledge such fixed rate charge would not be reconciled to any cost amounts. Owner will not be required to pay any deficiency to the extent such fixed rate charge for an item does not fully cover Manager's financial burden and Owner will not receive any rebate to the extent the fixed rate charge results in a financial benefit to Manager.

1.7 Payment of Other Costs. Manager may make expenditures from the Bank Account as set forth in the Approved Budget or for emergencies as authorized in this Agreement.

1.8 Payment of Certain Charges Affecting the Property. Owner shall pay all taxes, special assessments, ground rents, insurance premiums and mortgage payments affecting the Property as they become due and before any delinquency date, except that Owner reserves the right, at its option, to give written instructions to Manager to make any such payments from the Bank Account.

ARTICLE II – LEASING

Manager shall not be responsible for new leasing services for the Property unless Manager enters into a separate leasing agreement with Owner. Regardless of whether Manager has entered into a leasing agreement with Owner, Manager agrees to assist and cooperate with any leasing agent appointed by Owner for the Property.

ARTICLE III – MANAGER DUTIES AND SERVICES

- 3.1 General Duties and Services. Manager, on behalf and for the account of Owner, shall use diligent efforts to manage and operate the Property consistent with the Approved Budget (as defined herein) and shall comply with Owner's reasonable instructions, subject to available funds from Owner. Manager shall perform its management services in a professional and diligent manner and consistent with industry standards in the locale where the Property is located. Under no circumstances shall Manager be required to advance funds from its own account for the operation, maintenance, repair or management of the Property. References in this Agreement to employees of Manager shall be deemed to include employees of affiliates and third-party service providers of Manager who may be assigned to provide services hereunder for the Property. Manager shall have the exclusive right to hire, direct, discipline, compensate and terminate its employees, and shall exercise complete and exclusive control over the conduct of its employees.
- 3.2 Vendor Contracts. Manager shall negotiate contracts on behalf of Owner with third party vendors (“Vendors”) for the operation, repair, maintenance and servicing of the Property, consistent with industry standards. Such service contracts shall be entered into with Vendors by Manager as agent for and in the name of Owner and terminable with respect to the Property on 30 days’ notice or less, unless otherwise approved by Owner (“Vendor Contracts”). Manager shall require that any Vendor performing work on the Property maintain insurance satisfactory to Owner. Manager shall obtain certificates of insurance for all such insurance and furnish copies to Owner upon request. Manager shall not execute or otherwise enter into or bind Owner with respect to any contract for equipment, supplies, services or any other item where the monthly aggregate amount of such contract is in excess of \$1,000 without obtaining competitive written bids. The funds necessary to pay for such services shall be paid from the Bank Account. If this Agreement is executed by Owner in anticipation of acquiring the Property, Owner hereby permits Manager to engage Vendors and enter into Vendor Contracts in accordance with the terms of this Section 3.2 prior to Owner’s acquisition of the Property.
- 3.3 Maintenance and Repairs. Subject to the Approved Budget, Manager shall perform, or cause to be performed under Vendor Contracts, all ordinary maintenance, repairs, alterations, replacements and installations, acquisition of utilities, and purchase all supplies necessary for the proper operation of the Property. Manager shall not make any purchase or order any work costing more than \$1,000 for non-emergency purchases and repairs without Owner's prior written approval, except as set forth in the Approved Budget, or in circumstances reasonably deemed by Manager to be an emergency requiring immediate action for the protection of the Property or tenants, compliance with laws, or to avoid the suspension of necessary services. Manager shall promptly notify Owner of emergency repairs or compliance and any related cost information. Manager shall submit to Owner and maintain a list of all Vendors that perform any services on the Property under Manager's direction. All repairs, alterations and replacements shall be of at least equal quality and workmanship to the original work, subject to the requirements of the Approved Budget and Owner’s authorization. Manager shall not be obligated to act or refrain from acting to the extent such obligation would be inconsistent with applicable laws.
- 3.4 Purchase of Supplies and Materials. Manager shall, on behalf of and for the account of Owner, purchase all equipment, tools, appliances, materials and supplies reasonably necessary or desirable for the operation of the Property. All such purchases shall be subject to the prior review and written approval of Owner if such purchases are not included in the current Approved Budget. Contracts for all such purchases shall be in the name of Owner and signed by Owner or Manager as Owner’s agent. Manager shall use commercially

reasonable efforts to qualify for any cash and trade discounts, refunds or credits arising directly from the purchases for Owner referred to in this Section, and pass same along to Owner.

3.5 Contracts with Affiliated Entities. With the approval of Owner, Manager may purchase certain services set forth in this Agreement from affiliates of the Manager. Owner hereby acknowledges that CBRE Technical Services, LLC (“CBRE Technical”) is an affiliate of Manager that provides certain technical facility management and maintenance services, and Owner hereby approves that Manager, from time to time as appropriate, may engage CBRE Technical to perform services at the Property, as contemplated by Section 3.14 of this Agreement. The amounts to be paid by Owner for these services, and the amounts to be reimbursed by Owner for certain out-of-pocket expenses, shall be as set forth in Exhibit B attached hereto. Owner acknowledges that CBRE Technical and Manager are affiliated entities and Owner waives any claims that such relationship constitutes a conflict of interest. Owner further acknowledges that CBRE Technical and Manager are covered under the same insurance policies and agrees that the insurance requirements for CBRE Technical and Manager shall be satisfied by the insurance policies maintained by Manager pursuant to this Agreement. Notwithstanding anything to the contrary in this Agreement, CBRE Technical and Manager shall not be required to maintain duplicative insurance policies. The provision of services by an affiliate of the Manager shall not relieve the Manager of its obligations under this Agreement and any such arrangement shall include an undertaking by the affiliate to comply with all applicable provisions of this Agreement relating to the services to be provided by the affiliate.

3.6 Complaints and Notices.

- (a) Except as set out in Exhibit D (Data Privacy) section (e), Manager shall promptly handle complaints and requests from tenants, concessionaires and licensees and notify Owner of any material complaint made by a tenant, concessionaire or licensee. Manager shall promptly notify Owner following knowledge of the following: (i) any violation of governmental requirements affecting the Property; (ii) any fire, accident or other material casualty or damage to the Property; (iii) any condemnation proceedings, rezoning or other governmental order, lawsuit or threat thereof involving the Property; (iv) any violation of applicable law relative to the repair and maintenance of the Property; or (v) any violation of insurance requirements. Manager shall promptly deliver to Owner copies of any documentation in its possession relating to such matters. Manager shall keep Owner reasonably informed of the status of the particular matter through the final resolution thereof. In the event Manager becomes aware of any fire or other material damage to the Property, Manager shall immediately give telephonic notice thereof to Owner. Manager shall complete all necessary and customary loss reports in connection with any fire or other damage to the Property. Manager shall retain in the records it maintains for the Property copies of all supporting documentation with reference to such notices.
- (b) Manager shall promptly notify Owner and any insurance agent Owner may designate of any personal injury or property damage occurring to or claimed by any tenant or third party on or with respect to the Property following Manager’s knowledge thereof. To the extent legally permitted, Manager shall promptly forward to Owner with copies to any insurance agent Owner may designate any summons, subpoena or other legal document served upon Manager relating to the actual or alleged potential liability of Owner, of Manager in connection with its services at the Property or of the Property.
- (c) In the event there is any claim, demand, suit or other legal proceeding between a third party and Owner which relates to the Property, this Agreement or Manager's performance hereunder (a “Property Proceeding”), Manager shall, upon Owner’s request and subject to payment of applicable fees pursuant to Section 1.5(e) above, and at Owner’s expense, give Owner all pertinent information, comply with subpoena requests and provide reasonable assistance to Owner in connection therewith.

3.7 Tenant Insurance Certificates. Manager shall use commercially reasonable efforts to obtain from all tenants certificates of insurance required to be furnished by the terms of their leases.

3.8 Enforcement of Leases.

- (a) Manager shall use commercially reasonable efforts to enforce the terms of all leases, concessions and licenses that it manages with respect to the Property. Manager shall use commercially reasonable efforts to coordinate with the leasing broker with respect to those components of the lease addressing renewal, extension, expansion or termination. Any letters of credit required from a tenant shall be held by Owner or a third party designated by Owner.
- (b) Subject to payment of applicable fees pursuant to Section 1.5(e), Manager shall, at Owner's request and expense, engage counsel and cause legal proceedings to be instituted as may be necessary to enforce payment of rent and compliance with provisions of tenant leases, to dispossess tenants, or to enforce the terms of vendor or subcontractor contracts. Manager shall use Owner's choice of legal counsel to assist as deemed necessary by Owner in lease and/or contract preparation and negotiation, to provide legal advice in connection with management issues at the Property, and to institute legal proceedings. All compromises, settlements, or legal proceedings shall be subject to the prior approval of Owner. Attorneys' fees and costs incurred in any of the foregoing shall be expenses of the Property, and ultimately an obligation of Owner. Owner and Manager shall agree upon a reasonable projection for attorneys' fees and costs in the Approved Budget. Notwithstanding anything to the contrary contained herein, no representation or advice is or will be made by Manager as to the legal sufficiency, legal effort or legal tax or accounting consequences of any transaction or documentation. Owner must rely on its own legal, tax and accounting advisers.

3.9 Special Billings.

- (a) "Special Billing" means any periodic billing requirement or change in a billing rate charged to a tenant under such tenant's lease as a result of the Property's operating expenses, a tenant's volume of business, or a CPI or other index, including, but not limited to, such items as commonly are described as expense pass-through, recoveries, escalations, CAM or CPI adjustments, and percentage sales or rent. Within 90 days after the commencement of this Agreement, subject to receiving the necessary information from Owner, Manager shall deliver a statement to Owner describing all of the information, data and documents received from Owner or the prior property manager, which Manager has used to establish a basis for calculation of Special Billings for each tenant at the Property. Owner shall certify in writing that such information is accurate and complete or provide written corrections or additions within 30 days after delivery of the statement to Owner. Owner's failure to notify Manager in writing of any corrections or additions within such 30-day period shall be deemed certification by Owner of the accuracy and completeness of such information. During the Term, Manager shall be responsible for sending Special Billings to each tenant in accordance with the terms of such tenant's lease and the information certified by Owner.

- (b) Manager may rely upon, and shall not be responsible for the completeness and accuracy of, any information, data and documents received from Owner or the prior financial services provider or property manager (other than CBRE, Inc.), or generated prior to the commencement of this Agreement, in connection with the performance of its duties and obligations hereunder including, but not limited to, the preparation and calculation of Special Billings. Manager shall not be responsible for Special Billings, which either are due, or are based upon expense activity, for (i) periods ending prior to the commencement of Manager's management of the Property, or (ii) periods ending subsequent to the termination of Manager's management of the Property under this Agreement.

3.10 Compliance with Laws. Manager shall obtain and keep in full force and effect, at Owner's expense, all licenses, permits, consents and authorizations as may be necessary for the operation of the Property. All of such licenses, permits, consents and authorizations shall be in the name of Owner, if required in writing by Owner. Manager shall obtain and keep in full force and effect (in the name of Manager) all real estate licenses as may be necessary for the proper performance by Manager of its duties and obligations hereunder. Manager shall use commercially reasonable efforts to remedy the violation of any law during the Term of which it has actual knowledge and subject to adequate funding by Owner. Expenses incurred in so complying and in correcting any such violation shall be included in the Approved Budget or otherwise approved by Owner. Notwithstanding the foregoing, however, Manager's responsibilities under this Section shall not extend to matters governed by Section 3.12 [Environmental Risk Management], Section 3.17 [Data Privacy] or to which the expenditure of Owner's funds is required but disapproved by Owner or such funds are not made available by Owner. Manager shall not be obligated to act or refrain from acting to the extent such obligations would be inconsistent with applicable laws.

3.11 Tax Review.

- (a) Manager shall reasonably cooperate with appraisers and consultants retained by Owner to evaluate the Property or to appeal assessed values as part of Owner's tax review program, but Manager shall not be responsible for such undertakings. Manager, upon request from Owner, shall promptly furnish Owner with copies of all assessment notices and receipted tax bills.
- (b) Owner acknowledges that Manager's organization includes a division known as CBRE Property and Transaction Tax Services that provides property and transaction tax services, including, but not limited to, property tax appeals ("Property Tax Matters"). Manager shall be responsible for all Property Tax Matters and Owner acknowledges that Manager will engage CBRE Property and Transaction Tax Services as Owner's agent, pursuant to a separate engagement letter, to provide such services unless Owner specifically requests that another vendor be chosen to perform these services. Manager will ensure that CBRE Property and Transaction Tax Services provides these property tax services in a cost-effective manner and consistent with market rates. The employees of CBRE, Inc. which provide the Property and Transaction Tax Services pursuant to such engagement letter are specially qualified to do so, and the provision of those services is not intended to limit or alter any property tax disclaimers contained in this Agreement. Owner acknowledges that the employees of CBRE, Inc. who are providing the property management services hereunder are not qualified to perform the Property and Transaction Tax Services and they shall not be expected to do so.

3.12 Environmental Risk Management.

- (a) Notwithstanding anything to the contrary contained herein, Owner acknowledges and understands that Manager is not qualified to (x) evaluate the presence or absence of hazardous or toxic substances, mold, waste, materials, electromagnetic field, radon, radioactive materials, or other environmental concerns under applicable law, upon, within, above, or beneath the Property (collectively,

“Hazardous Materials”); (y) maintain or evaluate compliance with environmental, Hazardous Materials or waste laws, rules and regulations; or (z) conduct or ensure clean-up or remediation of Hazardous Material spills or contamination. If Owner determines an environmental assessment report of the Property is necessary, such report will be obtained from an independent environmental consultant retained by Owner. In no event will Manager make an independent determination as to the presence or absence of Hazardous Materials, or whether Owner, the Property or any particular tenant is in violation or compliance with any laws relating to Hazardous Materials (“Hazardous Materials Laws”). Manager shall have no obligation or liability with respect to the abatement, clean-up or remediation of any spill of or contamination from any Hazardous Materials relating to the Property. Owner agrees that, with respect to any abatement, clean-up or remedial action that Owner desires to implement, Owner shall directly enter into a contract with a qualified and licensed environmental clean-up company to undertake such responsibilities. In the event Manager becomes aware of any material violation of laws respecting Hazardous Materials, Manager shall immediately give telephonic notice thereof to Owner. In addition to the foregoing, Owner acknowledges that Manager is not qualified and shall not be responsible for implementing or overseeing any temperature or other health screening in or about the Property. Owner agrees to directly contract for any such services with a qualified provider.

- (b) Owner has provided Manager a copy of its most current Phase I survey, if any, covering the Property and has implemented or will implement within 60 days of the Commencement Date an Operations and Maintenance Program consistent with market standards. Owner will provide Manager with copies of any subsequent Phase I survey documents and changes to the Operations and Maintenance Program.
- (c) Owner acknowledges that Manager’s organization includes a division known as Assessment and Consulting Services that provides a variety of property evaluation services, including, but not limited to, environmental condition assessments. If Owner elects to engage Assessment and Consulting Services, it shall be done pursuant to a separate engagement letter and terms and conditions, executed directly by Owner. The employees of CBRE, Inc. which may provide the Assessment and Consulting Services pursuant to such engagement letter are specially qualified to do so, and the provision of those services is not intended to limit or alter any environmental or hazardous materials disclaimers contained in this Agreement. Owner acknowledges that the employees of CBRE, Inc. who are providing the property management services hereunder are not qualified to perform the Assessment and Consulting Services and they shall not be expected to do so.

3.13 Project Management Services. From time to time Owner may request that Manager perform “Project Management Services” (as described below) for a “Project” for the Project Management Fee set forth in Section 1.5(b). “Project Management Services” shall generally consist of coordinating, overseeing and expediting the completion of tenant improvements and other capital construction relating to a Project. The parties acknowledge and agree that the work product provided by contractors, architects, engineers, design professionals and similar persons (“Contractors”) will be the responsibility of such persons and Manager does not warrant or guaranty their performance or work product. Owner, or tenant as the case may be, will enter into all Project-related contracts directly with Contractors in its name. Project Management Services may include:

Project Team Composition & Pre-Construction Activities

- Discuss strategy for team composition with Owner and leasing team, as required.
- Assist in development of conceptual budgets for prospects (up to three per tenant).
- Research existing vendors and perform pre-qualifications for recommendation(s)

to Owner.

- Review the insurance elements of the Project and assist Owner's risk and legal advisors to establish appropriate contractual indemnification and insurance requirements for consultants, contractors and vendors engaged for work on the Project, provided that Owner acknowledges Manager will not provide any professional insurance or legal advice in connection with this scope.
- Recommend specialized team members in required disciplines, pre-qualify as necessary.
- Issue requests for proposals (RFP's) to architects, engineers and other specialty Contractors as required by Owner.
- Receive and analyze RFP responses and submit recommendation(s) for Owner's review, approval and signature of contract(s).
- Monitor insurance certificate collection process for selected general contractor.
- Receive and analyze construction proposals and submit recommendation(s) to Owner for review, approval and signature of contract(s).
- Review architectural plans to confirm Project requirements have been incorporated.

Design and Construction Oversight

- Review design plans and subsequent construction documentation to confirm Project requirements and opportunities for value engineering.
- Develop landlord/building management coordination plan for Project requirements.
- Lead periodic site meetings with Project team to review Project status, schedule and budget.
- Review monthly payment applications from Project vendors for accuracy and submit to Owner for payment.
- Oversee completion of required field inspections.
- Advise Owner as to expected issuance of Certificate of Occupancy.
- Conduct punch list inspection with architect, general contractor and Owner.
- Monitor final sign-off of improvements with various municipal building inspectors.
- Manage close-out of Project vendor contracts/payments.

Manager shall have no responsibility to discover any patent or latent defects of work product or completed operations of Contractors. In no case shall the liability of Manager for Project Management Services exceed the Project Management Fees paid to Manager for the applicable Project.

3.14 Engineering Services. Manager shall provide or, pursuant to the terms and conditions set forth in Section 3.5 of this Agreement, may engage CBRE Technical Services, LLC ("CBRE Technical") to provide, the following services at the Property:

- (a) Prepare, maintain and regularly review records for service, repair, operation, complaints and preventative maintenance related to building envelope and engineering systems and equipment in the Property consistent with any procedures as may be identified by Owner.
- (b) Provide copies of operating logs, periodic management reports and copies of preventative

maintenance activities as reasonably required by Owner consistent with any procedures as may be identified by Owner.

- (c) If directed by Owner, establish and maintain a program of inventory control for replacement parts, supplies, tools and equipment, and provide Owner with periodic reports on usage, current inventory and predicted requirements consistent with any procedures as may be identified by Owner. Owner shall provide all tools, parts, equipment and supplies necessary to perform the services herein with the exception of small hand tools customarily provided by Manager's engineers or CBRE Technical's employees. Tools, equipment or supplies broken or lost due to the negligence of Manager's engineers or CBRE Technical shall be replaced by Manager or CBRE Technical at its cost.
- (d) Furnish Owner with recommendations for physical plant improvements consistent with increased personnel safety, energy efficiency and sustainability, equipment life span, system reliability, and code compliance.
- (e) Employ reasonably skilled and competent employees to perform the services and manage all manpower, including the coordination of specialty contractors solicited by and contracted by Owner, required to operate and maintain the Property in a first class manner.
- (f) Immediately replace any employee who causes any breach of peace or other disturbance while at or about a Property. Owner may periodically evaluate the manpower needs of the Property and determine that additions or reductions in staff are required. If directed by Owner, Manager shall immediately reduce (or direct CBRE Technical to immediately reduce) staff or provide capable candidates for Owner's review and Manager's (or CBRE Technical's, if applicable) compensation shall be adjusted as provided for in the Annual Budget.
- (g) Ensure that all of Manager's engineers or employees of CBRE Technical wear uniforms and safety shoes provided by and at the expense of Owner. Laundering and mending services shall be provided by and at Owner's expense. Manager (or CBRE Technical, if applicable) will reimburse Owner for uniforms lost or stolen while in the possession of Manager (or CBRE Technical's, if applicable) employees. All of Manager and CBRE Technical's employees shall present a reasonably clean and neat appearance at all times.
- (h) Submit a list to Owner of at least three emergency numbers of employees who are authorized to dispatch back-up working crews in the event of a request by Owner for such services. Manager or CBRE Technical shall periodically update these emergency numbers.
- (i) Make available for Owner's review, at any time during the term hereof, all records, logs, reports, programs and compilations maintained hereunder. All records, logs, reports, programs and compilations shall be and remain the sole property of Owner and shall be surrendered to Owner upon the termination of this Agreement. Manager or CBRE Technical shall establish and maintain a maintenance library consisting of "as-built" drawings, manufacturers' manuals, maintenance manuals, operating logs and similar compilations of information pertaining to the engineering systems and equipment in the Property, subject to Manager's or CBRE Technical's access to the relevant materials relating to the Property.
- (j) Keep all mechanical and electrical equipment and areas reasonably clean, neat and painted with no material amounts of debris or extraneous material, tools, parts and equipment except during actual hours of work on a specific project.

- (k) The services shall not include maintenance and/or repair of fire safety and/or security equipment.
- (l) It is understood that Manager and CBRE Technical has access to certain knowledge, expertise and proprietary software applications and other proprietary or confidential information relating to the Property and the services (collectively, the “Technical Library”). The Technical Library may be continually refined and updated during the course of the performance of the services. Owner agrees to permit Manager and CBRE Technical to input Property specific operating procedures and data, including, without limitation, data relating to management, cost, technical operations, and maintenance the Property and related personal property, into the Technical Library. Notwithstanding anything to the contrary in this Agreement, Owner shall retain ownership of the Technical Library as it relates to the Property. Notwithstanding any provision hereof to the contrary, nothing contained in this Agreement is intended to confer upon Owner any rights in or to Manager’s proprietary software.
- (m) It is understood that Manager’s engineers and CBRE Technical’s personnel receive valuable safety and technical training, as well as report their time, via web-based applications. Owner shall make every effort to afford access to the internet by Manager’s engineers and CBRE Technical’s personnel in the Property.

3.15 Computer Software. At Owner’s cost, Manager shall utilize the software system(s) (and if required to run the software, the specialized hardware, connectivity, service and support requirements necessary for such software), required by Owner (the “Software Requirements”). If such Software Requirements do not include Manager’s own software, Owner agrees to provide and pay for all annual licensing agreement fees and training for Manager’s employees (including travel costs) related to Manager’s adoption of the Software Requirements. Any software licensed in the name of Manager or an affiliate thereof will remain with Manager or its affiliate, following the Termination Date.

3.16 Energized Electrical Work Standard. Owner acknowledges that Manager’s internal policy with regard to energized electrical work (“EEW”) states that no electrical work shall be performed on energized electrical conductors, equipment, or circuit parts, subject only to specific exceptions and obtaining required approvals. This standard is applicable to all of Manager’s employees (including CBRE Project Managers) and third-party contractors, subcontractors, and consultants engaged by Manager as agent to the Owner. With the exception of necessary diagnostics and testing that can be authorized by the CBRE Real Estate Manager or Chief Engineer (or Mobile Maintenance Supervisor where applicable), all requests to perform EEW must be submitted using prescribed exemption request forms, reviewed and recommended by the CBRE Director or Associate Director of Engineering Operations, and approved in writing by the CBRE Property Management Market Leader having overall authority for the geographic market where the Property is located.

3.17 Data Privacy. To the extent the delivery of the services hereunder includes the processing of Personal Information (as defined in Exhibit D (Data Privacy)), the parties will comply with Exhibit D (Data Privacy).

ARTICLE IV – BUDGETS, REPORTS, AND FINANCIAL SERVICES

4.1 Budgets. Manager shall review and adapt Owner’s current operating and capital budget, if available, or prepare and submit to Owner a proposed new operating and capital budget (as applicable, the “Budget”) for the operation, repair and maintenance of the Property for the remainder of the calendar year in which the Commencement Date occurs. Thereafter, on or before the date specified each year by Owner (but not later than January 1, Manager shall prepare and submit to Owner an updated Budget for the remainder of the current calendar year and a preliminary Budget for the next calendar year followed by a final Budget for the next calendar year, incorporating any changes requested by Owner. Such Budgets shall: (i) be prepared on

one of the following bases, as directed in advance by Owner: cash, modified cash or accrual basis (not a combination); and (ii) show a month by month projection of income, expenses, capital expenditures, reserves and other non-recurring items. Owner shall notify Manager within 30 days after Owner's receipt of the proposed Budget as to whether Owner approves or disapproves the proposed Budget; if Owner fails to notify Manager within such 30-day period, then the Budget will be deemed approved by Owner (an expressly approved or "deemed approved" Budget is referred to herein as the "Approved Budget"). Manager shall implement the Approved Budget and use commercially reasonable efforts to ensure that the cost of operating the Property shall not exceed the Approved Budget. The Approved Budget shall constitute an authorization for Manager to expend necessary monies to manage and operate the Property in accordance with the Approved Budget and subject to the provisions of this Agreement until a subsequent Budget is approved; the approval of non-recurring costs and capital improvements in the Approved Budget shall constitute an authorization for Manager to collect bids for the expenditure and present a final recommendation to Owner for expenditure of monies to implement such items called for in the Approved Budget.

- 4.2 Financial Services. Manager shall provide the agreed-upon accounting services to Owner as described on Exhibit A attached hereto. Accounting for the Property shall be prepared on a cash basis. Manager shall not be responsible for the preparation of any forms, reports, invoices or tax returns required to be filed or prepared on behalf of Owner in connection with the Property by any local, state, federal or other governmental authority.
- 4.3 Remittance of Funds to Owner. Upon request by Owner, or pursuant to an agreed-upon periodic schedule, Manager shall remit to Owner all funds collected as part of Manager's obligations hereunder in excess of (i) anticipated expenditures for the calendar month that Manager is authorized to make pursuant to the Approved Budget, (ii) any reserves approved by Owner and (iii) the Management Fee, any applicable Project Management Fees, the fees pursuant to Exhibit A, and other fees or reimbursement amounts or charges due and payable to Manager hereunder. Owner shall have the right to require the transfer to Owner at any time of funds in the Bank Account considered by Owner to be in excess of an amount reasonably required by Manager for disbursement and compensation purposes in connection with the operation and management of the Property.
- 4.4 Records. Manager shall maintain separate books and records for the Property as provided by its property management system, which shall be supported by proper documentation. During the Term, Manager shall retain such books and records for such time as is prescribed by Manager's document retention policy or as otherwise required by applicable law. Following the Term, Manager may dispose of all books and records not requested by Owner to be returned. Owner or its representatives may conduct examinations, during normal business hours and upon reasonable prior notice, of the books and records maintained for Owner by Manager. Owner also may perform any and all additional audit tests relating to Manager's activities, either at the Property or at the office of Manager; provided such audit tests are directly related to those activities performed by Manager for Owner and do not unduly interfere with the performance of Manager's duties under this Agreement. Any and all such audits shall be at the sole expense of Owner. Should Owner discover either weaknesses in internal controls or errors in record keeping, Manager shall correct discrepancies either upon discovery or within a reasonable period of time after the audit.

- 4.5 Liability. Owner acknowledges that there is an inherent risk of loss from the increasing occurrence of unauthorized instruments including without limitation forged, altered or counterfeit checks, and unauthorized ACH items. At Owners option and cost, Manager shall employ the use of ACH Fraud Filters and Positive Pay Services. In the event that Owner suffers or incurs a loss from payment of fraudulent or unauthorized instruments, Manager will work with Bank and use commercially reasonable efforts to assist Owner in recovering the loss. Any claim, action or proceeding against Manager for losses or damages arising from any financial, consulting or related service covered by this Agreement, must be brought within six (6) months from the date of the relevant act or omission or in the case of a check issue from the date the check was first paid or returned by Bank.
- 4.6 USA Patriot Act. All financial institutions must comply with the USA Patriot Act. As a result, Owner may be required to provide formation documents such as Articles of Incorporation or information describing ownership and leadership information.
- 4.7 Insufficient Funds in Bank Account. Manager shall not be required to expend any of its own funds for disbursements chargeable to Owner. If there are insufficient funds in the Bank Account for a disbursement, Manager may, after notifying Owner of such insufficiency in writing, defer making any disbursement until Owner has furnished the funds necessary for such disbursement. If Manager is responsible for making a mortgage payment on behalf of Owner, sufficient funds must be available in a reserve balance of the Owner. Inability of Owner to provide or adequately fund a reserve balance shall release Manager from any liability for late fee assessments or other penalties relating to the timing of a mortgage payment.
- 4.8 Transitional Services. Owner shall pay Manager additional compensation for accounting and management set-up and transition costs equal to \$2,500.00. This fee shall be due and payable within 30 days following invoice therefor. Owner shall pay Manager additional compensation for transition accounting and other services if the property is sold ("Disposition Fee") equal to \$2,500.00. The Disposition Fee is due and payable not later than the closing date of the property sale. If Manager is the broker for the sale transaction, the Disposition Fee shall be waived.
- 4.9 Confidentiality. Each party shall hold in confidence and not use or disclose to third parties any confidential or proprietary information of the other party or its affiliates which is disclosed to the receiving party, including but not limited to, the terms of this Agreement, any confidential data, information, plans, programs, processes, costs, or operations information, provided, however, the obligations hereunder shall not apply to the extent such information (a) is available to the general public or generally known within the real estate industry, or (b) already known by or independently developed by the recipient without the use of any confidential information of the other party or (c) is required to be disclosed pursuant to law, court order or subpoena (with notice to the disclosing party, provided such notice is permitted by law or legal process).
- 4.10 Changes in Scope. To the extent Manager reasonably believes it will incur greater than nominal additional costs as a result of a material change in the scope of services set forth in this Agreement, then Manager shall notify Owner, and Manager and Owner shall negotiate in good faith and agree on a reasonable additional fee for such change in scope. If Owner and Manager cannot in good faith agree on the fee modification after reasonable efforts have been put forth, then, upon ninety (90) days' prior written notice to Manager, Owner shall have the right to terminate this Agreement without any termination fee or other penalty. Within five (5) business days following Manager's receipt of Owner's notice of termination set forth in the preceding sentence, Manager shall have the right to withdraw its request for an additional fee, in which event Owner's termination notice shall be deemed null and void.

ARTICLE V – RESPONSIBILITIES OF OWNER

5.1 Documents Provided by Owner. In order for Manager to set-up and establish operations, Owner shall provide to Manager in a reasonably organized and orderly manner, such information, documents and certificates regarding the Property as Manager shall reasonably request for purposes of performing its duties hereunder, and as Owner has in its possession, including, but not limited to, the following to the extent available:

- (a) Owner's completed form W-9.
- (b) Operating budget, capital budget, income cash flow report and variances from the budgets for the past and current calendar year.
- (c) List of historical common area maintenance charges and operating expenses, together with operating expense reconciliation for the prior year.
- (d) Accounting records, including YTD general ledger, previous month's financial report, most recent real estate tax statements, and tenant accounts receivable ledgers.
- (e) Closing entries.
- (f) Books and records relating to management, operation and leasing of Property.
- (g) Complete tenant files, including lease documents and correspondence.
- (h) Current rent roll.
- (i) Tenant and vendor insurance certificates.
- (j) Legal descriptions of Property and improvements, together with site plans and specifications.
- (k) Mortgagees' names and addresses, lien holders, loan payment information and the like.
- (l) Inventory of Owner's personal property, including all tools, equipment and supplies.
- (m) List of vendor and third party contracts in force.
- (n) List of brokers actively engaged in leasing the Property.
- (o) List of all vendors used by the Property including current W-2s for all domestic vendors and applicable forms for all foreign vendors.
- (p) Insurance policies on the Property and schedules of Owner's current and past policies.
- (q) Files on litigation or disputes.
- (r) Procedures for reporting claims.
- (s) Completed sales tax license application (with license fee), for purposes of obtaining license number(s) from applicable municipalities. Sales Tax liability is the responsibility of ownership until license number is provided to Manager.

The above shall remain the property of Owner but made available to Manager for its use under this Agreement.

5.2 Owner's Obligations. Throughout the Term, Owner agrees to perform the following:

- (a) If applicable, furnish Manager, at Owner's sole cost and expense, (i) an office, together with necessary furniture, fixtures and equipment (including printers, high-speed internet connectivity, copiers, phones, office supplies) for Manager's sole use that is suitable for the conduct of Manager's duties hereunder, and (ii) sufficient computer systems for the conduct of Manager's duties hereunder. In addition, Owner shall, at Owners' sole cost and expense, allow Manager to provide technical support services and such connections as are necessary to allow Manager to access Manager's corporate server. These expenses shall be reimbursed for an off-site office until the on-site management office is available or feasible. Manager acknowledges and agrees that space in the Village Hall is acceptable.
- (b) Pay Manager for its services in the amounts and in the manner and at the times described in this Agreement.
- (c) Promptly reimburse Manager, upon written demand, to the full extent of all funds advanced by Manager for Owner's account in carrying out the terms and conditions of this Agreement.
- (d) Communicate with Manager through Manager's assigned manager for the Property at the property management level.
- (e) Maintain adequate funds in the Bank Account to fund all expenditures to be made by Manager pursuant to the terms of this Agreement.
- (f) Promptly disclose to Manager, upon request, the property and liability loss history of the Property as set forth in the records of Owner and Owner's insurance carriers.
- (g) Promptly disclose to Manager in writing, any unresolved past or present claims, conditions, or occurrences which may become future claims, conditions, or occurrences which would not be covered by insurance policies maintained by Owner, including those policies required to be maintained by Owner under this Agreement.
- (h) Promptly inform Manager in writing of the existence on the Property of any structural defect which causes or threatens to cause a nuisance upon the Property or adjacent properties or poses or threatens to pose any hazard to the health or safety of any persons on or about the Property.
- (i) Promptly inform Manager in writing of the existence on the Property of any Hazardous Material, the presence of which either: (i) requires investigation or remediation under any federal, state, or local laws, rules, codes, statutes, regulations, orders, notices, determinations, ordinances, or other requirements; or (ii) causes or threatens to cause a nuisance upon the Property or adjacent properties or poses or threatens to pose any hazard to the health and safety of any persons on or about the Property.
- (j) Promptly take, at Owner's sole expense, all measures, including without limitation, the commission of inspections, tests, studies, and remediation activities to ensure that the Property complies with all federal, state, or local laws, rules, codes, statutes, regulations, orders, notices, determinations, ordinances, or any other requirements relating to any such Hazardous Materials. Furthermore, Owner, at Owner's sole expense, shall obtain and maintain and require all contractors and consultants to obtain and maintain liability insurance in an amount sufficient to adequately insure against any identified or suspected environmental hazard at the Property or any other hazards relating to any such inspections, test, studies, and remediation activities. All such liability policies shall name Manager as an additional insured. Manager shall be entitled to receive certified copies of all such policies upon request.

- (k) Review of financial reports and other deliverables provided by Manager.
- (l) Provide Owner accounting policy documentation.
- (m) Comply with all applicable laws relating to the Property.

ARTICLE VI – INSURANCE

6.18 Insurance Covering the Property and its Management.

- (a) Owner shall maintain the following insurance during the Term:
 - (i) “All risk” direct damage property insurance for the Property on a replacement cost basis. If the Property is under construction, “all risk” builder’s risk insurance shall be carried covering the full cost of construction.
 - (ii) Commercial general liability insurance (current ISO form CG 00 01) on an “occurrence” basis in an amount not less than \$5,000,000 each occurrence, which may be satisfied through any combination of primary and umbrella coverage.
 - (iii) Loss of rental income, business interruption and extra expense coverage or similar insurance protecting against lost income due to damage to the Property.

All policies providing for such coverage shall waive all the insurer’s right of subrogation against Manager and its affiliates. Such insurance shall be the primary insurance for claims arising at or on the Property and any policy of Manager shall be excess and non-contributing in all respects. Manager shall be included as an additional insured on the commercial general liability and umbrella insurance policies. Any deductibles or self-insured retentions associated with the policies will be wholly for the account of Owner and, with respect to Manager, will be treated as though it were first dollar insurance. Owner shall furnish Manager certificates of insurance evidencing the insurance coverage required by this Section. Owner shall endeavor to provide Manager 30 days prior written notice of any cancellation or non renewal.

b) Manager’s Insurance: During the Term, Manager shall maintain the following insurance relating to its services hereunder:

<u>INSURANCE</u>	<u>LIMITS</u>
Workers’ Compensation	As required by statute in the state where the Property is located and where Manager has employees performing services pursuant to this Agreement.
Employer’s Liability	\$1,000,000 per accident
Commercial General Liability Insurance	\$1,000,000 per occurrence/ \$2,000,000 aggregate
Business Automobile Coverage	\$1,000,000 per accident



Professional Liability Insurance	\$1,000,000 per occurrence and annual aggregate
Fidelity or Commercial Crime (Employee Dishonesty)	\$2,000,000 per occurrence
Umbrella Liability Insurance	\$5,000,000 per occurrence and annual aggregate

Manager may fulfill its liability insurance obligations through any combination of primary and umbrella coverage. Any excess or umbrella policy must provide excess coverage over underlying insurance on a follow-form basis such that when any loss covered by the primary policy exceeds the limits under the primary policy, the excess or umbrella policy becomes effective to cover such loss. Manager shall furnish Owner certificates of insurance evidencing the insurance coverage required under this subsection. Should Manager's insurance coverage be cancelled or non renewed for any reason, Manager shall endeavor to provide Owner 30 days prior written notice of such cancellation or non renewal.

The Village, its officers, officials, employees, agents and volunteers should be included as Additional Insured the required commercial general liability, auto liability and umbrella liability policies, to the extent of losses attributable to Manager's indemnification obligations. Any insurance required to be carried by Manager shall be primary to the extent of losses attributable to Manager indemnification obligations, and not excess to any other coverage carried by the Village. Any insurance or self-insurance maintained by the Village, its officials, officers, employees, agents and volunteers shall be in excess of Manager's and shall not contribute with it.

c) Vendor Insurance. Except as provided hereafter, Manager shall require, from Vendors hired to perform work at the Property, the following insurance, in the following amounts, or such other amounts as directed by Owner, for the Vendor services performed.

INSURANCE

MINIMUM LIMITS

Workers' Compensation	As required by statute in the state where the Property is located and where any operations relating to the contract are located, with waiver of subrogation against Owner and Manager.
Employer's Liability	\$3,000,000 each accident.
Commercial General Liability*	\$3,000,000 per occurrence and aggregate
Business Automobile Coverage	\$3,000,000 (any auto/owned/non-owned/hired) per accident
Commercial Crime Coverage	\$1,000,000 per loss

* This coverage shall be primary to Owner's and Manager's insurance and will cover Owner and Manager as Additional Insureds for claims arising out of the Vendor's ongoing and completed operations for or on behalf of Owner or Manager. Owner and Manager shall be named as Additional Insureds by endorsement to Vendor's Commercial General Liability and Auto Liability insurance policies.

(ii) Vendors may fulfill their insurance obligations through the use of any combination of

primary and umbrella coverage.

- (iii) If a Vendor's work involves professional design or engineering, special evidence of \$3,000,000 in professional liability coverage.
- (iv) If a Vendor's work involves any hazardous or toxic substances or materials such as Asbestos or Asbestos abatement, special evidence of \$3,000,000 in Contractor's Pollution Liability coverage..
- (v) Owner may require additional coverage as they deem reasonable and may waive certain limits or requirements on a case-by-case basis. Manager shall require each Vendor to submit certificates of insurance and endorsements in form and substance satisfactory to Owner or Manager as evidence of the coverages required. Each required policy will provide for (A) waiver of subrogation against Owner and Manager; and (B) if Vendor's liability insurance limit is subject to a policy aggregate, the aggregate limit must apply per project, or per location. All of Vendor's policies will provide for 30 days' prior written notice to Manager or Owner of cancellation and shall be issued by insurers with a Best's rating of A - VII or higher as reported in the most recent Property & Casualty Reports Key Rating Guide edition.
- (vi) For Projects in which Manager acts as Project Manager, Owner will require all Contractors to extend broad form indemnities to both Owner and Manager and name Owner and Manager as additional insured.

ARTICLE VII – INDEMNIFICATION

7.19 Indemnification.

- (a) Owner shall indemnify, and hold harmless Manager and its affiliates, from and against any and all liabilities, obligations, claims, losses, awards, judgments, settlements, demands, damages, costs, penalties and fees (including attorneys' fees) to or for third parties (as used in this Article VI, "Claims") to the extent caused by the negligence of Owner including, any actual violation of the Property with respect to Hazardous Materials Laws, any damage caused as a result of Hazardous Materials on the Property placed there by the Owner.,
- (b) Manager agrees to defend, indemnify and hold harmless Owner, its officers, officials, employees, and agents from and against any and all Claims which may in anywise accrue against the Village, its officers, officials, employees, agents and volunteers to the extent attributable to Manager's negligence or willful misconduct.
- (c) "Indemnified Party" and "Indemnitor" shall mean Manager and Owner, respectively, as to Section 7.1(a) and shall mean Owner and Manager, respectively, as to Section 7.1(b). If any action or proceeding is brought against the Indemnified Party with respect to which indemnity may be sought under this Section 7.1, the Indemnitor, upon written notice from the Indemnified Party, shall assume the investigation and defense thereof, including the employment of counsel and payment of all reasonable expenses. The Indemnified Party shall have the right to employ separate counsel in any such action or proceeding and to participate in the defense thereof, but the Indemnitor shall not be required to pay the fees and expenses of such separate counsel, unless such separate counsel is employed with the written approval and consent of the Indemnitor.

7.20 Waiver of Claims. Notwithstanding anything to the contrary contained herein, Owner and Manager each

hereby waives its rights of recovery and subrogation against each other and its respective agents, officers and employees for any losses or damage that are insured against or required to be insured against under this Agreement or with respect to the Property. Such waiver shall apply regardless of whether the loss or claim is caused in whole or in part by the acts or omissions of a released party, and regardless of whether the waiving party maintains a third party policy against, or self-insures, all or any portion of the risks required to be insured against hereunder. Each of Owner and Manager agree to make such disclosure to its insurance carrier(s) and to use best efforts to obtain any necessary consents or endorsements necessary to effect the foregoing.

- 7.21 Waiver of Indirect Damages. Notwithstanding anything to the contrary contained herein, neither Owner nor Manager shall be liable for any lost or prospective profits or any other indirect, consequential, special, incidental, punitive or other exemplary losses or damages, whether in tort, contract or otherwise, regardless of the foreseeability or the cause thereof, that would not otherwise be covered under the standard liability or property insurance forms required of the parties hereunder.
- 7.22 Survival. This Article VII shall survive expiration or termination of this Agreement.

ARTICLE IV – TERMINATION

- 8.1 Termination of Agreement. This Agreement may be terminated prior to the expiration of the Term on the following terms and conditions, provided that termination shall not relieve Owner or Manager from liabilities or claims accruing and arising up to and including the date of termination:
- (a) Owner shall have the right to terminate this Agreement in the event that Manager fails in any material respect to perform any obligation of Manager under this Agreement, and such default continues uncured for a period of 15 days after written notice thereof by Owner to Manager.
 - (b) In the event the Property is sold to a party which is not affiliated with Owner, Owner shall have the right to terminate this Agreement with 30 days' prior written notice to Manager; provided, however, that if Owner terminates this Agreement under this subsection prior to the first anniversary of the Commencement Date, Owner will pay Manager Termination Fees (defined below).
 - (c) Either party shall have the right to terminate this Agreement if a petition for bankruptcy, reorganization or rearrangement is filed under any federal or state bankruptcy or insolvency laws by the other party, or if any such petition is filed against the other party and not removed or discharged within 60 days thereafter.
 - (d) Manager shall have the right to terminate this Agreement in the event Owner fails in any material respect to keep observe or perform any obligation of Owner under this Agreement, including, without limitation, any failure to fund amounts due hereunder, and such default continues for a period of 15 days after written notice thereof by Manager to Owner, or if Owner materially fails to comply with any law relating to or affecting Owner's ownership of the Property.
 - (e) In the event there is a condemnation of all or any substantial part of the Property, then this Agreement shall automatically terminate as of the date of such taking.
 - (f) Owner or Manager may terminate this Agreement without cause at any time by providing the other with 60 days' prior written notice; provided, however, that if Owner terminates this Agreement under this subsection (f) prior to the first anniversary of the Commencement Date, Owner will pay Manager a termination fee equal to the sum of (x) the average of the monthly management fee for the three full calendar months preceding the month in which such termination becomes effective, plus (y) the

average monthly amount reimbursed or paid to Manager for the Compensation Costs and the associated Staffing Fee, with respect to dedicated employees for the three full calendar months preceding the month in which such termination becomes effective, plus (z) any severance amounts due hereunder (collectively the “Termination Fees”).

- 8.2 Final Accounting. Manager shall, within 30 days following expiration or termination of this Agreement, deliver to Owner, at Owner’s expense, the following: (i) an accounting reflecting the balance of income and expenses of the Property as of the date of termination or expiration of this Agreement; (ii) any funds of Owner then held by Manager; and (iii) all executed leases, receipts for deposits, Owner’s insurance policies, unpaid bills, Owner’s books and records, and other material documents pertaining to the Property which are in the possession of Manager. If Owner does not object in writing (specifying with reasonable detail the bases for such objections) delivered to Manager within 30 days following Owner’s receipt of the foregoing, Owner shall be deemed to have approved all of the foregoing and Manager shall be deemed to have fully performed all of its obligations under this Agreement and shall be fully released by Owner from any and all liability or obligation to Owner under this Agreement. Any financial reporting requested by Owner after the expiration or termination of this Agreement (other than the final accounting) shall be prepared by Manager as an Additional Financial Service at an agreed upon fee.
- 8.3 Non-Solicitation. During the Term and for a period of one year thereafter, Owner shall not, directly or indirectly, employ or solicit for employment any employees of Manager or its affiliates with whom Owner had contact in connection with the performance of this Agreement prior to the date of termination. Owner acknowledges and agrees that a breach of this Section could not adequately be compensated by money damages, and, therefore, Manager shall be entitled, in addition to any other right and remedy available to it, to an injunction restraining any breach or threatened breach, and Manager shall not be required to post a bond in any proceeding brought for such purpose. Owner further acknowledges and agrees that the provisions of this Section are necessary and reasonable to protect Manager in the conduct of its business. Nothing herein shall be construed as prohibiting Manager from pursuing any other remedies, at law or in equity, for any such breach or threatened breach.

ARTICLE V – MISCELLANEOUS

- 9.1 Status of Manager and Relationship of Parties. Nothing herein contained shall be construed as creating the relationship of employer-employee or establishing any trust, partnership or joint venture arrangement between Owner and Manager. Nothing in this Agreement shall deprive or otherwise affect the right of either party to own, invest in, manage or operate property, or to conduct business activities which are competitive with the business of the Property. Nothing herein shall be construed as requiring Manager to bear any portion of any losses or gains arising out of or connected with the ownership or operation of the Property.
- 9.2 Indirect Benefits. “Indirect Benefits” mean the following: (a) non-cash compensation or other non-cash benefits, gifts, promotions, consideration or other advantages received by Manager or an affiliate of Manager from third parties in connection with the general property management business or other activities of Manager or an affiliate of Manager, including third parties with whom Manager may deal with in the performance of its duties under this Agreement; and (b) benefits received by Manager or an affiliate of Manager by virtue of any equity interest held by Manager or such affiliate in third parties with whom Manager may deal with in the performance of its duties under this Agreement; and (c) other indirect benefits arising from the business of Manager, including its activities under this Agreement, which do not constitute cash and trade discounts, refunds or credits directly resulting from and based upon supplies or equipment purchased by Manager for or on behalf of Owner under this Agreement. Owner understands and recognizes that from time to time during the Term, Manager or an affiliate of Manager, may receive or obtain such Indirect Benefits and Manager or such affiliate shall be entitled to retain all such Indirect Benefits for its own account; it being

understood by Owner that Manager takes the value of such Indirect Benefits into account in pricing its property management services generally.

- 9.3 Conflicts of Interest. In the event of a conflict between Manager's representation of Owner with respect to any transaction in connection with this Agreement and the obligations of Manager or its affiliate to another party with respect to such transaction, at Owner's request, Manager shall establish appropriate internal procedures to prevent any communication or collusion between those employees of Manager or its affiliate representing Owner for such transaction, and those employees of Manager or its affiliate representing another party in connection with such transaction. Nothing contained herein shall be deemed or construed to prohibit Manager from contracting parties other than Owner in the ordinary course of Manager's business, provided that any such contracts made in connection with the Property shall be made by employees of Manager or its affiliates who are not involved in providing services to Owner hereunder.
- 9.4 Notices. Any notice, request, demand, consent or approval under this Agreement must be in writing and personally delivered, sent by overnight courier service, or sent by U.S. registered or certified mail, postage prepaid, return receipt requested, and shall be deemed to have been given upon the date of personal delivery, the next business day following deposit with an overnight courier, or five days after deposit in the U.S. mail, as the case may be, provided that the communication is addressed as set forth below:

If to Owner, to:

Village of Mundelein
300 Plaza Circle
Mundelein, IL 60060
Attn: _____

If to Manager, to:

CBRE, Inc.
321 North Clark Street, Suite 3400
Chicago, IL 60654
Attn: Kristi Rankin

With a copy to:

CBRE, Inc.
700 Commerce Drive, Suite 450
Oak Brook, Illinois 60523
Attn: Laura Gantz, Assistant General Counsel

Either party may, by written notice, designate a different contact person or address.

- 9.5 Signs. Manager may place and remove, or cause to be placed and removed, such signs upon the Property which Manager deems appropriate including, without limitation, a sign announcing that the Property is under Manager's management, at Owner's cost.

- 9.6 Assignment. This Agreement shall not be assignable by Manager without the express prior written consent of Owner, except that Manager may, without consent, assign this Agreement to an affiliate of Manager or delegate obligations to a regional partner or affiliate of Manager. Notwithstanding the foregoing, Manager shall continue to be liable under this Agreement for the performance of the obligations hereunder. This Agreement shall be for the benefit of and shall be binding upon the heirs, successors and assigns of the parties hereto.
- 9.7 Severability. Each provision of this Agreement is intended to be severable. If any term or provision hereof shall be determined by a court of competent jurisdiction to be illegal or unenforceable for any reason, such term or provision shall be severed from this Agreement and shall not affect the validity of the remainder of this Agreement.
- 9.8 Costs of Suit. If Owner or Manager shall institute any action or proceeding against the other relating to this Agreement, each party shall bear its own legal costs.
- 9.9 Waiver. No consent or waiver, express or implied, by either party to or of any breach or default by the other party in the performance of its obligations hereunder, shall be valid unless in writing. No such consent or waiver shall be deemed or construed to be a consent or waiver to or of any other breach or default in the performance by such other party of any other obligations of such party hereunder. The failure of any party to declare the other party in default shall not constitute a waiver by such party of its rights hereunder, irrespective of how long such failure continues. The granting of any consent or approval in any one instance by or on behalf of Owner shall not be construed to waive or limit the need for such consent in any other or subsequent instance.
- 9.10 Force Majeure; Cure Rights. The obligations of Owner and of Manager under this Agreement, other than payment and funding obligations, shall be excused for that period of time that Owner or Manager, as applicable, cannot fulfill such obligations by reason of delays beyond its control, including without limitation acts of God, inclement weather, pandemic, war, insurrection, terrorists acts, labor strikes, inability to obtain necessary materials or supplies, inability to obtain necessary permits, licenses or approvals, or any other event commonly included within the definition of force majeure. Inability to pay or financial hardship, however, shall not constitute force majeure, regardless of the cause thereof and whether the reason is outside the party's control.
- 9.11 Entire Agreement; Amendment. This Agreement contains the entire agreement between the parties with respect to the subject matter hereof and supersedes all prior oral or written agreements, understandings, or arrangements with respect to such subject matter. This Agreement may not be amended or modified except by a writing signed by both parties. Any amendment to the items in Exhibit A must be executed on behalf of CBRE by a Managing Director of Property Management.
- 9.12 Governing Law. This Agreement and the obligations of Owner and Manager shall be governed by, and construed and enforced in accordance with, the laws of the state where the Property is located. **[OPTIONAL: IF THE AGREEMENT COVERS PROPERTIES LOCATED IN MORE THAN ONE STATE, STRIKE THE PRECEDING SENTENCE AND INSERT THE FOLLOWING SENTENCE: This Agreement shall be governed by and construed in accordance with the laws of the state of Delaware.]** This Agreement is the product of joint drafting by the parties and shall not be construed against either party as the drafter hereof.
- 9.13 Waiver of Jury Trial. **EACH PARTY HERETO, KNOWINGLY AND VOLUNTARILY, AND FOR THEIR MUTUAL BENEFIT, WAIVES ANY RIGHT TO TRIAL BY JURY IN THE EVENT OF LITIGATION REGARDING THE PERFORMANCE OR ENFORCEMENT OF, OR IN ANY WAY RELATED TO, THIS AGREEMENT.**

- 9.14 OFAC. Each of Owner and Manager represents and warrants that: it is not (a) in violation of any laws relating to terrorism or money laundering, or (b) among the entities named by any Executive Order or the United States Treasury Department as a terrorist, “Specially Designated and Blocked Person,” or other banned or blocked person or entity pursuant to any law, order, rule or regulation that is enforced or administered by the Office of Foreign Assets Control.
- 9.15 Additional Property. Owner and Manager may from time to time, following the execution of this Agreement, amend this Agreement to add additional properties that will be managed by Manager in accordance with the terms of this Agreement and the provisions herein will be interpreted to cover each property, unless otherwise noted. Any such amendment shall set forth any adjustments to the payments due Manager hereunder, including, without limitation, changes to the Management Fee, as may be determined by the mutual agreement of Owner and Manager.
- 9.16 Counterparts and Delivery. This Agreement may be executed in any number of counterparts, each of which shall be deemed to be an original, but all of which together shall constitute one and the same instrument. Delivery of a signed counterpart of this Agreement by electronic means constitutes a good and valid execution and delivery of this Agreement.
- 9.17 No Third Party Beneficiary. No other entity other than Owner and Manager is or shall be entitled to bring any action to enforce any provision of this Agreement. The provisions of this Agreement are solely for the benefit of and shall be enforceable only by Owner and Manager and their respective successors and assigns as permitted hereunder.

IN WITNESS WHEREOF, the parties have executed this Agreement as of the date first set forth above.

Owner:



Manager:

CBRE, INC.

By:

Village of Mundelein
Name: Steve Lentz
Title: President

By:

Kristi Rankin
Name: Kristi Rankin
Title: Managing Director

Exhibit A
FINANCIAL SERVICES

1. **Standard Financial Services.**

- (a) Manager shall perform the following “Financial Services”:
 - (i) Manager shall keep and maintain, or shall cause to be kept and maintained, proper and accurate books, records and accounts as required under the Management Agreement.
 - (ii) The account entries shall be properly supported by sufficient documentation to ascertain that said entries are properly and accurately recorded.
 - (iii) The books and records shall be maintained by Manager at the Manager’s centralized accounting location, or at such other location as may be mutually agreed upon in writing. Such records will be returned to Owner at Owner’s expense, upon termination of the Management Agreement.
- (b) Owner shall have the right from time to time during normal business hours and upon reasonable notice to examine such books and accounts at the office of Manager’s accounting department and to make such copies or extracts thereof as required, at Owner’s expense.
- (c) Owner shall reimburse Manager for all banking and lockbox fees and costs. Manager shall use commercially reasonable efforts to establish an optimal level of banking services while minimizing bank service fees. Manager’s preferred banking structure and bank relationships generally allow Manager access to advanced banking services and products at favorable pricing.

2. **Agreed Upon Accounting Services.** The accounting services outlined below represent all the accounting services agreed upon by the Owner and the Manager to be included in the Management Fee.

- (a) Standard Services:
 - (i) System Platform:
 - A. Manager’s accounting system
 - B. Manager’s chart of account
 - (ii) Banking:
 - A. Use of Manager’s preferred bank with on-line access
 - B. Use of Manager’s signers and Master Banking Agreement
 - (iii) Accounts Payable:
 - A. Use of Manager’s electronic payables work flow solution
 - B. Weekly disbursement processing
 - C. Automated ACH payment or standard check with one facsimile signature
 - D. 1099-MISC vendor reporting processed in Manager’s Tax ID and 1099-MISC Owner rent reporting, if applicable
 - E. Operating reserves adequate for payment of monthly AP balances
 - F. Single monthly owner distribution or funding

- (iv) Accounts Receivable:
 - A. Lease data system maintenance
 - B. Monthly generation of tenant charges
 - C. Production of tenant rent statements including manual billings
 - D. Electronic lockbox and automated cash receipt application

- (v) Financial Reporting:
 - A. Provide accounting for operational activities of the property
 - B. All financial statements and reports required by Owner will be prepared on a Accrual Basis with expenses accrued for above a \$1,000 threshold
 - C. All monthly standard reports to be delivered electronically to the Owner within fifteen (15) days following the end of the month:
 - i. Balance Sheet
 - ii. Actual vs. budget operating statement
 - iii. General ledger detail report
 - iv. Accounts receivable aging report
 - v. Rent roll
 - vi. Cash receipt detail report
 - vii. Security deposit ledger
 - viii. Bank account statement reconciliation report
 - ix. Check register
 - x. Monthly management fee calculation schedule
 - xi. Annual operating expense billings
 - xii. Annual budget

- (b) Customized Services:
 - (i) Sales Tax Services
 - A. Initial License
 - i. CBRE to initiate sales tax license forms and submit to ownership for approval and submission.
 - ii. Ownership to sign, submit (with license fee), and obtain license number(s) from applicable municipalities, which is to be provided back to CBRE
 - iii. Sales Tax liability is the responsibility of ownership until license number is provided to CBRE
 - B. Sales Tax Reporting
 - i. Upon receipt of sales tax license from Owner or applicable municipalities, CBRE to calculate, file and pay (from property bank account) recurring sales tax obligations
 - C. Sales Tax Disputes
 - i. Owner is responsible for handling any Sales Tax related disputes, unless Power of Attorney (for purposes of discussion with the applicable municipalities) is granted to CBRE by the Owner.

3. **Additional Financial Services.** The parties may mutually agree from time to time on additional financial services to be provided. The scope, timing, fees and other terms for any such services must be included in an engagement agreement signed by both parties.



EXHIBIT B

CBRE TECHNICAL PRICING

This Exhibit B may be updated periodically with approval from Owner and will be superseded by revised staffing allocations as agreed upon in the approved annual Budget.

CHICAGO MOBILE RATES JULY 1 2021 THROUGH JUNE 30 2022			
	Straight Time	OT Time and 1/2	OT Double Time
Chief Engineer	\$104.50	\$156.75	\$209.00
Mobile Engineer	\$104.50	\$156.75	\$209.00
Apprentice Engineer	N/A	N/A	N/A



EXHIBIT C

SCHEDULE OF EMPLOYEES

Shari Smagatz – General Manager

Michelle Patzelt – Assistant Manager

EXHIBIT D DATA PRIVACY

- (a) **Definitions.**
- (i) “Applicable Data Protection Laws” means any data protection laws or regulations imposed by any governmental or regulatory authority which apply from time to time to the provision of the services and to the Processing of Owner Personal Information by Manager.
 - (ii) “Owner Personal Information” means Personal Information that Manager receives from Owner or that Manager Processes on behalf of Owner pursuant to this Agreement.
 - (iii) “Personal Information” means any information that identifies, relates to, describes, is reasonably capable of being associated with, or could reasonably be linked, directly or indirectly, with an individual or, in the case of Personal Information subject to the California Consumer Privacy Act 2018, a household.
 - (iv) “Process” or “Processing” means collection, recording, organization, structuring, storage, adaptation or alteration, retrieval, consultation, use, disclosure by transmission, dissemination or otherwise making available, alignment or combination, restriction, erasure or destruction.
 - (v) “Security Incident” means any unauthorized access and exfiltration, theft, or disclosure of Owner Personal Information that is not encrypted or redacted.
- (b) **Appointment.** To the extent the delivery of the services hereunder includes the Processing of Owner Personal Information by the Manager, Owner and Manager acknowledge and agree:
- (i) Owner solely determines the purposes and means of processing (i.e., Owner is the “business”) of the Owner Personal Information; and
 - (ii) Manager Processes the Owner Personal Information on behalf of Owner for the purpose of providing services as set forth in this Agreement or as otherwise instructed by Owner in writing (i.e., Manager is a “service provider”).
- Manager shall promptly inform Owner in writing if, in its opinion, any instruction from Owner in respect of Processing of Personal Information as required by the services violates any Applicable Data Protection Laws.
- (c) **Appointment of Owner Service Providers.** Pursuant to Sections 1.1 and 3.2 of the Property Management Agreement, in the case of any Vendor Contracts which involve the processing of Personal Information, Owner acknowledges and agrees that it is the “business” of the Owner Personal Information, and the Vendor will be the “service provider”.
- (d) **Restrictions.** In the course of its services to Owner, Manager shall only Process the Owner Personal Information to the extent required for the performance of the services and shall not sell any Owner Personal Information; Process any Owner Personal Information for any purpose other than for the specific purpose of performing the services set out in the Agreements or as may be provided in Applicable Data Protection Laws; or Process any Owner Personal Information outside of the direct business relationship between Owner and Manager, except as may be provided in Applicable Data Protection Laws.
- (e) **Personal Information Complaints/Requests.** If Manager receives a complaint or request from an individual concerning their Personal Information which is Owner Personal Information, Manager will notify Owner that it has received such an inquiry, pass on the inquiry for Owner handling or, if required, respond in accordance with Owner’s instructions.
- (f) **Security Incident Notification and Response.** Manager shall notify Owner without undue delay upon becoming aware of a Security Incident affecting Owner Personal Information and provide reasonably available information to allow Owner to meet any reporting or notification obligations under Applicable Data Protection Laws.

To: Mayor and Board of Trustees

From: Isabel Guadarrama, Senior Planner
Amanda Orenchuk, Director of Community Development

For: Village Board Meeting of February 23, 2026

Subject: Mundelein High School District 120 — Ordinance for Interior Parking Lot Landscape Variation

Financial Impact:

N/A

Attachments:

1. O-26-02-11 - Exhibit A - Landscape Plans

Background:

On February 9, 2026, the Village Board of Trustees reviewed a variance application from Mundelein High School District 120 and the Findings of Fact approved by the Planning and Zoning Commission. The Village Board of Trustees authorized staff to prepare an ordinance approving the landscape variations for the properties located at 1350 and 1500 West Hawley Street.

Recommendation:

Motion to pass an Ordinance approving a variation from Sections 20.60.110(A) and (B) of the Zoning Ordinance regarding the required interior parking lot islands and shade trees for the properties located at 1350 and 1500 West Hawley Street.

STATE OF ILLINOIS)
)
COUNTY OF LAKE)

CERTIFICATE

I, Karen Walsh, certify that I am the duly elected Municipal Clerk for the Village of Mundelein, Lake County, Illinois.

I further certify that on February 23, 2026 the Corporate Authorities of such Village passed and approved:

Ordinance No. O-26-02-11
which is entitled

Mundelein High School District 120 — Ordinance for Interior Parking Lot Landscape Variation

The pamphlet form of said Ordinance, including the Ordinance and a cover sheet thereof was prepared and a copy of such Ordinance was posted in the Village Hall commencing on 2/24/2026, and was posted for at least ten days thereafter.

Copies of such Ordinance are available for public inspection upon request in the Customer Service Office.

Dated at Mundelein, Illinois on 2/24/2026.

Village Clerk

ORDINANCE NO. O-26-02-11

AN ORDINANCE GRANTING A VARIATION TO MUNDELEIN HIGH SCHOOL DISTRICT 120 FOR RELIEF ON PARKING LANDSCAPING REQUIREMENTS ON THE PROPERTIES LOCATED AT 1350 AND 1500 WEST HAWLEY STREET, MUNDELEIN, ILLINOIS

WHEREAS, The Village of Mundelein, Lake County, Illinois, is home rule municipality as contemplated under Article VII, Section 6, of the Constitution of the State of Illinois, and the passage of this Ordinance constitutes an exercise of the Village's home rule powers and functions as granted in the Constitution of the State of Illinois.

WHEREAS, an application has been filed by Kyle Buck of Wight & Company ("Petitioner"), on behalf of Mundelein High School District 120 ("Property Owner"), requesting that a variation from Section 20.60.110 (A) and (B) is granted to the Property Owner to reconstruct the parking lots on the property located at 1350 and 1500 West Hawley Street, Mundelein, Illinois, (the "Subject Property") further described as

PARCEL 1

THE SOUTH WEST QUARTER OF THE SOUTH WEST QUARTER OF SECTION 24, TOWNSHIP 44 NORTH, RANGE 10, EAST OF THE 3RD P.M., IN THE VILLAGE OF MUNDELEIN, IN LAKE COUNTY, ILLINOIS.

EXCEPT:

THAT PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 24, TOWNSHIP 44 NORTH, RANGE 10, EAST OF THE 3RD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID QUARTER QUARTER SECTION; THENCE EAST ALONG THE SOUTH LINE OF SAID QUARTER QUARTER SECTION, A DISTANCE OF 791.80 FEET; THENCE NORTH AT RIGHT ANGLES TO SAID SOUTH LINE, A DISTANCE OF 816.50 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE CONTINUING NORTH ON THE LAST DESCRIBED LINE, A DISTANCE OF 145.0 FEET; THENCE WEST AT RIGHT ANGLES TO THE LAST DESCRIBED LINE, A DISTANCE OF 145.0 FEET, THENCE SOUTH AT RIGHT ANGLES TO THE LAST DESCRIBED LINE, A DISTANCE OF 145.0 FEET; THENCE EAST AT RIGHT ANGLES TO THE LAST DESCRIBED LINE, A DISTANCE OF 145.0 FEET TO THE POINT OF BEGINNING, ALL IN LAKE COUNTY, ILLINOIS.

ALSO EXCEPT:

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 24, TOWNSHIP 44 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 24; THENCE NORTH 00 DEGREES 1 B MINUTES 40 SECONDS WEST, 40.00 FEET ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 24 TO THE NORTHERLY RIGHT OF WAY LINE OF HAWLEY STREET (COUNTY HIGHWAY NO. 70) AS SHOWN ON DOCUMENT NO. 113B285 TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH, 00 DEGREES 18 MINUTES 40 SECONDS WEST, 10.00 FEET ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 24; THENCE SOUTH 89 DEGREES 45 MINUTES 56 SECONDS EAST, 29.18 FEET ALONG A LINE 10.00 FEET NORTH OF AND PARALLEL WITH THE SAID NORTH, RIGHT OF WAY LINE; THENCE SOUTH 00 DEGREES 14 MINUTES 02 SECONDS WEST, 4.00 FEET; THENCE SOUTH 89 DEGREES 45 MINUTES 5B

SECONDS EAST, 143.15 FEET ALONG A LINE 5.00 FEET NORTH OF AND PARALLEL WITH SAID NORTH RIGHT OF WAY LINE; THENCE NORTH 74 DEGREES 17 MINUTES 16 SECONDS EAST, 14.56 FEET; THENCE SOUTH 89 DEGREES 45 MINUTES 58 SECONDS EAST, 171.00 FEET ALONG A LINE 10.00 FEET NORTH OF AND PARALLEL WITH SAID NORTH RIGHT OF WAY LINE; THENCE SOUTH 00 DEGREES 14 MINUTES 02 SECONDS WEST 3.00 FEET; THENCE SOUTH 89 DEGREES 45 MINUTES 58 SECONDS EAST, 470.07 FEET ALONG A LINE 7.00 FEET NORTH OF AND PARALLEL WITH SAID NORTH RIGHT OF WAY LINE; THENCE NORTH 00 DEGREES 14 MINUTES 02 SECONDS EAST, 3.00 FEET; THENCE SOUTH 89 DEGREES 45 MINUTES 58 SECONDS EAST, 464.20 FEET ALONG A LINE 10.00 FEET NORTH OF AND PARALLEL WITH SAID NORTH RIGHT OF WAY LINE; THENCE SOUTHWESTERLY 23.18 FEET ALONG A NON-TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 25.00 FEET, THE CHORD OF SAID CURVE BEARS SOUTH 63 DEGREES 40 MINUTES 10 SECONDS WEST, 22.36 FEET; THENCE NORTH 89 DEGREES 45 MINUTES 58 SECONDS WEST, 1271.50 FEET ALONG SAID NORTH RIGHT OF WAY LINE OF HAWLEY STREET TO THE POINT OF BEGINNING. ALL IN LAKE COUNTY, ILLINOIS.

PARCEL 2

A TRACT OF LAND DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF THE SOUTHEAST QUARTER OF SECTION 23, TOWNSHIP 44 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN; THENCE WEST ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER 400 FEET; THENCE NORTH PARALLEL WITH THE EAST LINE OF THE SOUTHEAST QUARTER 500 FEET; THENCE EAST PARALLEL WITH THE SOUTH LINE OF THE SOUTHEAST QUARTER 400 FEET TO A POINT ON THE EAST LINE OF THE SOUTHEAST QUARTER; THENCE SOUTH, 500 FEET TO THE POINT OF BEGINNING, (EXCEPT THE SOUTH 50.0 FEET THEREOF CONVEYED TO THE COUNTY OF LAKE BY DEED RECORDED AS DOCUMENT NUMBER 4715282) IN LAKE COUNTY, ILLINOIS.

PARCEL 3

THAT PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 24, TOWNSHIP 44 NORTH, RANGE 10, EAST OF THE 3RD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID QUARTER QUARTER SECTION; THENCE EAST ALONG THE SOUTH LINE OF SAID QUARTER QUARTER SECTION, A DISTANCE OF 791.80 FEET; THENCE NORTH AT RIGHT ANGLES TO SAID SOUTH LINE, A DISTANCE OF 816.50 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE CONTINUING NORTH ON THE LAST DESCRIBED LINE, A DISTANCE OF 145.0 FEET; THENCE WEST AT RIGHT ANGLES TO THE LAST DESCRIBED LINE, A DISTANCE OF 145.0 FEET, THENCE SOUTH AT RIGHT ANGLES TO THE LAST DESCRIBED LINE, A DISTANCE OF 145.0 FEET; THENCE EAST AT RIGHT ANGLES TO THE LAST DESCRIBED LINE, A DISTANCE OF 145.0 FEET TO THE POINT OF BEGINNING, ALL IN LAKE COUNTY, ILLINOIS.

WHEREAS, the Petitioner has requested a variation from Section 20.60.110 (A) and (B) of the Zoning Ordinance to waive the required number and location of the interior parking lot islands and the required location of the shade trees within those islands in the I - Institutional zoning district; and

WHEREAS, pursuant to notice as provided by statute and ordinance, a public hearing was held on December 17, 2025, and continued to January 21, 2026, by the Mundelein Planning and Zoning Commission; and

WHEREAS, the Mundelein Planning and Zoning Commission made findings of fact and, by a vote of 5 to 0, recommended that the variations be approved by the Village Board of Trustees; and

WHEREAS, the Village Board meeting on February 9, 2026, the Mundelein Village Board of Trustees accepted the Planning and Zoning Commission’s findings of fact and determined that the Petition met certain criteria in order for the Village to grant approval of the variation.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND THE BOARD OF TRUSTEES OF THE VILLAGE OF MUNDELEIN, COUNTY OF LAKE, STATE OF ILLINOIS as follows:

SECTION I: A variation from Section 20.60.110 (A) of the Zoning Ordinance is hereby granted to Mundelein High School District 120 to permit a relief on the required number and location of the interior parking lot islands on the Subject Property; and

SECTION II: A variation from Section 20.60.110 (B) of the Zoning Ordinance is hereby granted to Mundelein High School District 120 to permit a relief on the location of the shade trees within the required landscape islands in accordance with the application on file, and landscape plans attached hereto and made a part hereof as **Exhibit A** (the “Application Documents”).

SECTION III. Assignment: These variances extend only to the Property Owner, Mundelein High School District 120, and shall not be assigned or transferred to any other owner or property of the school without the approval of the Village Board of Trustees, under such terms and conditions as the Village Board may deem proper.

SECTION IV: Enforcement of this Ordinance is subject to Section 20.16.100, as may be amended, of the Mundelein Municipal Code.

SECTION V: This ordinance shall be in full force and effect from and after its passage, approval, filing and publication in pamphlet form, as provided by law.

RESULT:	[]
MOVER:	None
SECONDER:	None
AYES:	None
NAYS:	None
ABSTAIN:	None

President

ADOPTED: Monday, February 23, 2026

APPROVED: Monday, February 23, 2026

ATTEST:

Village Clerk

TYPICAL PLANNING AND ZONING COMMISSION PROCESS

Meeting Schedule

The Planning and Zoning Commission consists of seven members who act as a recommending body to the Village Board. The Planning and Zoning Commission meet the first and third Wednesday of each month at the Village Hall, located at 300 Plaza Circle, Mundelein, Illinois. Meetings begin at 7:00 p.m.

Preliminary Conference

Prior to filling out this form you must first meet with a representative of Community Development to discuss the proposal and determine the necessary process for approval. A concept plan consisting of measurable sketches with a scale/ruler, existing and proposed site data, and site photo(s) should be available for review by a planner. To schedule a preliminary conference contact Community Development at (847) 949-3282.

Petition Submittal

Submit one (1) legible copy, no larger than 11" x 17" of the full petition application to Community Development. The petition must be complete with all attachments. Applications and fees can be mailed to Community Development, 300 Plaza Circle, Mundelein, Illinois 60060. Community Development staff will review the application and may request additional materials prior to acceptance.

Internal Department Review

After Community Development accepts the Draft Petition the Fire, Police, Public Works and Engineering, Building Department, and Community Development Divisions will review the proposal and provide comments. Petitioners may be asked to provide additional and/or electronic copies of the petition at this time. Upon review, staff will provide feedback to the petitioner, if applicable. If it is determined that the documents are in compliance with Village codes, a Planning and Zoning Commission hearing will be scheduled. If changes are required, the petitioner shall resubmit revised plans for another departmental review, which will delay the date for a public hearing.

Final Petition

After all issues have been adequately addressed, staff will direct the petitioner through the public hearing process. The Planning and Zoning Commission shall evaluate the application, based upon the evidence presented at the public hearing, recommend approval, approval with conditions, or denial of the application, and forward its recommendation to the Village Board within sixty (60) days. The Village Board shall consider the variation within sixty (60) days of receipt of the Planning and Zoning Commission recommendation.

The initial submittal must contain:

- Completed Application – Pages 3-7
 (Write N/A where items do not apply)
- Current or accurate Plat of Survey or Preliminary Plat of Subdivision
 - a. One (1) no larger than 11” x 17”
- Preliminary Drawings
 - a. Site Plan – indicating all site improvements, such as sign locations, screened trash container areas, loading docks, fire lanes, area lighting, parking, handicap parking, all dimensions and project data (building area, land area, floor area ratio, coverage, parking calculations, etc.)
 - b. Preliminary Building Elevations, including height (*if applicable*)
 - c. Preliminary Floor Plan (*if applicable*)
 - d. Tree Preservation Plan (*if applicable*)
 - e. Preliminary Engineering (*if applicable*)
- Photos of the property
- Other Supporting Documentation (if applicable)
 - Traffic Impact Study
 - Market Study
 - _____
 - _____
- Application Fee:

VARIATION FEES	
Variation Type	Fee
Variation - Single Family Residential	\$150
<i>Each Additional Variation</i>	\$50 each
<i>Without a Permit</i>	\$200
Variation - Residential Developer	\$300
<i>Each Additional Variation</i>	\$50 each
<i>Without a Permit</i>	\$300
Variation - Non-Residential	\$300
<i>Each Additional Variation</i>	\$50 each
<i>Without a Permit</i>	\$600

(Additional fees may apply if additional actions are required)

Additional submittal requirements:

- Affidavit of Notification and Certified Mail receipts, return receipts, and undeliverable envelopes
 (See Exhibit A and B. Must be submitted to Community Development prior to public hearing)

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

PROPERTY INFORMATION

Address 1350 W. Hawley St., 0 W. Hawley St.,
& 1500 W. Hawley St.

Property Index Numbers (PIN) 10-24-300-015, 10-24-300-010, 10-23-400-027
(10-24-300-010 part of 1350 W, Hawley address)

Size of Property 1,939,772sq.ft / 44.53ac (sq. ft./acres)

Size of Building Space 274,159 + 10,380 + 16,117 = (sq. ft.)
300,656

Size of Space Utilized _____

ZONING

Current Zoning "I" = Institutional

Proposed Zoning "I" = Institutional

Current Use Educational

Proposed Use Educational

PETITIONER INFORMATION

Business/Org. Name Wight & Company

Name Kyle Buck

Title Senior Project Manager

Address 2500 N. Frontage Road

City, State, Zip Darien, IL 60561

Phone 630-739-7258

Email Kbuck@wightco.com

Petitioner Status: Owner Lessee Contract Purchaser

PROPERTY OWNER INFORMATION

Business/Org. Name Mundelein High School District 120

Name Kevin Quinn

Title Director of Facilities

Address 1350 W. Hawley St

City, State, Zip Mundelein, IL 60060

Phone 847-949-2200

Email kquinn@d120.org

SECTION OF ZONING ORDINANCE: 20.60.110.a and 110.b - Interior Parking Lot Landscape

DESCRIPTION OF PROPOSED ZONING VARIATION *(Attach additional pages, if necessary)*

See attached

Mundelein High School District 120 is requesting two variances from Village Code section 20.60.110 concerning parking lot interior landscaping. The variance request is to not provide a parking lot island every ten spaces (20.60.110.a) along with the shade tree within these islands (20.60.110.b). To address these variances and concerns from the 12/18/2025 Planning and Zoning meeting we have altered this re-submittal as such:

- 1) A tree survey has been performed within and adjacent to the MHS ownership.
 - a. This is depicted on slide three of the submittal.
 - b. Key points of the tree survey are as follows:
 - i. 139 trees surveyed of which 117 trees are on MHS ownership.
 - ii. 16 different tree species reside on MHS ownership
 - c. 42 trees are proposed to be removed
 - i. 8 tree species are within these 42 trees
 1. The removal does not wipe out a tree species. All 16 tree species will still remain.
 - d. Based on the sizes of these 42 trees, per Village code 145 replacement trees are required.
 - i. Please note Village code only refers to existing tree sizes in replacement tree computations.
 1. Species and condition are not a factor in replacement tree computations.
- 2) Most of the trees demarked for removal are within the proposed building addition or proposed underground stormwater detention storage areas as depicted on slide four.
 - a. Please note MHS is landlocked and any area for an at grade stormwater detention basin will impact existing open space for on-site physical education and athletic programs thus the only option for stormwater storage is underground.
- 3) The overall landscape plan has been updated as follows and is depicted on slide five:
 - a. Additional perimeter landscaping along Hawley Street adjacent to the existing west and east parking lots.
 - b. Additional perimeter landscaping along Midlothian adjacent to the existing parking lot south of the track.
 - c. Total proposed tree count is now 162.
 - i. Of the 162, 20 are evergreens; 12.4% of the proposed trees
 - ii. 13 new species are being introduced to the MHS ownership.

- 4) Slide six adds an image of code required parking landscape islands, perimeter landscape locations and buffer landscape locations per Village code color figure 20.60-4.
 - a. Village code minimum parking lot island is 144s.f or 288 s.f. for a double island. Based on this, for each parking lot, the minimum required landscape s.f. is depicted for a total of 17,280s.f. of minimum landscape area.
 - b. Also listed on this slide is the required number of trees per code parking island per parking lot. Based on end islands and if islands where every ten spaces 118 parking lot trees are required.
 - c. Buffer trees are also required at one per 25'.
 - i. For the northwest parking adjacent to residential, 17 buffer trees are required.
 - d. Total trees required for parking is $118+17 = 135$.
- 5) Per Village code replacement trees can be counted towards the required parking lot trees thus the total trees required is the greater of the two.
 - a. For MHS, total trees required is 145 based on the replacement count.
- 6) As stated above in 3c, depicted on slide 5 and denoted on slide 7, proposed trees number is 162; greater than the required 145.
 - a. With the proposed tree count at 162, total number of trees will be 237 which is an additional 120 trees from existing; a 105% increase in tree count.
 - b. Tree species represented on MHS ownership will increase from 16 to 29.
- 7) Slide seven also denotes the proposed landscape area per parking lot within the proposed end islands and drive separation islands.
 - a. 28,762 s.f. of parking lot landscape area is proposed which is over the 17,280s.f. Village minimum for this proposed parking lot layout.
- 8) Concerning the northwest buffer area, 19 trees are proposed (two more than required) and are denoted on slide eight.
 - a. Slide eight also contains a section of this buffer area depicting the use of the existing 6' high berm to also assist in buffering the proposed parking lot from the adjacent residential that is on average 70' from the proposed parking and 9.5' higher than the proposed parking lot.

The above summarizes that the proposed plan meets and exceeds the intent of these code sections. The variances requested are not in quantity but in location.

Slides 9 to 11 are images of the proposed landscape species.

MHS has 445 staff and 2,200 students. Only 350 spaces are permitted for these 2,200 students. There are an additional 125 students on a waiting list for parking passes. There are 10 visitor spaces. Plus, MHS also has 15 maintenance and buses to park on-site. This equates to 820 needed spaces; not including the waiting list. Existing parking is not enough for this need. The proposed parking (without islands every 10 spaces) is an increase in parking spaces but is still shy of this number. Islands every ten spaces would eliminate 58 spaces. A loss of 58 obtainable spaces would place the proposed parking count below the existing parking count. Any further parking lot expansion for additional parking would impact and cause hardship to on-campus open space athletic and physical education use.

STANDARDS FOR GRANTING A VARIATION

In evaluating the proposed variation, the Zoning Administrator, Planning and Zoning Commission and Village Board will make findings based on the standards imposed by Section 20.16.020 of the Zoning Ordinance. **Please provide a detailed response to each of the following criteria (attach additional pages, if necessary):**

- a. The strict application of the terms of this Ordinance will result in undue hardship.

20.60.110.a - Incorporating internal islands every ten parking spaces will reduce the number of parking spaces by 58 for during school and after school events. This would be a 7.5% loss of the obtainable proposed parking spaces. The School cannot loose parking spaces from the current number. There is a need for additional parking from the existing and proposed parking numbers. This potential loss of spaces would be a hardship to the District as the proposed layout better meets the school's needs by achieving the most number of obtainable spaces for district use and the communities use while minimizing additional hard surface and impacts to open space physical education and athletic areas.

MHSD120 current parking need is 820 spaces. MHS has 445 staff and permits 350 spaces for it's 2,220 students. The 350 permitted spaces is only 16% of the student population. There are another 125 students on a waiting list for these permitted spaces. The district has 10 visitor spaces. Also the District needs space for 15 District maintenance and bus vehicles. In total that is 820 spaces; not including the waiting list. Existing parking is not enough for this need. The proposed parking (without islands every 10 spaces) is an increase in parking spaces but is still shy of this number. Islands every ten spaces equates to 58 obtainable spaces lost; 3 at Transition and 55 at the HS. A loss of 58 obtainable spaces would place the proposed parking count below the existing parking count. Any further parking lot expansion for additional parking would impact and cause hardship to on-campus open space athletic and physical education use.

The variance being requested is not about the square footage of parking lot landscape but location. The submittal shows that the proposed parking lot landscape square footage that would have been in these islands every then spaces is still being provided for in within and adjacent to these parking lots.

Also for consideration, the existing parking lots do not have interior landscape. The proposed plan incorporates larger end islands into these existing lots assisting in designating traffic flow and reducing the imperviousness of the existing parking lots.

20.60.110.b – As the above variance request is for no islands every ten spaces, this 20.60.110.b variance is for not placing the code trees within these islands. Trees within all islands will hinder the visual sight security line between building and parking lot edge. As above, this variance is being requested not for tree quantity but for tree location not within interior islands. The submittal shows that the proposed tree quantity meets Village code. Proposed trees are being placed adjacent to these parking lots and throughout the HS and Transition property.

- b. The plight of the owner is due to unique circumstances.

The school district ownership is landlocked surrounded by adjacent public streets and residential to the west and north along with a major regional stormwater management facility and special hazard area of wetlands to the north / northeast. As the school cannot outwardly expand to meet their needs , expanding within their property for these islands and parking need would greatly impact on-campus open space area for physical education outdoor play and athletic programs.

STANDARDS FOR GRANTING A VARIATION

- c. The variation, if granted, will not alter the essential character of the locality
The essential character of the Mundelein High School campus will not be altered by either variance request.

The Zoning Administrator, Planning and Zoning Commission, and Village Board, in making its findings, may further inquire into the following evidentiary issues, as well as any others deemed appropriate. **Please provide a detailed response to each of the following criteria** (*attach additional pages, if necessary*):

- a. The particular physical surroundings, shape, or topographical conditions of the specific property impose a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of regulations were to be carried out.
Incorporation of these internal islands would cause hardship in maintenance operations of the school and in needed parking spaces for school during and after hour events.
- b. The alleged difficulty or hardship has not been created by any person presently having a proprietary interest in the property in question.
- c. The granting of the variation will not be detrimental to the public welfare in the neighborhood in which the property is located.
Adding these needed parking spaces will be a benefit to the school and public.
- d. The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, endanger the public safety, or impair property values within the neighborhood.
Parking lot lighting is proposed but will accommodate full cut off shields to achieve the 0.0fc light levels along the property lines while maintaining security light levels within the parking lots. The added parking spaces will not impair the surrounding neighborhood and streets. Appropriate drive aisle widths and circulation have been incorporated into the design so a fire truck can maneuver throughout the site for public and school safety.
- e. The proposed variation is consistent with the spirit and intent of this Ordinance and Village land use policies.
The submittal depicts that the quantity and square footage of these code sections is met thus the section intent is present. Location of the trees and landscape areas is the requested variance. The proposed locations of the trees and landscape areas are *consistent with the existing use of the school and the institutional zoning land use.*
- f. The value of the property in question will be substantially reduced if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located. *N/A*

AFFIDAVIT OF OWNERSHIP AND AUTHORIZATION


COUNTY OF LAKE)
)
STATE OF ILLINOIS)

I, KEVIN QUINN, under oath, state that I am

_____ the sole)
_____ an) owner of the property
 an authorized officer of the)

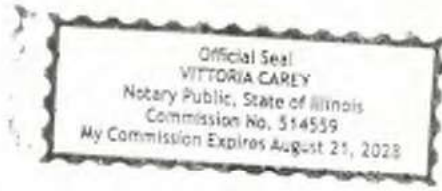
commonly described as (Address) 1350 W. HAWLEY ST, and that such property is owned by
(Printed Name) MUNDELEIN HIGH SCHOOL DISTRICT 120 as of this date. As owner of the property, I do
hereby authorize KEVIN QUINN (Printed Name or Not Applicable) to represent me in the following
Planning and Zoning Commission/Village Board matter, _____

_____ (Action).


Signature

Subscribed and sworn to before me
this 28th day of October, 2025.


Notary Public Signature



REQUIRED SIGNATURES

The undersigned states under oath that he/she/they are the **Legal Owner(s)** of record of the realty described in this Planning and Zoning Commission Application, and the statements that he/she/they made in the foregoing application are true in substance and in fact.

Signature (Owner): *KQ*

Date: 10-29-25

Printed Name: KEVIN QUINN

Title: DIRECTOR OF FACILITIES

Signature (Owner): _____

Date: _____

Printed Name: _____

Title: _____

The undersigned states under oath that he/she/they are the **Contract Purchaser** of record of the realty described in this Planning and Zoning Commission Application, and the statements that he/she/they made in the foregoing application are true in substance and in fact.

Signature Contract Purchaser: _____

Date: _____

Printed Name: _____

Title: _____

The undersigned states under oath that he/she/they are the **Lessee** of record of the realty described in this Planning and Zoning Commission Application, and the statements that he/she/they made in the foregoing application are true in substance and in fact.

Signature Lessee: _____

Date: _____

Printed Name: _____

Title: _____

EXHIBIT A

NOTIFICATION REQUIREMENTS

The petitioner is required to notify all property owners and tax payers within 250 feet of the subject property **after the Planning and Zoning Commission hearing date has been scheduled and staff has given authorization to send.** (Please see Exhibit B for sample letter). The notification must be sent USPS Certified Mail, Return Receipt Requested. Mailing labels must contain the property owner name or taxpayer name, address, and property identification number (PIN). Notification must be postmarked no more than thirty (30) days and no less than fifteen (15) days prior to the public hearing date. All certified receipts must be submitted to Community Development. Petitioners can obtain property owner information from the following sources:

Lake County
18 North County Street
Waukegan, IL 60085
847-377-2323

Fremont Township
22376 West Erhart Road
Mundelein, Illinois 60060
847-223-2847
Fax 847-223-2858

Libertyville Township
359 Merrill Court
Libertyville, Illinois 60048
847-816-6800
Fax 847-816-0861

Vernon Township
3050 North Main Street
Buffalo Grove, IL 60089
847-634-4600
Fax 847-634-1569

A Public Hearing Notice sign is required on the subject property and will be placed by the Village. Postings of the public notice will be done no more than thirty (30) days and no less than fifteen (15) days prior to the public hearing date.

The Village will publish the notification in the *Daily Herald*. The *Daily Herald* requires five-day lead time for publishing public notices. Therefore, in order to have the notification published no later than fifteen (15) days prior to the public hearing, we must be able to provide the necessary information twenty-one (21) days prior to the date of the hearing.

**FAILURE TO COMPLY WITH THE NOTIFICATION REQUIREMENTS WILL CAUSE THE
PUBLIC HEARING TO BE POSTPONED**

EXHIBIT B

NEIGHBOR NOTIFICATION LETTER SAMPLE

DATE

**NOTICE
TO ALL INTERESTED PARTIES**

The Planning and Zoning Commission will address the petition for NAME/COMPANY. (Case PZC-XX-YEAR), ADDRESS _____, Mundelein, concerning a petition requesting _____. The Planning and Zoning Commission will address this petition on **DATE**, at **TIME**, at the Village Hall, 300 Plaza Circle, Mundelein, Illinois 60060. All interested parties may attend this meeting and voice their opinions and concerns.

If you have any questions, please do not hesitate to call Community Development at (847) 949-3282, Monday through Friday, 8:00 a.m. to 5:00 p.m.

Sincerely,



November 24, 2025

To Current Resident / Owner / Tenant

**NOTICE
TO ALL INTERESTED PARTIES
Case No. PZ2025-0039**

The Mundelein Planning and Zoning Commission will address a petition for the properties commonly known as 1350 West Hawley Street and 1500 West Hawley Street (PINs 10-23-400-027, 10-24-300-010 and 10-24-300-015), filed by Kyle Buck of Wight & Company on behalf of Mundelein High School District 120. The petitioner is requesting a variation from Section 20.60.110.a to waive the required interior parking lot island amount and Section 20.60.110.b to waive the required shade tree within said islands and within the proposed northeast parking lot.

The Planning and Zoning Commission will address this petition on December 17, 2025, at 7:00 p.m. at the Village Hall, 300 Plaza Circle, Mundelein, Illinois 60060. All interested parties may attend this meeting and voice their opinions and concerns.

This Notice is an invitation to all interested persons to submit oral or written testimony or other evidence concerning the above case to the Village of Mundelein Planning and Zoning Commission. Persons having questions are encouraged to call the Village of Mundelein at (847) 949-3282 or email planning@mundelein.org.

If you cannot attend the meeting in person and you wish to submit a question or comment for review by the PZC during the public hearing, please email your full name and your question or comment to planning@mundelein.org. Please put "Public Commentary" and the **Case No. PZ2025-0039** in the subject line.

The Planning and Zoning Commission's actions are not final for this case. The Planning and Zoning Commission will forward its findings and recommendations to the Village Board of Trustees for final consideration and action.

If you have any questions, please do not hesitate to call Community Development at (847) 949-3282, Monday through Friday, 8:00 a.m. to 5:00 p.m.

Sincerely,

Kyle Buck
Wight & Company

Kevin Quinn
Mundelein High School District 120



December 25, 2025

EMAIL

Mr. Kevin Quinn, Director of Facilities & Maintenance
Mundelein High School District 120
1350 W. Hawley Street
Mundelein, Illinois 60060

Subject: Professional Tree Inventory of the Mundelein High School Site
1350 W. Hawley Street
Mundelein, Lake County, Illinois 60060
BEI Project No. 283-001-23

Dear Mr. Quinn:

Bollinger Environmental, Inc. (BEI) staff conducted a Tree Inventory site visit at the Mundelein High School Site located at 1350 W. Hawley Street on December 22, 2025. BEI collected data on all trees located and not located on the Mundelein High School survey provided by Wight and Company. A total of 139 trees are included within our inventory. Please note, nine (9) trees were not included on the tree survey provided, so BEI included the approximate locations of those individuals on marked-up copies of the tree survey field maps. The added trees were labeled 12 - 17, 100, 105, and 106 and are highlighted in yellow. Also, one (1) tree (Tree 51) was presumably removed at some point in the past and is not related to recent building construction. Lastly, seventeen (17) trees (Trees 123 – 139) were removed for recent construction activities prior to our site visit. Therefore, within our tree inventory we included their sizes which were included on the Mundelein High School Survey, and species, condition and form were estimated by photographs provided by Wight and Company.

We used common and scientific names following the nomenclature in the *Chicago Region FQA (Floristic Quality Assessment) Calculator (Herman et. al., 2022)*. The Tree Inventory Table lists: Tree #, common name, scientific name, size (DBH), condition, form, and general comments regarding the quality of the identified trees, and the field date. A total of one hundred thirty-seven (139) trees were encountered during this investigation.

During the survey, each tree was evaluated and assigned a number rating based on a scale rating from 1 – 5. The following discusses the rating scale in the Condition column of the Tree Inventory Report. These ratings are established and based on general observations at the time of the inventory. A rating of 1 (excellent) will have the highest value in terms of protection or preservation. A rating of 5 (worst) will have the lowest value and quality. For example:

- A. (1 = excellent condition) A rating of 1 would be given to a tree that is excellent in appearance, condition, and form, having a well-developed root system, balanced branching and healthy.

- B. (2 = above average) A rating of 2 would be given to a tree that has little to no damage, fairly straight, sound, good shape and form, and is good in overall physical quality.
- C. (3 = typical condition) A rating of 3 would be given to a tree that is average in condition, form, physical state, appearance, and health.
- D. (4 = poor condition) A rating of 4 would be given to a tree that has some deadwood, minor sweep or lean, distorted shape, trunk or bark damage, multi-stems, poor physical quality.
- E. (5 = poor/worst condition) A rating of 5 would be given to a tree with a lot of deadwood, bad sweep or lean, diseased, or damaged by insect pests and larvae, lightning damage, split, or other physical damage. This would also be given to a tree that was so damaged death is inevitably close.

Please feel free to contact me with any questions.

Sincerely,



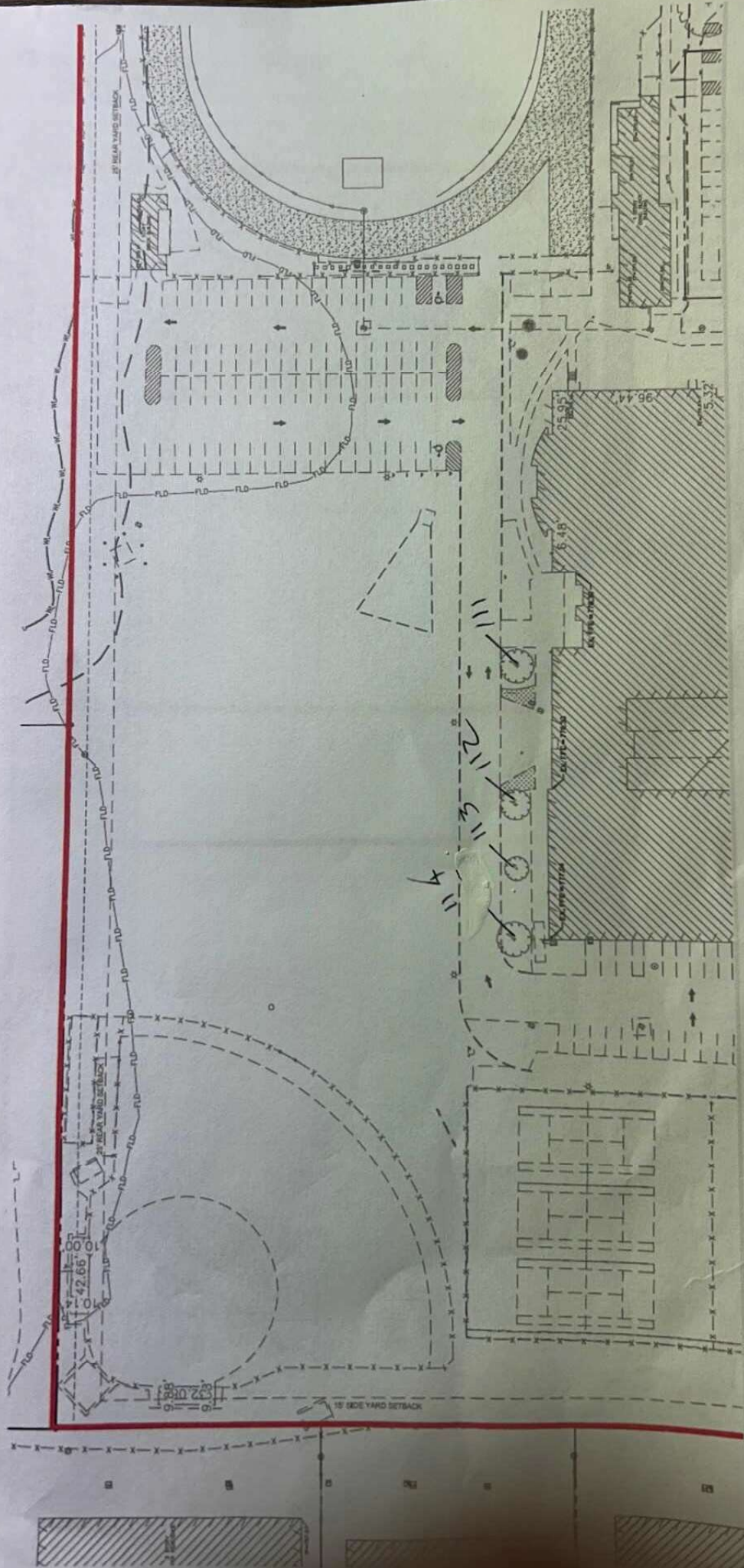
Paul Bollinger, PWS
President/Ecologist
BOLLINGER ENVIRONMENTAL, INC.

Enclosures

Tree Survey Field Maps
Tree Inventory Table

BEI Tree Survey @ Mundelein High School

12-22-25



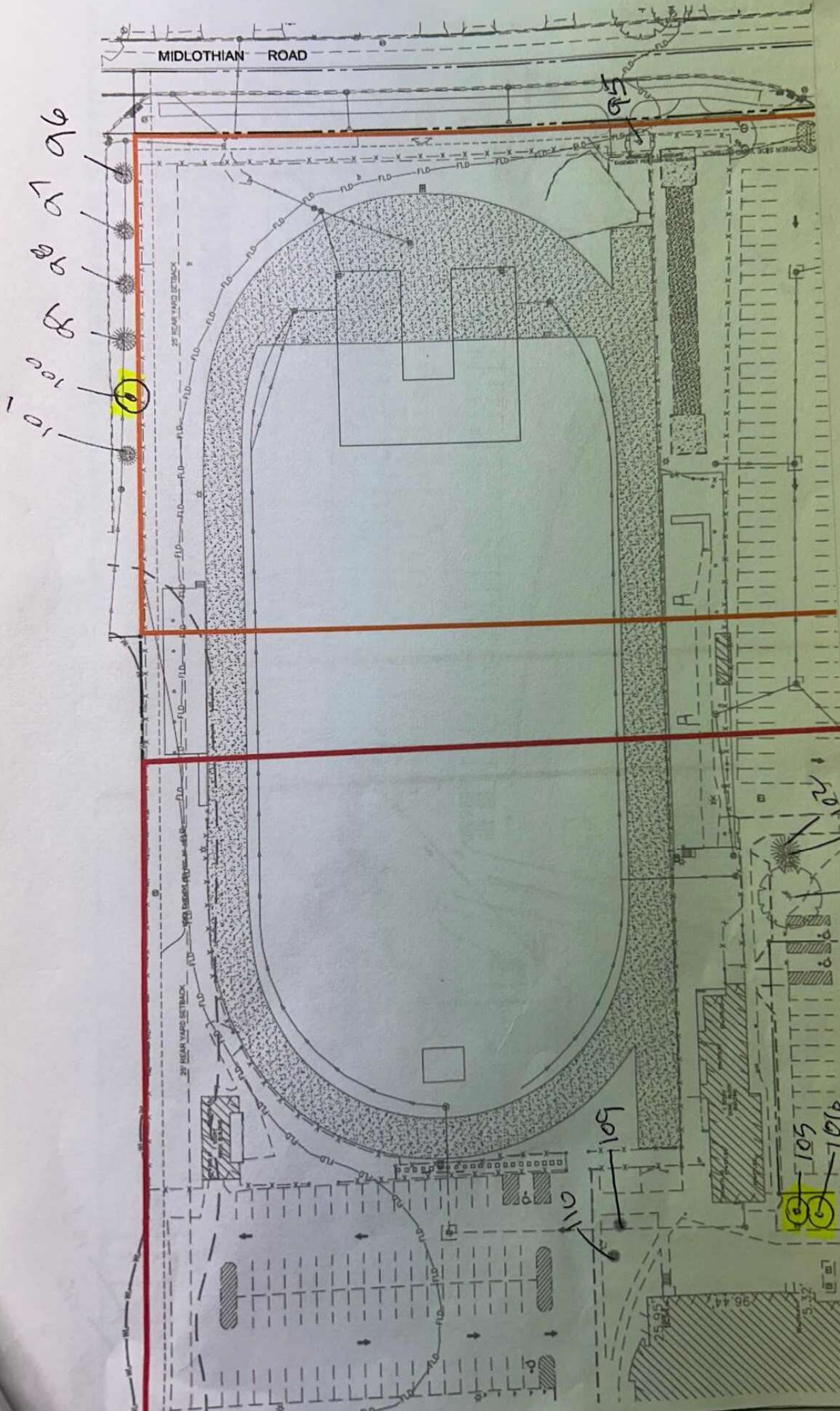
(Highlighted in Yellow)

Trees not on survey so added

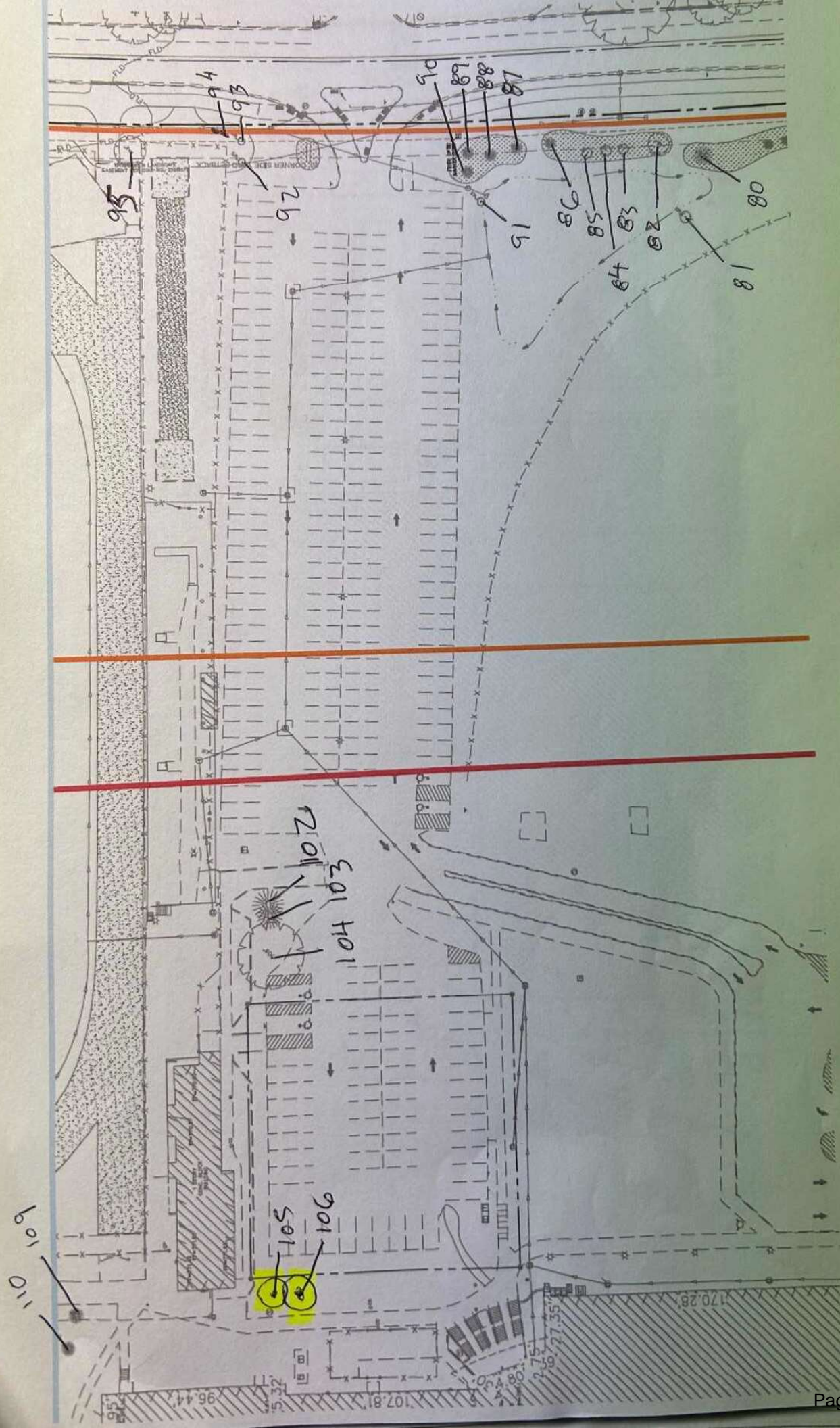
Trees: 100, 105, 106, 12, 13, 14, 15, 16, 17

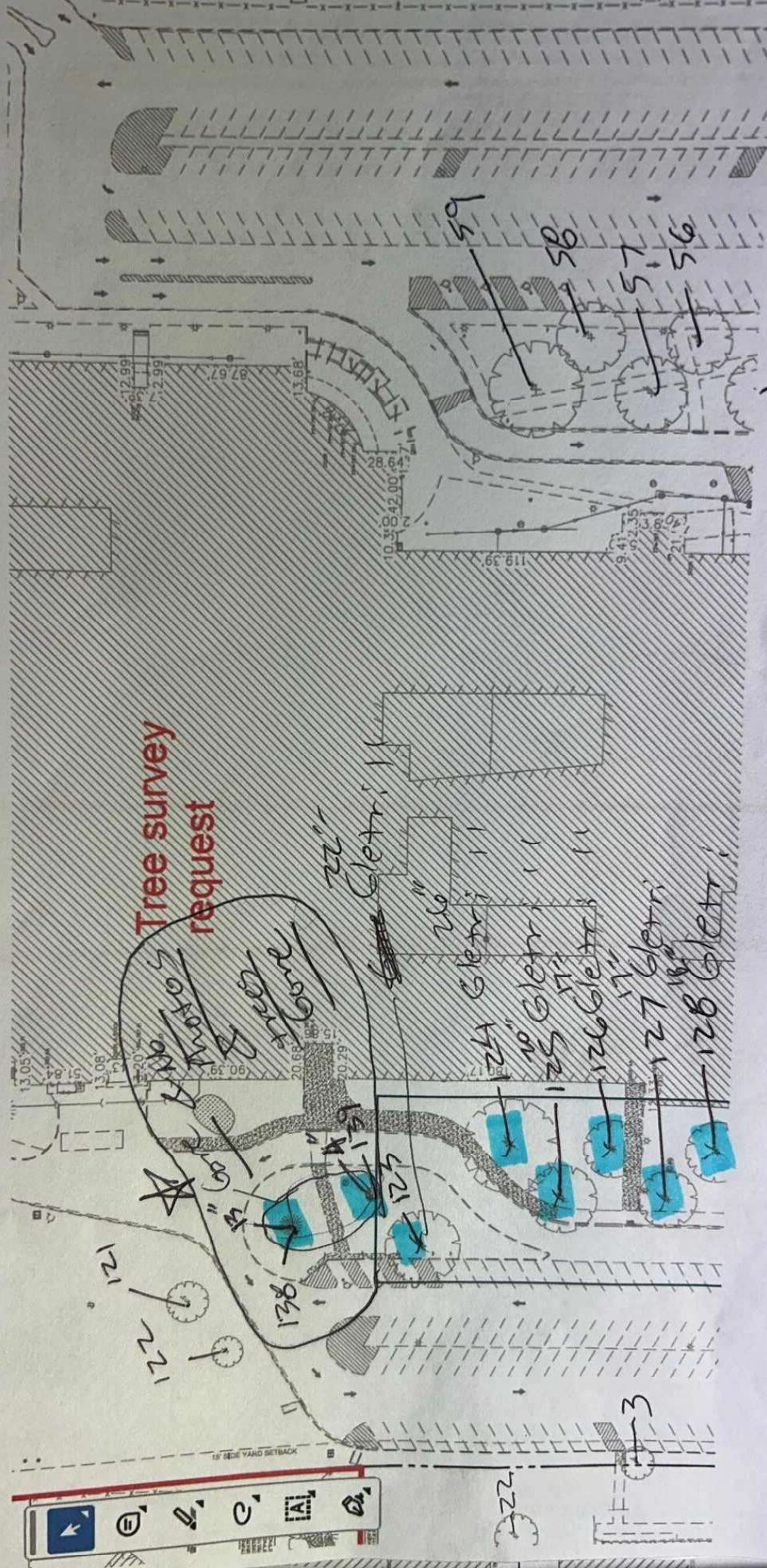
(Highlighted in Blue)

Trees on survey that are gone & wight so will get vs photos to identify them: 123 to 137



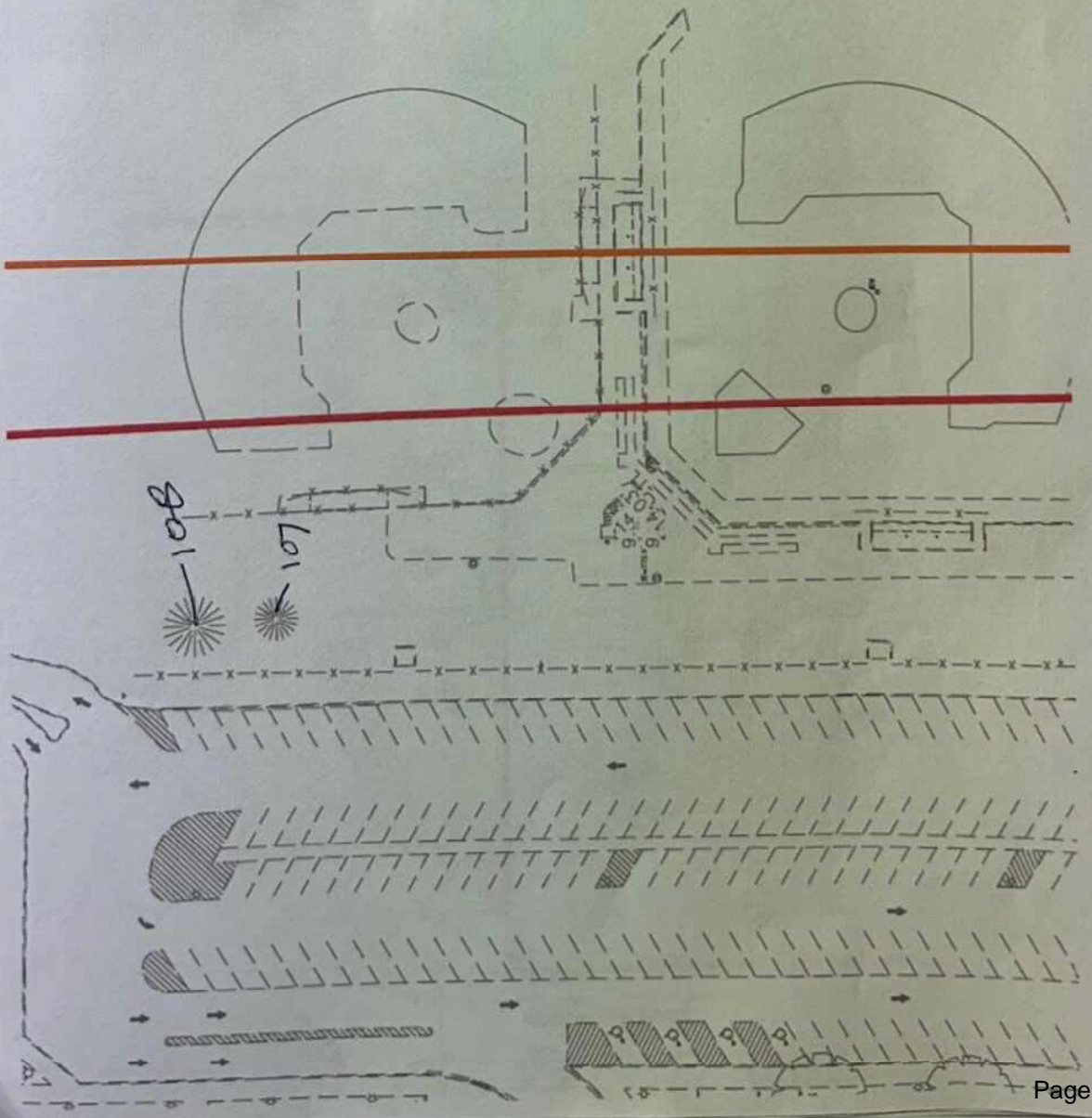
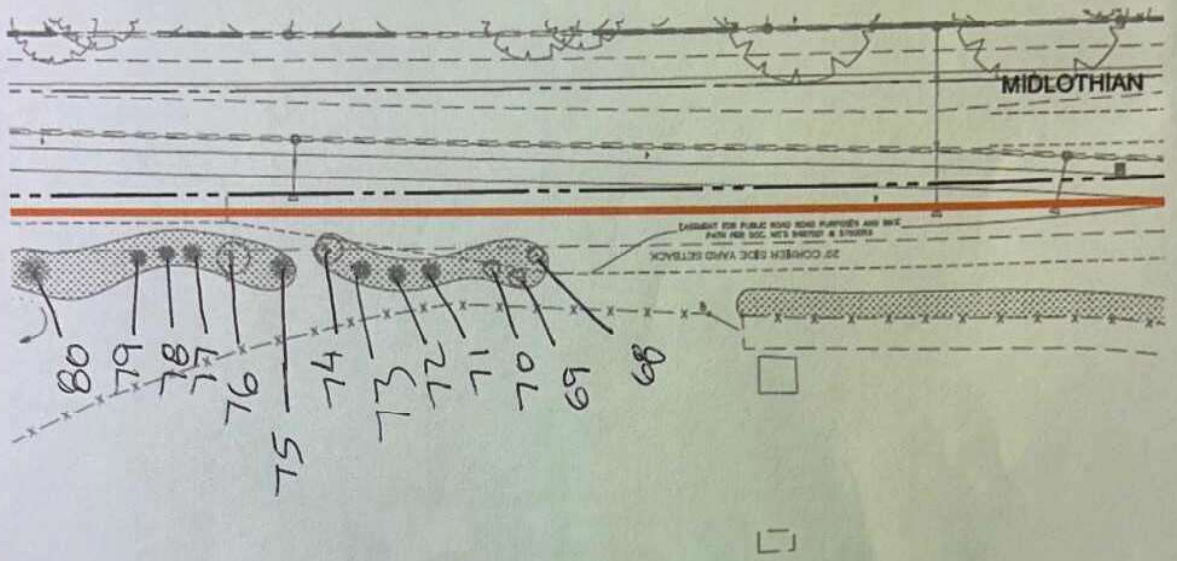
5

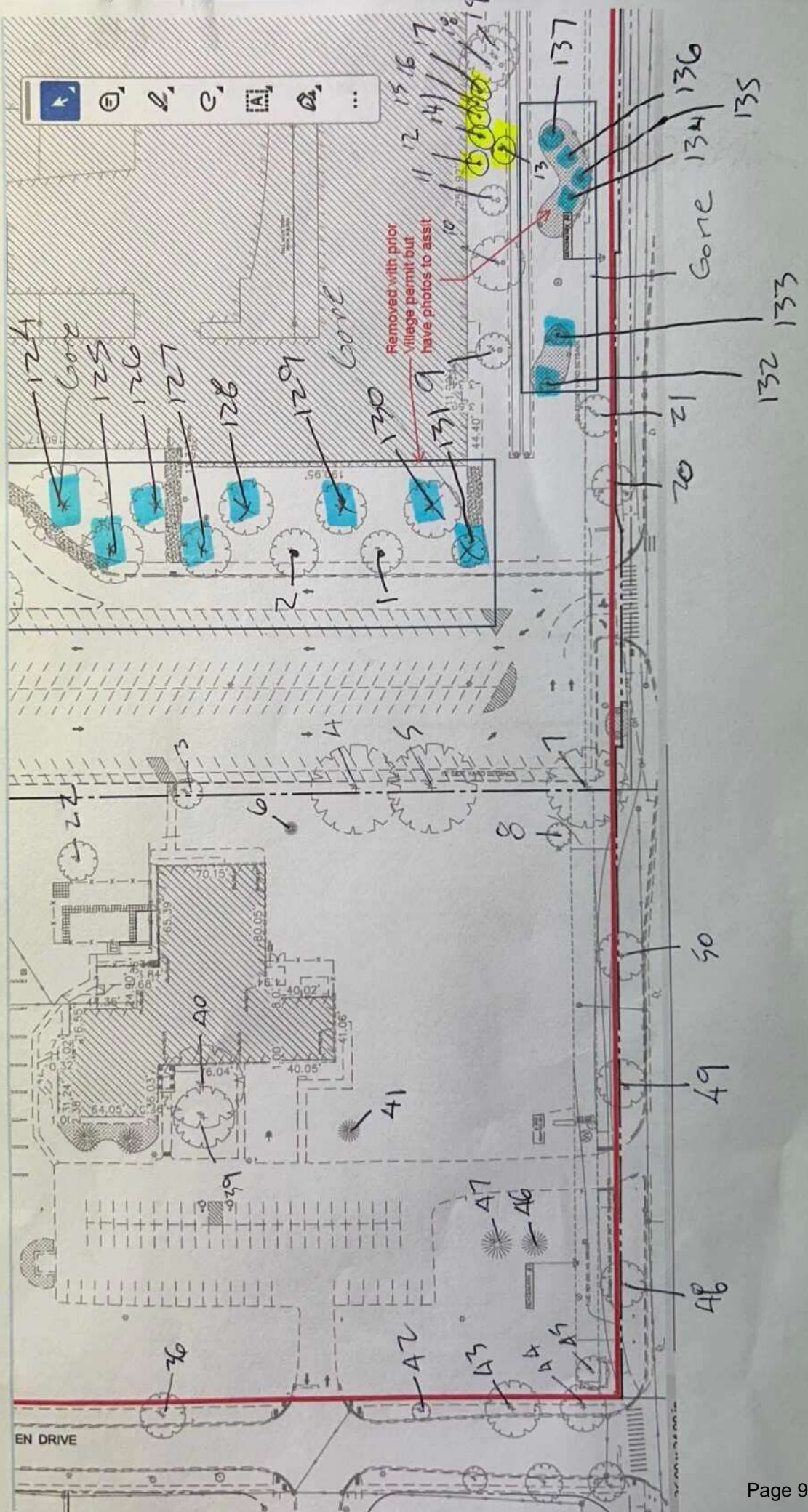




Tree survey request

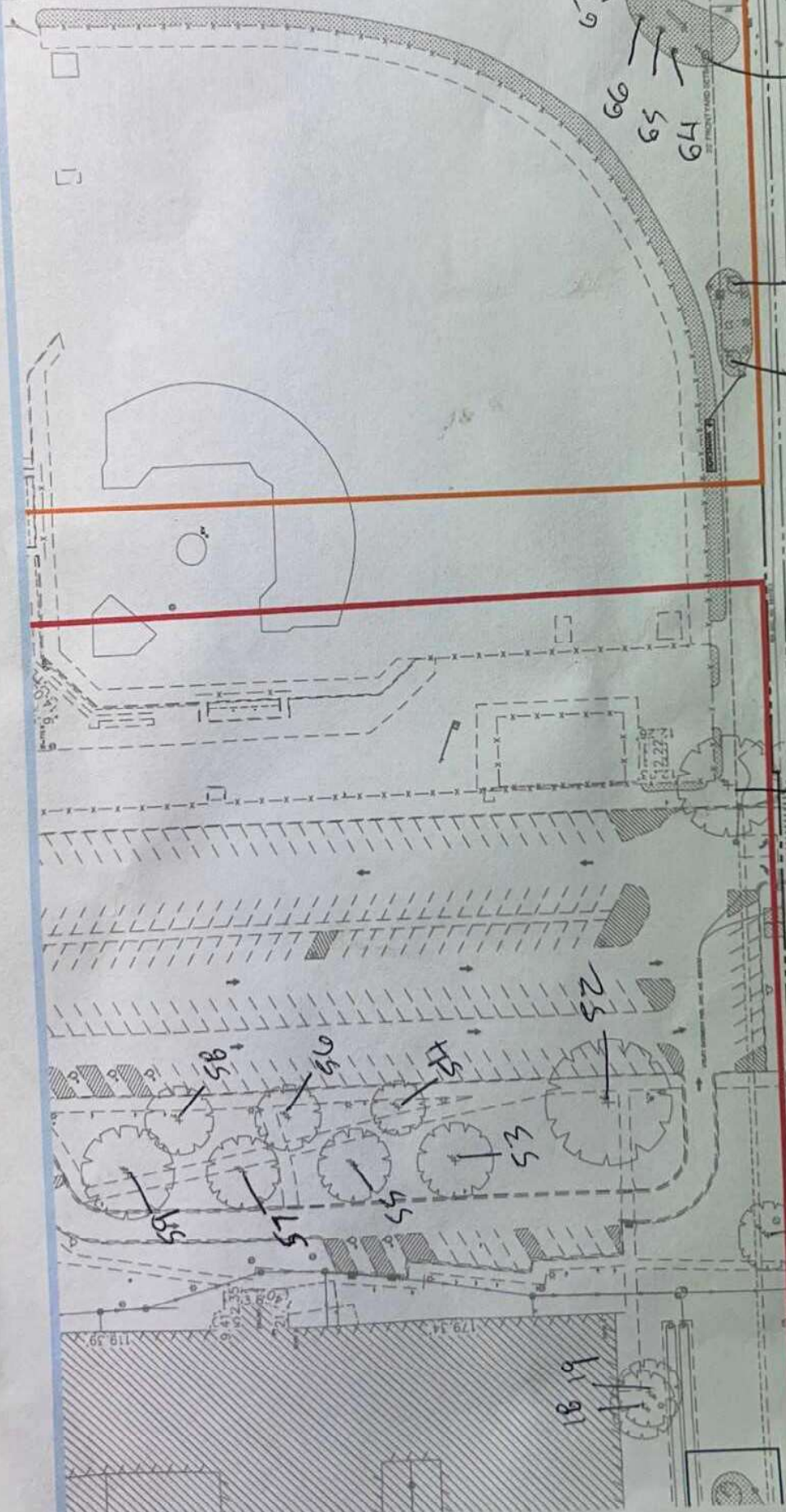
55





MIDLOTHIAN ROAD

27' CONCRETE SIDE YARD SETBACK
27' CONCRETE SIDE YARD SETBACK



some

Mundelein High School Site
1350 W. Hawley Street
Mundelein, Lake County, Illinois 60060

<u>TREE #</u>	<u>COMMON NAME</u>	<u>SCIENTIFIC NAME</u>	<u>DBH</u>	<u>CONDITION</u>	<u>FORM</u>	<u>COMMENTS</u>	<u>DATE</u>
1	Honey Locust	<i>Gleditsia triacanthos</i>	16	3	2		12/22/2025
2	Honey Locust	<i>Gleditsia triacanthos</i>	16	3	2		12/22/2025
3	Honey Locust	<i>Gleditsia triacanthos</i>	11	2	1		12/22/2025
4	Honey Locust	<i>Gleditsia triacanthos</i>	28	1	1		12/22/2025
5	Honey Locust	<i>Gleditsia triacanthos</i>	28	1	1		12/22/2025
6	Colorado Blue Spruce	<i>Picea pungens</i>	8	1	1		12/22/2025
7	Honey Locust	<i>Gleditsia triacanthos</i>	30	1	2		12/22/2025
8	Little-leaved Linden	<i>Tilia cordata</i>	11	1	1		12/22/2025
9	Sugar Maple	<i>Acer saccharum</i>	10	1	1		12/22/2025
10	Norway Maple	<i>Acer platanoides</i>	23	1	1		12/22/2025
11	Crab Apple	<i>Malus sp.</i>	5, 5, 6	1	1		12/22/2025
12	Red Maple	<i>Acer rubrum</i>	5	1	1		12/22/2025
13	Red Maple	<i>Acer rubrum</i>	6	1	1		12/22/2025
14	Red Maple	<i>Acer rubrum</i>	8	1	1		12/22/2025
15	Colorado Blue Spruce	<i>Picea pungens</i>	5	1	1		12/22/2025
16	Colorado Blue Spruce	<i>Picea pungens</i>	5	1	1		12/22/2025
17	Colorado Blue Spruce	<i>Picea pungens</i>	4	1	1		12/22/2025
18	Norway Maple	<i>Acer platanoides</i>	19	2	2		12/22/2025
19	Norway Maple	<i>Acer platanoides</i>	19	2	2		12/22/2025
20	Crab Apple	<i>Malus sp.</i>	6, 6, 6	2	1		12/22/2025
21	Crab Apple	<i>Malus sp.</i>	7, 11	2	1		12/22/2025
22	Norway Maple	<i>Acer platanoides</i>	14	1	1	2 leaders	12/22/2025
23	Hackberry	<i>Celtis occidentalis</i>	16	1	1		12/22/2025
24	Hackberry	<i>Celtis occidentalis</i>	16	2	2		12/22/2025
25	Austrian Pine	<i>Pinus nigra</i>	14	1	2		12/22/2025
26	Austrian Pine	<i>Pinus nigra</i>	16	1	2		12/22/2025
27	Austrian Pine	<i>Pinus nigra</i>	13	1	1		12/22/2025
28	Austrian Pine	<i>Pinus nigra</i>	14	1	1		12/22/2025
29	Austrian Pine	<i>Pinus nigra</i>	22	1	1		12/22/2025
30	Austrian Pine	<i>Pinus nigra</i>	18	1	1	2 leaders	12/22/2025
31	Amur Maple	<i>Acer ginnala</i>	6, 6, 6, 9, 9	2	1		12/22/2025
32	Amur Maple	<i>Acer ginnala</i>	5, 5, 13	2	1		12/22/2025
33	White Ash	<i>Fraxinus americana</i>	20	2	1		12/22/2025
34	Honey Locust	<i>Gleditsia triacanthos</i>	7	1	1		12/22/2025
35	Little-leaved Linden	<i>Tilia cordata</i>	2	2	2		12/22/2025
36	Honey Locust	<i>Gleditsia triacanthos</i>	16	1	1		12/22/2025
37	Colorado Blue Spruce	<i>Picea pungens</i>	17	1	1		12/22/2025
38	Colorado Blue Spruce	<i>Picea pungens</i>	19	1	1		12/22/2025
39	Silver Maple	<i>Acer saccharinum</i>	22	2	2		12/22/2025

Mundelein High School Site
1350 W. Hawley Street

Mundelein, Lake County, Illinois 60060

<u>TREE #</u>	<u>COMMON NAME</u>	<u>SCIENTIFIC NAME</u>	<u>DBH</u>	<u>CONDITION</u>	<u>FORM</u>	<u>COMMENTS</u>	<u>DATE</u>
40	Silver Maple	<i>Acer saccharinum</i>	28	2	2		12/22/2025
41	Colorado Blue Spruce	<i>Picea pungens</i>	10	4	1		12/22/2025
42	Hackberry	<i>Celtis occidentalis</i>	6	1	1		12/22/2025
43	Little-leaved Linden	<i>Tilia cordata</i>	16	1	1	2 leaders	12/22/2025
44	Little-leaved Linden	<i>Tilia cordata</i>	16	1	1		12/22/2025
45	Ornamental Pear	<i>Pyrus calleryana</i>	10	1	1		12/22/2025
46	Colorado Blue Spruce	<i>Picea pungens</i>	25	1	1		12/22/2025
47	Colorado Blue Spruce	<i>Picea pungens</i>	22	1	1		12/22/2025
48	Little-leaved Linden	<i>Tilia cordata</i>	16	1	1		12/22/2025
49	Little-leaved Linden	<i>Tilia cordata</i>	16	1	1		12/22/2025
50	Little-leaved Linden	<i>Tilia cordata</i>	17	1	1		12/22/2025
51						Tree presumably removed by the school in the past and not removed as part of the building construction.	12/22/2025
52	Honey Locust	<i>Gleditsia triacanthos</i>	16, 29	2	2		12/22/2025
53	Honey Locust	<i>Gleditsia triacanthos</i>	25	1	1		12/22/2025
54	Honey Locust	<i>Gleditsia triacanthos</i>	18	2	2		12/22/2025
55	Honey Locust	<i>Gleditsia triacanthos</i>	30	1	1		12/22/2025
56	Honey Locust	<i>Gleditsia triacanthos</i>	22	2	2		12/22/2025
57	Honey Locust	<i>Gleditsia triacanthos</i>	26	1	1		12/22/2025
58	Honey Locust	<i>Gleditsia triacanthos</i>	27	1	2		12/22/2025
59	Honey Locust	<i>Gleditsia triacanthos</i>	34	1	1		12/22/2025
60	Little-leaved Linden	<i>Tilia cordata</i>	40	4	2		12/22/2025
61	Redbud	<i>Cercis canadensis</i>	4,4,4,4,4,4,4	1	1		12/22/2025
62	Redbud	<i>Cercis canadensis</i>	6, 6	1	1		12/22/2025
63	Redbud	<i>Cercis canadensis</i>	2, 2, 2	1	1		12/22/2025
64	Colorado Blue Spruce	<i>Picea pungens</i>	2	1	1		12/22/2025
65	Colorado Blue Spruce	<i>Picea pungens</i>	2	1	1		12/22/2025
66	Colorado Blue Spruce	<i>Picea pungens</i>	2	1	1		12/22/2025
67	Redbud	<i>Cercis canadensis</i>	1, 1, 1, 1, 1	1	1		12/22/2025
68	Crab Apple	<i>Malus sp.</i>	3	1	1		12/22/2025
69	Crab Apple	<i>Malus sp.</i>	3	1	1		12/22/2025
70	Crab Apple	<i>Malus sp.</i>	3	1	1		12/22/2025
71	Douglas Fir	<i>Pseudotsuga menziesii</i>	7	1	1		12/22/2025
72	Douglas Fir	<i>Pseudotsuga menziesii</i>	6	1	1		12/22/2025
73	Douglas Fir	<i>Pseudotsuga menziesii</i>	6	1	1		12/22/2025
74	Little-leaved Linden	<i>Tilia cordata</i>	5	1	1		12/22/2025
75	Colorado Blue Spruce	<i>Picea pungens</i>	8	1	1		12/22/2025
76	Red Maple	<i>Acer rubrum</i>	7	1	1		12/22/2025
77	Colorado Blue Spruce	<i>Picea pungens</i>	5	1	1		12/22/2025

Mundelein High School Site
1350 W. Hawley Street
Mundelein, Lake County, Illinois 60060

<u>TREE #</u>	<u>COMMON NAME</u>	<u>SCIENTIFIC NAME</u>	<u>DBH</u>	<u>CONDITION</u>	<u>FORM</u>	<u>COMMENTS</u>	<u>DATE</u>
78	Colorado Blue Spruce	<i>Picea pungens</i>	5	1	1		12/22/2025
79	Colorado Blue Spruce	<i>Picea pungens</i>	5	1	1		12/22/2025
80	Colorado Blue Spruce	<i>Picea pungens</i>	10	1	1		12/22/2025
81	Ornamental Pear	<i>Pyrus calleryana</i>	3,3,3,3,3,3	1	1		12/22/2025
82	Little-leaved Linden	<i>Tilia cordata</i>	6	1	1		12/22/2025
83	Crab Apple	<i>Malus sp.</i>	2	1	1		12/22/2025
84	Crab Apple	<i>Malus sp.</i>	3	1	1		12/22/2025
85	Crab Apple	<i>Malus sp.</i>	3	1	1		12/22/2025
86	Balsam Fir	<i>Abies balsamea</i>	8	1	1		12/22/2025
87	Balsam Fir	<i>Abies balsamea</i>	7	1	1		12/22/2025
88	Colorado Blue Spruce	<i>Picea pungens</i>	6	1	1		12/22/2025
89	Colorado Blue Spruce	<i>Picea pungens</i>	5	1	1		12/22/2025
90	Colorado Blue Spruce	<i>Picea pungens</i>	6	1	1		12/22/2025
91	Ornamental Pear	<i>Pyrus calleryana</i>	3, 3, 3, 3	1	1		12/22/2025
92	Allegheny Serviceberry	<i>Amelanchier laevis</i>	2, 2, 2, 2	1	1		12/22/2025
93	Allegheny Serviceberry	<i>Amelanchier laevis</i>	2, 2, 2, 2, 2	1	1		12/22/2025
94	Allegheny Serviceberry	<i>Amelanchier laevis</i>	1,1,1,1,1,1,1,1	1	1		12/22/2025
95	Sugar Maple	<i>Acer saccharum</i>	4, 4	1	1		12/22/2025
96	Austrian Pine	<i>Pinus nigra</i>	20	1	1		12/22/2025
97	Austrian Pine	<i>Pinus nigra</i>	15	1	1		12/22/2025
98	Austrian Pine	<i>Pinus nigra</i>	14	1	1		12/22/2025
99	Austrian Pine	<i>Pinus nigra</i>	23	1	1		12/22/2025
100	Austrian Pine	<i>Pinus nigra</i>	20	1	1		12/22/2025
101	Austrian Pine	<i>Pinus nigra</i>	18	3	1		12/22/2025
102	Austrian Pine	<i>Pinus nigra</i>	24	1	1		12/22/2025
103	Austrian Pine	<i>Pinus nigra</i>	17	1	1		12/22/2025
104	Little-leaved Linden	<i>Tilia cordata</i>	30	1	1		12/22/2025
105	Crab Apple	<i>Malus sp.</i>	14	2	2		12/22/2025
106	Austrian Pine	<i>Pinus nigra</i>	23	1	1		12/22/2025
107	Austrian Pine	<i>Pinus nigra</i>	22	1	1		12/22/2025
108	Austrian Pine	<i>Pinus nigra</i>	30	1	1		12/22/2025
109	Austrian Pine	<i>Pinus nigra</i>	7, 10	1	1		12/22/2025
110	Austrian Pine	<i>Pinus nigra</i>	7	4	4		12/22/2025
111	Sugar Maple	<i>Acer saccharum</i>	11	2	1		12/22/2025
112	Sugar Maple	<i>Acer saccharum</i>	10	1	1		12/22/2025
113	Sugar Maple	<i>Acer saccharum</i>	8	2	1		12/22/2025
114	Sugar Maple	<i>Acer saccharum</i>	10	1	1		12/22/2025
115	Silver Maple	<i>Acer saccharinum</i>	14	3	1		12/22/2025
116	Colorado Blue Spruce	<i>Picea pungens</i>	19	1	1		12/22/2025

Mundelein High School Site
1350 W. Hawley Street

Mundelein, Lake County, Illinois 60060

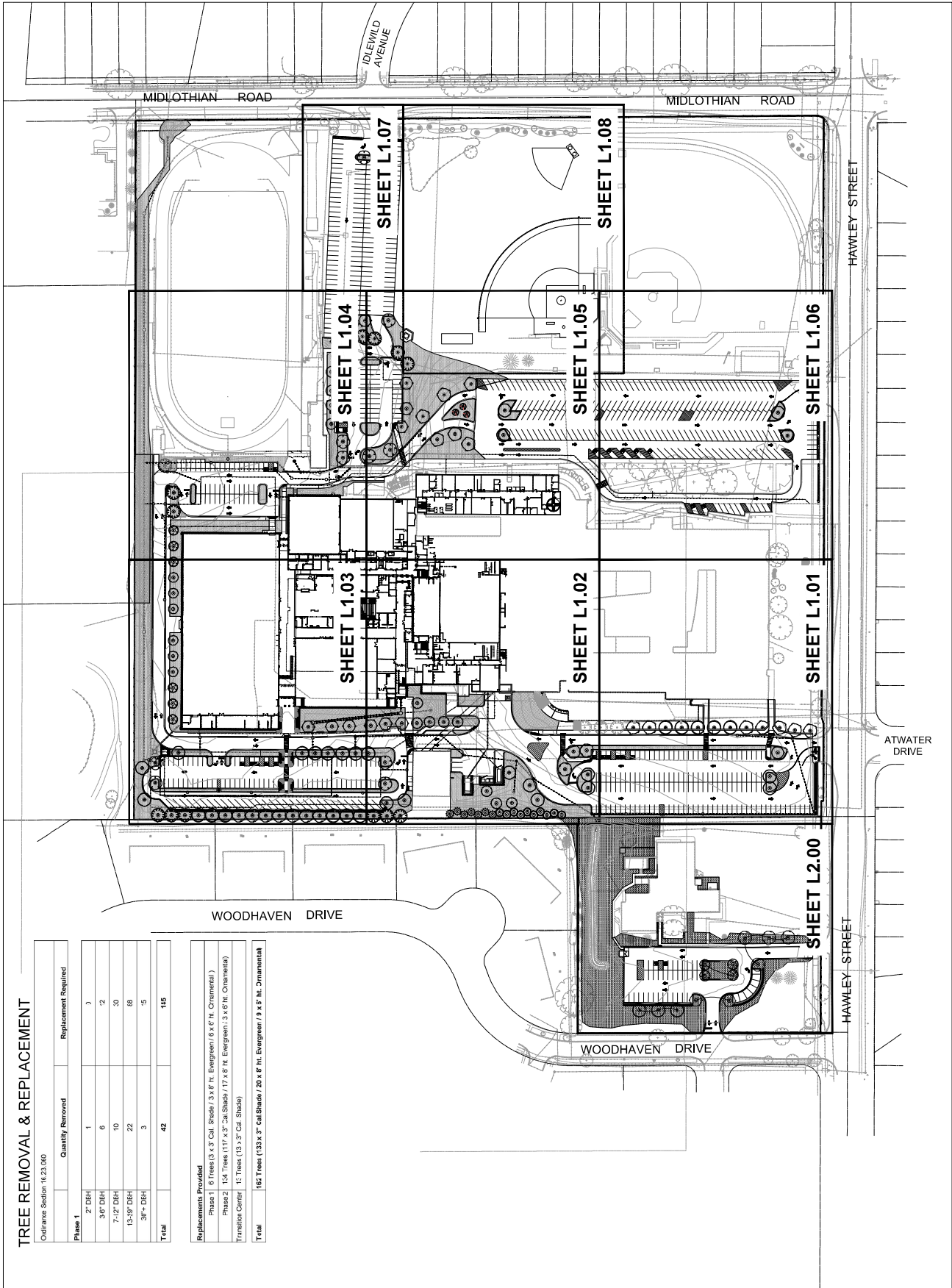
<u>TREE #</u>	<u>COMMON NAME</u>	<u>SCIENTIFIC NAME</u>	<u>DBH</u>	<u>CONDITION</u>	<u>FORM</u>	<u>COMMENTS</u>	<u>DATE</u>
117	Little-leaved Linden	<i>Tilia cordata</i>	18, 18	1	1		12/22/2025
118	Colorado Blue Spruce	<i>Picea pungens</i>	24	1	1		12/22/2025
119	Little-leaved Linden	<i>Tilia cordata</i>	12, 14	1	2		12/22/2025
120	Little-leaved Linden	<i>Tilia cordata</i>	5, 6	2	2		12/22/2025
121	Sugar Maple	<i>Acer saccharum</i>	11	1	1		12/22/2025
122	Sugar Maple	<i>Acer saccharum</i>	9	1	1		12/22/2025
123	Honey Locust	<i>Gleditsia triacanthos</i>	22	1	1	Note: For trees 123 - 139, size was provided on the survey and photos of trees were sent by Wight & Co. to determine species, condition, and form.	12/22/2025
124	Honey Locust	<i>Gleditsia triacanthos</i>	26	1	1		12/22/2025
125	Honey Locust	<i>Gleditsia triacanthos</i>	20	1	1		12/22/2025
126	Honey Locust	<i>Gleditsia triacanthos</i>	17	1	1		12/22/2025
127	Honey Locust	<i>Gleditsia triacanthos</i>	17	1	1		12/22/2025
128	Honey Locust	<i>Gleditsia triacanthos</i>	18	1	1		12/22/2025
129	Honey Locust	<i>Gleditsia triacanthos</i>	17	1	1		12/22/2025
130	Honey Locust	<i>Gleditsia triacanthos</i>	18	1	1		12/22/2025
131	Red Maple	<i>Acer rubrum</i>	11			Tree is gone in photos.	12/22/2025
132	Red Maple	<i>Acer rubrum</i>	4	1	1		12/22/2025
133	Colorado Blue Spruce	<i>Picea pungens</i>	4	1	1		12/22/2025
134	Colorado Blue Spruce	<i>Picea pungens</i>	3	1	1		12/22/2025
135	Colorado Blue Spruce	<i>Picea pungens</i>	3	1	1		12/22/2025
136	Colorado Blue Spruce	<i>Picea pungens</i>	3	1	1		12/22/2025
137	Red Maple	<i>Acer rubrum</i>	2	1	1		12/22/2025
138			13			Coniferous tree per photo.	12/22/2025
139			4			Deciduous tree per photo.	12/22/2025

139 = Total Number of Trees

TREE REMOVAL & REPLACEMENT

Phase	Quantity Removed	Replacement Required
Phase 1		
2" DBH	1	3
3-6" DBH	6	2
7-12" DBH	10	30
13-35" DBH	22	88
36"+ DBH	3	15
Total	42	145

Phase	Quantity Provided
Phase 1	
6 Trees (3 x 3" Cal. Shade / 3 x 6" Tr. Evergreen / 6 x 6" Hl. Ornamental)	
Phase 2	
154 Trees (117 x 3" Cal. Shade / 17 x 8" Hl. Evergreen / 3 x 6" Hl. Ornamental)	
Transition Center	
11 Trees (13 x 3" Cal. Shade)	
Total	167 Trees (133 x 3" Cal. Shade / 20 x 8" Hl. Evergreen / 9 x 6" Hl. Ornamental)



MUNDELEIN HIGH SCHOOL
 MUNDELEIN CONSOLIDATED HIGH SCHOOL DISTRICT 120

Wight

Wight & Company
 Landscape Architects
 2500 North Fremont Road
 Downers Grove, IL 60515
 P 630.969.7000
 F 630.969.7979



NO. SHEET	1
NO. SHEETS	8
DATE	
REV.	DESCRIPTION

MUNDELEIN HIGH SCHOOL MASTER FACILITIES PROJECT - PHASE 2
 1350 W. HAWLEY STREET
 MUNDELEIN, IL 60060

OVERALL LANDSCAPE PLAN

Project Number: 240102
 Drawn By: GB
 Scale: 1" = 80'
 0' 40' 80' 160'



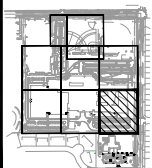
L1.00



MUNDELEIN HIGH SCHOOL
 MUNDELEIN CONSOLIDATED HIGH SCHOOL DISTRICT 120

Wight

Wight & Company
 wightco.com
 2500 North Fremont Road
 Downers Grove, IL 60515
 P 630.969.7000
 F 630.969.7979



NO. DRAWN	DATE
NO. CHECKED	DATE
NO. REVISED	DATE
NO. APPROVED	DATE

MUNDELEIN HIGH SCHOOL MASTER FACILITIES PROJECT - PHASE 2

1350 W. HAWLEY STREET
 MUNDELEIN, IL 60060

LANDSCAPE PLAN - PHASE 2

Project Number: 240102
 Drawn By: GB
 Scale: 1" = 20'

L1.01

LEGEND

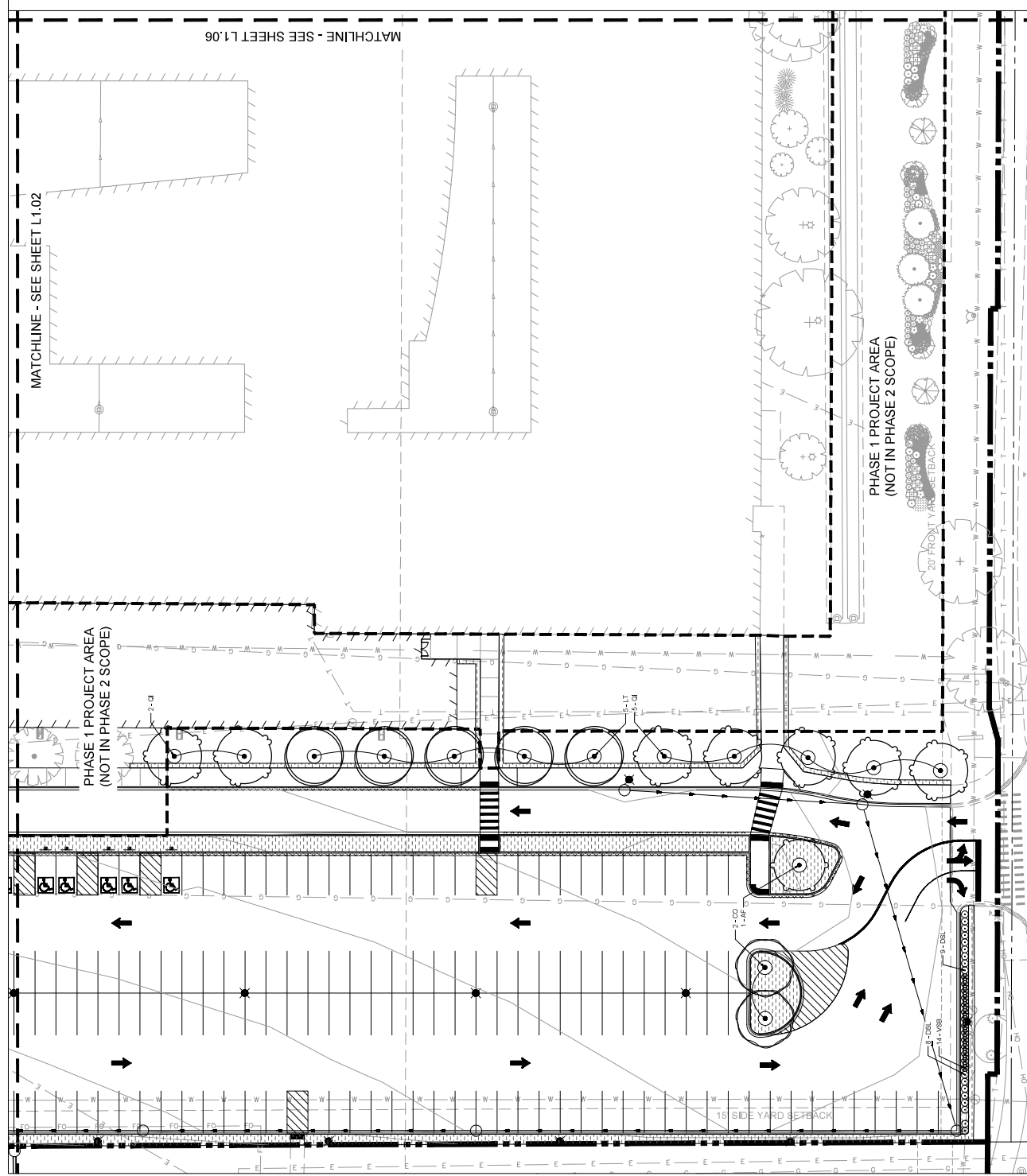
	PROPERTY LINE
	TURF GRASS SEED & BLANKET
	SOD
	LOW PROFILE PRAIRIE SEED & BLANKET

LANDSCAPE KEY NOTES

	PLANTER CURB 18 INCH HIGH
	CIP CONCRETE SEATWALL - SINGLE BENCH
	CIP CONCRETE SEATWALL - DUAL BENCH
	18" WIDE MAINTENANCE STRIP

LANDSCAPE NOTES:

1. ALL CONSTRUCTION WITH THE EXISTING TREES IN IMPACT ZONE SHALL BE COMPLETED PRIOR TO THE START OF CONSTRUCTION OF THE BUILDING. ALL EQUIPMENT TO AVOID CONSTRUCTION WHEN NEAR TREES SHALL BE USED TO AVOID DAMAGE TO TREES. ALL WORK SHALL FOLLOW AND STAY WITHIN THE PATH ALIGNMENT. PROGRESSIVE SOIL WILL BE STORAGED DURING CONSTRUCTION.
2. SEED AND BLANKET LANDSCAPE RESTORATION LIMIT LINE SHALL BE SET AT THE END OF THE IMPACT ZONE. AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED WITH TOPSOIL (MIN. 6" DEPTH), FERTILIZER, AND MULCH.
3. ALL LAWN SEEDING AND HERBICIDES SHALL BE APPLIED TO ALL LAWNS. ALL PLANT MATERIALS WILL BE TALLEDED TO LATE FALL. MULCH SHALL BE APPLIED TO ALL AREAS. MATERIALS WILL RECEIVE 2" OF HARDWOOD SHREDD.
4. ALL NEW TREES WILL RECEIVE 4" OF SHREDD.
5. CONTRACTOR RESPONSIBLE TO RESTORE ALL AREAS DISTURBED BY CONSTRUCTION, OUTSIDE SCOPE LIMIT, TO ORIGINAL CONDITION.
6. ALL PROPOSED PLANTING BEDS DISTURBED BY CONSTRUCTION SHALL BE RESTORED TO ORIGINAL (MIN. 12" DEPTH) PRIOR TO PERENNIAL AND SHRUB PLANTING.
7. THE CONTRACTOR SHALL PROTECT ANY AND ALL TREES TO REMAIN. CONTRACTOR SHALL INSTALL PROTECTIVE BARRIERS TO PROTECT TREES FROM CONSTRUCTION EQUIPMENT.
8. THE CONTRACTOR SHALL PROTECT ANY AND ALL TREES TO REMAIN. CONTRACTOR SHALL INSTALL PROTECTIVE BARRIERS TO PROTECT TREES FROM CONSTRUCTION EQUIPMENT.
9. THE CONTRACTOR SHALL PROTECT ANY AND ALL TREES TO REMAIN. CONTRACTOR SHALL INSTALL PROTECTIVE BARRIERS TO PROTECT TREES FROM CONSTRUCTION EQUIPMENT.
10. THE CONTRACTOR SHALL PROTECT ANY AND ALL TREES TO REMAIN. CONTRACTOR SHALL INSTALL PROTECTIVE BARRIERS TO PROTECT TREES FROM CONSTRUCTION EQUIPMENT.
11. ALL PLANTING BEDS SHALL RECEIVE 2" OF HARDWOOD SHREDD.
12. PLANTING BEDS SHALL RECEIVE 2" OF HARDWOOD SHREDD.
13. PLANTING BEDS SHALL RECEIVE 2" OF HARDWOOD SHREDD.
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19. PLANTING BEDS SHALL RECEIVE 2" OF HARDWOOD SHREDD.
20. PLANTING BEDS SHALL RECEIVE 2" OF HARDWOOD SHREDD.
21. PLANTING BEDS SHALL RECEIVE 2" OF HARDWOOD SHREDD.



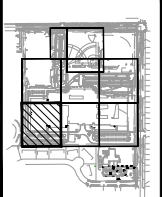
Site: \Projects\Mundelein Consolidated High School Facilities Project\240102 L1.01 Landscape Plan - Phase 2.dwg zmatkx Jan 15, 2026 10:26:16 am
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MUNDELEIN HIGH SCHOOL
 MUNDELEIN CONSOLIDATED HIGH SCHOOL DISTRICT 120

Wight

Wight & Company
 wight.com
 2500 North Fremont Road
 Downers Grove, IL 60511
 P 630.969.7000
 F 630.969.7979



NO.	REVISION	DATE
1	ISSUED FOR PERMITS	
2	ISSUED FOR PERMITS	

MUNDELEIN HIGH SCHOOL MASTER FACILITIES PROJECT - PHASE 2
 1350 W. HAWLEY STREET
 MUNDELEIN, IL 60060

LANDSCAPE PLAN - PHASE 2

Project Number: 240102
 Drawn By: GB
 Scale: 1" = 20'

L1.03

LEGEND

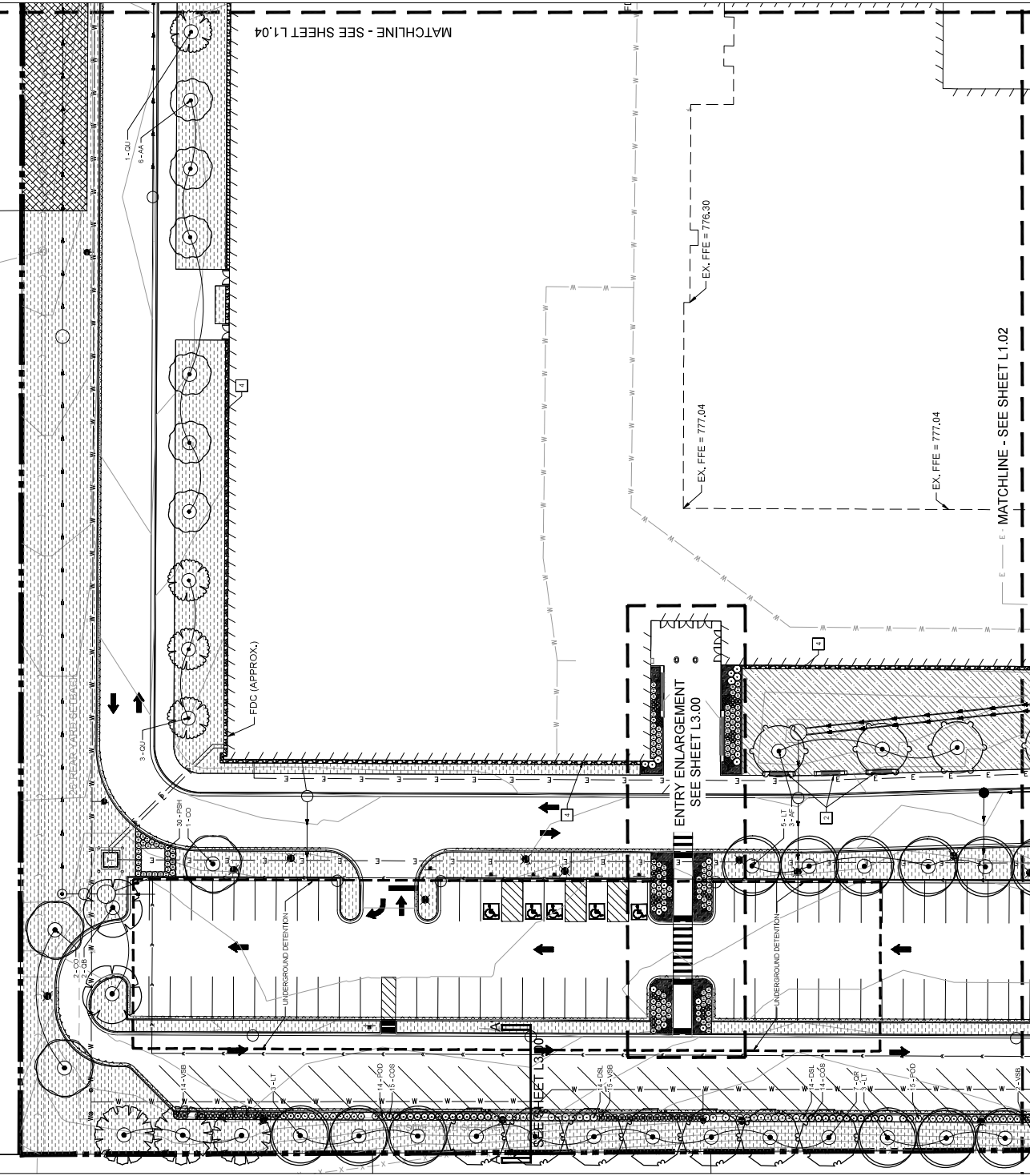
- PROPERTY LINE
- TURF GRASS SEED & BLANKET
- SOD
- LOW PROFILE PRAIRIE SEED & BLANKET

LANDSCAPE KEY NOTES

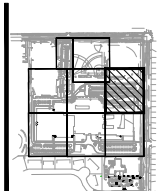
- 1. PLANTER CURB 18 INCH HIGH
- 2. CIP CONCRETE SEATWALL - SINGLE BENCH
- 3. CIP CONCRETE SEATWALL - DUAL BENCH
- 4. 18" WIDE MAINTENANCE STRIP

LANDSCAPE NOTES:

1. ALL CONSTRUCTION WITH THE EXISTING TREES IN IMPACT ZONE SHALL BE COMPLETED PRIOR TO THE START OF CONSTRUCTION TO AVOID CONSTRUCTION WHEN EQUIPMENT WILL FOLLOW AND STAY WITHIN THE PATH ALIGNMENT. PROGRESSIVE SOIL WILL BE STOCKPILED DURING CONSTRUCTION. SOIL WILL BE STOCKPILED DURING CONSTRUCTION.
2. SEED AND BLANKET LANDSCAPE RESTORATION LIMIT LINE SHALL BE PLACED AT THE END OF THE MAINTENANCE STRIP. AREAS INSTALLED BY CONTRACTOR SHALL BE RESTORED WITH TOPSOIL (MIN. 4" DEPTH), FERTILIZER, MULCH, AND SEED AND BLANKET. ALL LAWN SEEDING AND HERBICIDES PLUGS WILL BE INSTALLED AND MAINTAINED TO LATE FALL. MATERIALS WILL BE INSTALLED TO LATE FALL. MATERIALS WILL RECEIVE 7" OF HARDWOOD SHREDDED MULCH.
3. ALL NEW TREES WILL RECEIVE 4" OF SHREDDED MULCH.
4. CONTRACTOR RESPONSIBLE TO RESTORE ALL AREAS DISTURBED BY CONSTRUCTION, OUTSIDE SCOPE LIMIT, TO ORIGINAL CONDITION.
5. ALL PROPOSED PLANTING BEDS DISTURBED BY CONSTRUCTION SHALL BE RESTORED TO ORIGINAL (MIN. 12" DEPTH) PRIOR TO PERENNIAL AND SHRUB PLANTING.
6. THE CONTRACTOR SHALL PROTECT ANY AND ALL TREES TO REMAIN WITHIN THE PROJECT AREA. DUE TO THESE OPERATIONS, CONTRACTOR SHALL INSTALL PROTECTIVE BARRIERS TO BE MAINTAINED THROUGHOUT CONSTRUCTION.
7. THE CONTRACTOR SHALL SUBMIT ANY PROPOSED PLANTING LIST TO THE ARCHITECT. THE CONTRACTOR WILL SUBMIT ANY PROPOSED PLANTING LIST TO THE ARCHITECT.
8. THESE DRAWINGS, SPECIFICATIONS SHALL BE REFERRED TO FOR ALL PLANTING DETAILS.
9. ALL PLANTING BEDS SHALL RECEIVE 2" OF 1/2" MINIMUM DOUBLE SHREDDED HARDWOOD BARK GROUNDCOVERERS SHALL BE PLACED IN ALL PLANTING AREAS.
10. PLANTS SHALL BE PLACED IN THE AREAS WITHIN 6" OF THE MULCH AND WITHIN 4" DEEP SPACE OUT EDGE.
11. ALL PLANTING SHALL BE PLACED AT A DEPTH OF 12" CURVED BELT TO BE SMOOTH AND NOT TO BE PLACED IN THE AREAS WITHIN 6" OF THE MULCH.
12. EXISTING TURF IN PROPOSED PLANTING AREAS SHALL BE RESTORED TO ORIGINAL CONDITION.
13. ALL PLANTING SHALL BE PLACED IN THE AREAS WITHIN 6" OF THE MULCH.
14. ALL PLANTING SHALL BE PLACED IN THE AREAS WITHIN 6" OF THE MULCH.
15. ALL PLANTING SHALL BE PLACED IN THE AREAS WITHIN 6" OF THE MULCH.
16. ALL PLANTING SHALL BE PLACED IN THE AREAS WITHIN 6" OF THE MULCH.
17. ALL PLANTING SHALL BE PLACED IN THE AREAS WITHIN 6" OF THE MULCH.
18. ALL PLANTING SHALL BE PLACED IN THE AREAS WITHIN 6" OF THE MULCH.
19. ALL PLANTING SHALL BE PLACED IN THE AREAS WITHIN 6" OF THE MULCH.
20. ALL PLANTING SHALL BE PLACED IN THE AREAS WITHIN 6" OF THE MULCH.
21. ALL PLANTING SHALL BE PLACED IN THE AREAS WITHIN 6" OF THE MULCH.



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LEGEND

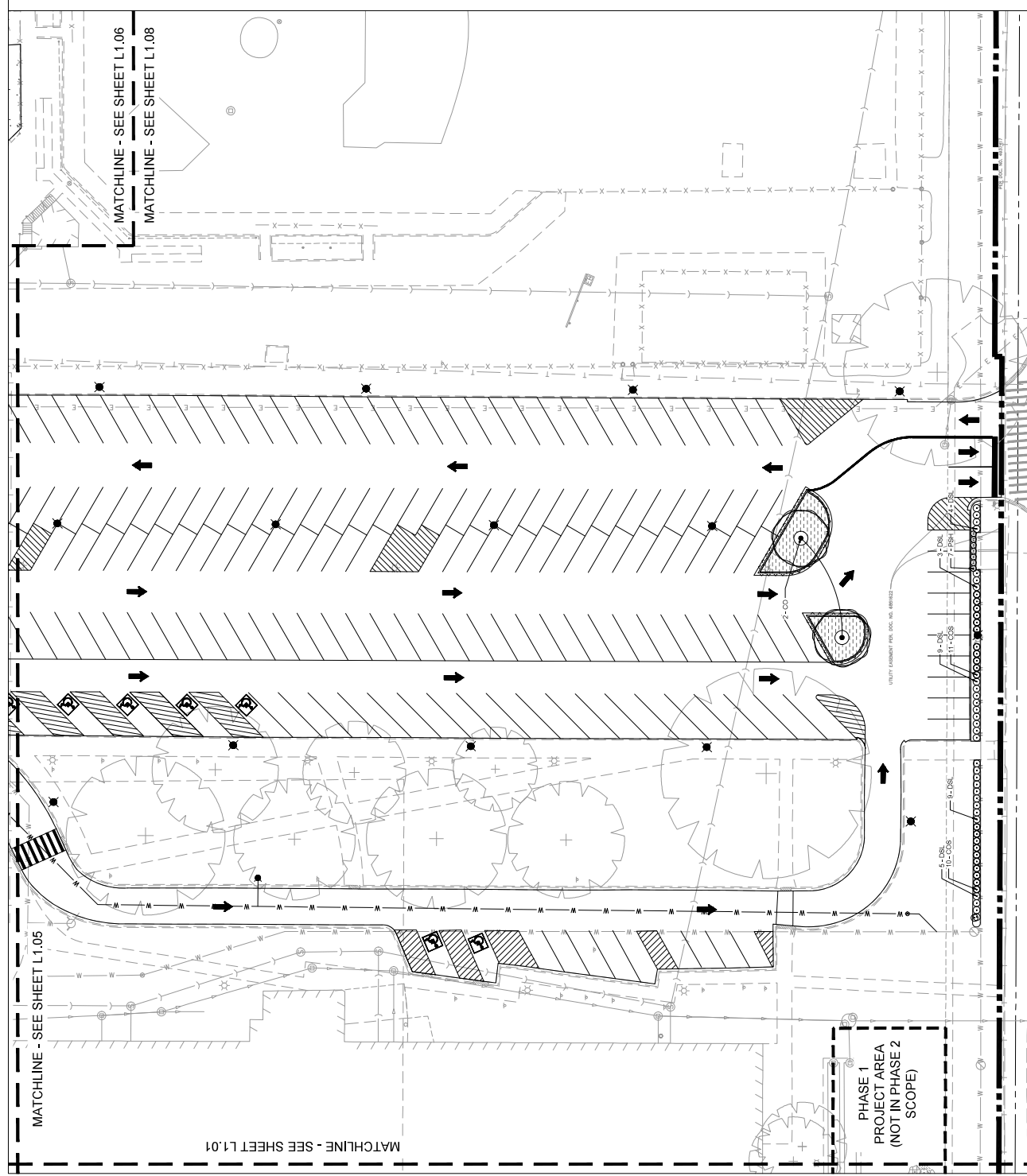
- PROPERTY LINE
- TURF GRASS SEED & BLANKET
- SOD
- LOW PROFILE PRAIRIE SEED & BLANKET

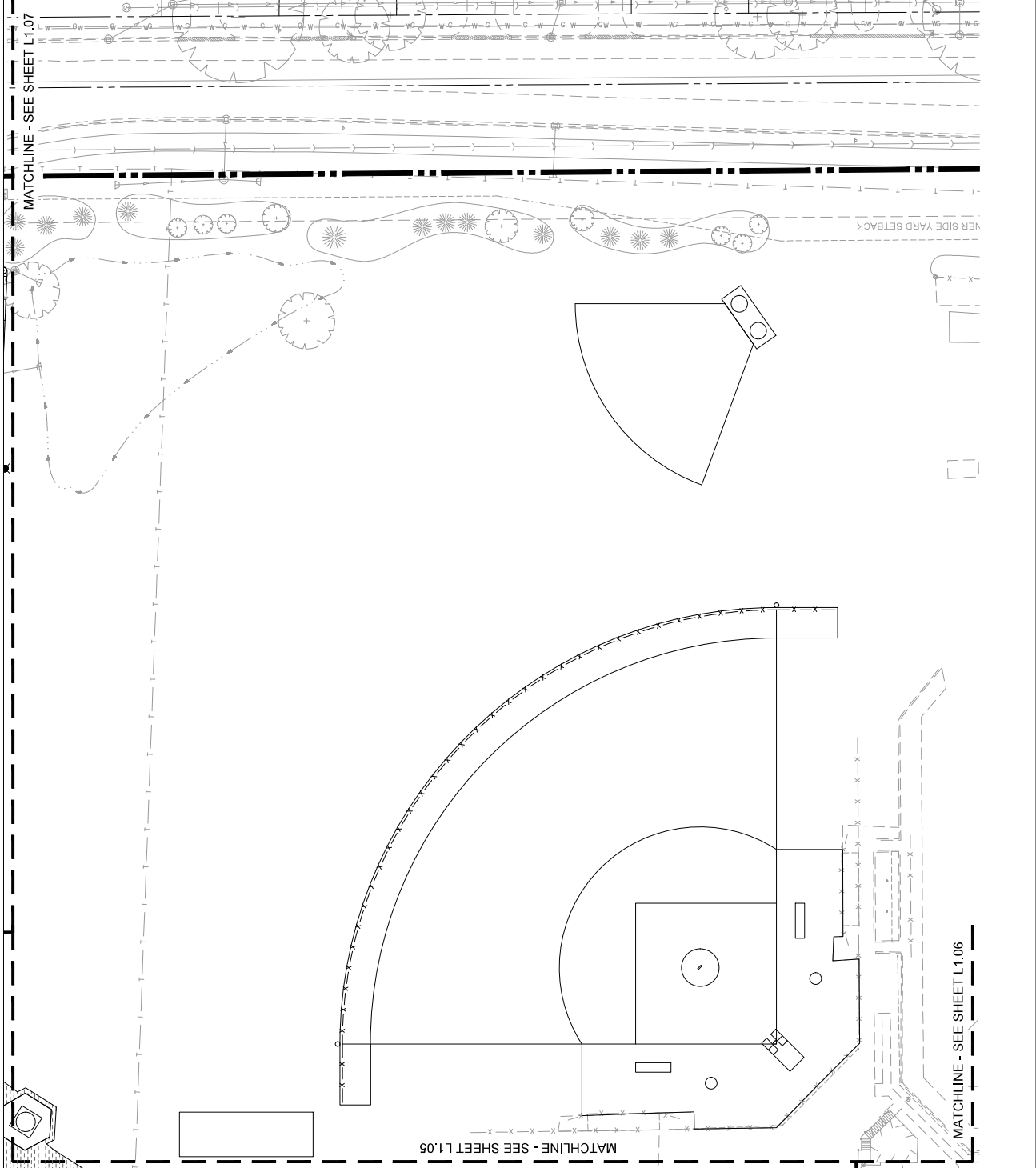
LANDSCAPE KEY NOTES

- PLANTER CURB 18 INCH HT
- CIP CONCRETE SEATWALL - SINGLE BENCH
- CIP CONCRETE SEATWALL - DUAL BENCH
- 18" WISE MAINTENANCE STRIP

LANDSCAPE NOTES:

- ALL CONSTRUCTION WITH THE EXISTING TREES IN IMPACT ZONE SHALL BE COMPLETED PRIOR TO THE START OF CONSTRUCTION. ALL CONSTRUCTION EQUIPMENT SHALL BE PROTECTED BY CURBS AND CHAINS. ALL CONSTRUCTION SHALL FOLLOW AND STAY WITHIN THE PATH ALIGNMENT. PROGRESSIVE SOIL WILL BE STOCKPILED DURING CONSTRUCTION. ALL SOIL TO BE STOCKPILED DURING CONSTRUCTION SHALL BE COVERED WITH TURF GRASS SEED AND BLANKET. LANDSCAPE RESTORATION LIMIT LINE SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED WITH TOPSOIL (MIN. 6" DEPTH), FERTILIZER, AND MULCH. ALL LAWN SEEDING AND HERBICIDES SHALL BE APPLIED TO ALL AREAS TO BE RESTORED TO LATE FALL. PLANT MATERIALS WILL BE INSTALLED TO LATE FALL. MATERIALS WILL RECEIVE 2" OF HARDWOOD SHREDDER. ALL NEW TREES WILL RECEIVE 4" OF SHREDDER. CONTRACTOR RESPONSIBLE TO RESTORE ALL AREAS DISTURBED BY CONSTRUCTION. OUTSIDE SCOPE LIMIT, TO BE RESTORED TO ORIGINAL CONDITION. (MIN. 12" DEPTH) PRIOR TO PERENNIALS AND SHRUBS. THE CONTRACTOR SHALL PROTECT ANY AND ALL TREES TO REMAIN. ALL TREES TO BE REMOVED SHALL BE REMOVED PRIOR TO BEGINNING WORK ON PLANS AND DETAILS. THE CONTRACTOR SHALL MAKE NO SUBSTITUTIONS TO ANY MATERIALS OR SPECIFICATIONS WITHOUT THE ARCHITECT. THE CONTRACTOR SHALL SUBMIT ANY CHANGES TO THE ARCHITECT FOR REVIEW. THESE DRAWINGS, SPECIFICATIONS SHALL BE REFERRED TO AS THE LATEST EDITION OF "AMERICAN STANDARD SPECIFICATIONS FOR CONSTRUCTION" UNLESS OTHERWISE NOTED. THESE DRAWINGS SHALL BE REFERRED TO AS THE LATEST EDITION OF "AMERICAN STANDARD SPECIFICATIONS FOR CONSTRUCTION" UNLESS OTHERWISE NOTED. THESE DRAWINGS SHALL BE REFERRED TO AS THE LATEST EDITION OF "AMERICAN STANDARD SPECIFICATIONS FOR CONSTRUCTION" UNLESS OTHERWISE NOTED. THESE DRAWINGS SHALL BE REFERRED TO AS THE LATEST EDITION OF "AMERICAN STANDARD SPECIFICATIONS FOR CONSTRUCTION" UNLESS OTHERWISE NOTED.





LEGEND

- PROPERTY LINE
 TURF GRASS SEED & BLANKET
 SOIL
 LOW PROFILE PRAIRIE SEED & BLANKET

LANDSCAPE KEY NOTES

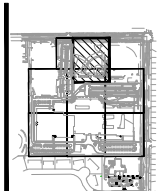
- 1 PLANTER CURB 18 INCH HT
- 2 CIP CONCRETE SEATWALL - SINGLE BENCH
- 3 CIP CONCRETE SEATWALL - DUAL BENCH
- 4 18" WISE MAINTENANCE STRIP

LANDSCAPE NOTES:

1. ALL CONSTRUCTION WITH THE EXISTING TREES IN IMPACT ZONE SHALL BE COMPLETED PRIOR TO ANY CONSTRUCTION TO AVOID CONSTRUCTION WHEN THE EXISTING TREES ARE NEARLY FULLY DEVELOPED. ALL WORK SHALL FOLLOW AND STAY WITHIN THE PATH ALIGNMENT. PROGRESSIVE SOIL WILL BE STOCKPILED DURING CONSTRUCTION.
2. SEED AND BLANKET LANDSCAPE RESTORATION LIMIT LINE SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED WITH TOPSOIL (MIN. 4" DEPTH), FERTILIZER, AND MULCH. MULCH SHALL BE APPLIED TO ALL PLANT MATERIALS AND SHALL BE INSTALLED TO LATE FALL.
3. ALL LAWN SEEDING AND HERBICIDOUS PLUGS WILL BE PLANT MATERIALS WILL BE INSTALLED TO LATE FALL.
4. MATERIALS WILL RECEIVE 2" OF HARDWOOD SHREDDER MULCH.
5. ALL NEW TREES WILL RECEIVE 4" OF SHREDDER MULCH.
6. CONTRACTOR RESPONSIBLE TO RESTORE ALL AREAS DISTURBED BY CONSTRUCTION, OUTSIDE SCOPE LIMIT, TO ORIGINAL CONDITION.
7. ALL PROPOSED PLANTING BED AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED TO ORIGINAL (MIN. 12" DEPTH) PRIOR TO PERENNIAL AND SHRUB PLANTING.
8. THE CONTRACTOR SHALL PROTECT ANY AND ALL TREES IN THE IMPACT ZONE. ALL TREE PROTECTION SHALL BE DUE TO THESE OPERATIONS. CONTRACTOR SHALL INSTALL TREE PROTECTION PRIOR TO BEGINNING WORK ON PLANS AND DETAILS.
9. THE CONTRACTOR WILL MAKE NO SUBSTITUTIONS TO ANY TREE SPECIFIED ON THESE PLANS WITHOUT THE ARCHITECT. THE CONTRACTOR WILL SUBMIT ANY SUBSTITUTIONS TO THE ARCHITECT FOR APPROVAL.
10. THESE DRAWINGS, DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY UPON IDENTIFICATION.
11. MULCH PLANTING BEDS SHALL RECEIVE A MINIMUM DOUBLE SHREDDER HARDWOOD BARK GROUNDCOVERERS SHALL BE APPLIED TO ALL PLANTING BEDS.
12. PLANTS PLACED IN TREE AREAS SHALL HAVE 6" DIA. MULCH PLANTING BEDS WITH A 2" DEEP SPACE OUT EDGE. THE DEPTH OF MULCH SHALL BE 4" CURVED BEHIND TO BE SMOOTH AND NOT STEPPED.
13. PERENNIALS IN PROPOSED PLANTING AREAS SHALL BE PLANTED IN 18" DEPTH BEDS TO HAVE AMENED TOPSOIL. 2" MINIMUM ORGANIC MATTER SHALL BE TILLED INTO THE BEDS AND SPREAD EVENLY OVER SURFACE.
14. BREAK BY CURBS AND SPREAD EVENLY OVER SURFACE. MULCH SHALL BE APPLIED TO ALL PLANTING BEDS.
15. ALL PLANTING SHALL BE INSTALLED TO LATE FALL.
16. ALL PLANTING SHALL BE INSTALLED TO LATE FALL.
17. WATER MAINS AND WATER SERVICES SHALL BE INSTALLED PRIOR TO ALL PLANTING.
18. ALL PLANTING SHALL BE INSTALLED TO LATE FALL.
19. ALL PLANTING SHALL BE INSTALLED TO LATE FALL.
20. ALL PLANTING SHALL BE INSTALLED TO LATE FALL.
21. ALL PLANTING SHALL BE INSTALLED TO LATE FALL.

MUNDELEIN HIGH SCHOOL
 MUNDELEIN CONSOLIDATED HIGH SCHOOL DISTRICT 120

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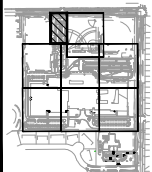
NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	06/15/2026
2	ISSUED FOR PERMITS	06/15/2026

MUNDELEIN HIGH SCHOOL MASTER FACILITIES PROJECT - PHASE 2
 1350 W. HAWLEY STREET
 MUNDELEIN, IL 60060

LANDSCAPE PLAN - PHASE 2

Project Number: 240102
 Scale: 1" = 20'
 Drawn By: GB
 Date: 06/15/2026

L1.08



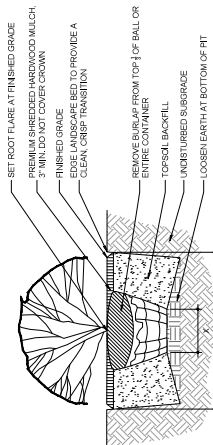
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3	ISSUED FOR PERMITS	10/20/22
4	ISSUED FOR PERMITS	10/20/22
5	ISSUED FOR PERMITS	10/20/22

MUNDELEIN HIGH SCHOOL MASTER FACILITIES PROJECT - PHASE 2

1350 W. HAWLEY STREET
MUNDELEIN, IL 60060

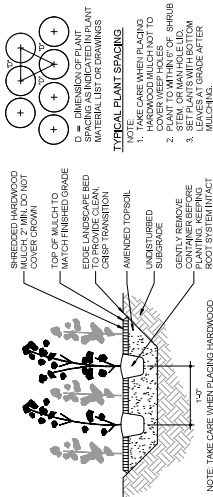
LANDSCAPE DETAILS

Scale: _____
Project Number: 240102
Drawn By: GB
Checked By: _____



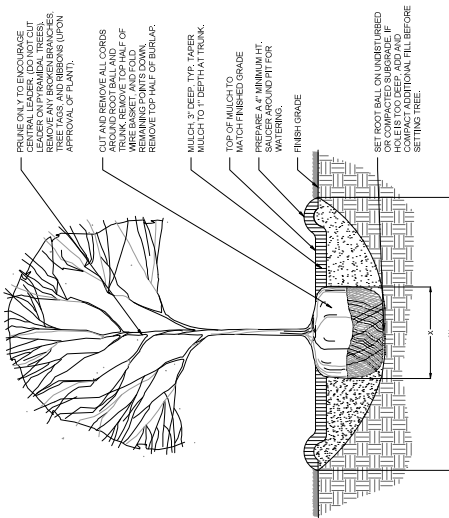
NOTE: TAKE CARE WHEN PLACING HARDWOOD MULCH NOT TO COVER WEEP HOLES

1 SHRUB PLANTING
SCALE: 1" = 1'-0"



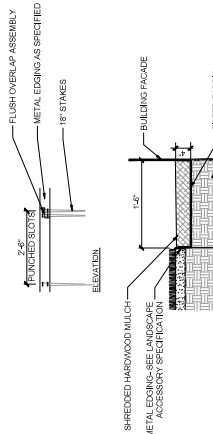
NOTE: TAKE CARE WHEN PLACING HARDWOOD MULCH NOT TO COVER WEEP HOLES

2 PERENNIAL PLANTING
SCALE: 1" = 1'-0"

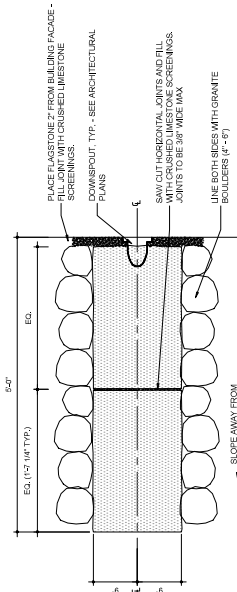


- NOTES:
1. PRUNE TO 1/4" AND SHAPE TREE CANOPY PER SPECIFICATIONS
 2. AVOID STAKES AND OR OTHER UNDESIRABLE MATERIALS OR DEVICES TO BE USED FOR TREE SUPPORT
 3. CAREFULLY REMOVE EXCESS SOIL. SET ROOT BALL SO THAT BASE OF ROOT FLARE IS 3/4" HIGHER THAN ADJACENT FINISH GRADE. FLARE PLANTING HOLE SIZE TO BE THREE TIMES AS WIDE AS ROOT BALL GACRILL. FIT WITH 1/2\"/>
 - 4. EXCAVATED MATERIAL REMOVE EXCESS EXCAVATED MATERIAL FROM SITE AND DISPOSE OF LEGALLY.
 - 5. EDGE TREE MULCH-RING TO PROVIDE A CLEAN, CRISP TRANSITION FOR TREES LOCATED OUTSIDE OF LANDSCAPE BEDS. 5 @ MIN.
 - 6. MULCH-RING, DO NOT VOLCANO MULCH OR MOUND IN A SAUCER

3 TREE PLANTING
SCALE: 1/2" = 1'-0"



4 MULCH MAINTENANCE STRIP
SCALE: 1" = 1'-0"



5 STONE SPLASH BLOCK
SCALE: 1" = 1'-0"



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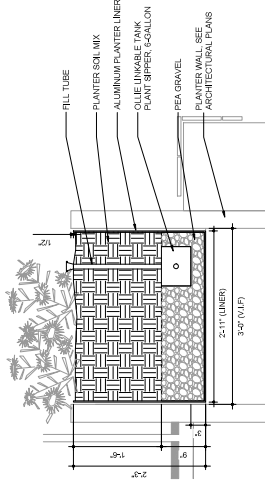
PHASE 2 BID GROUP 7
REV DESCRIPTION DATE
01-23-2026

MUNDELEIN HIGH SCHOOL MASTER FACILITIES PROJECT

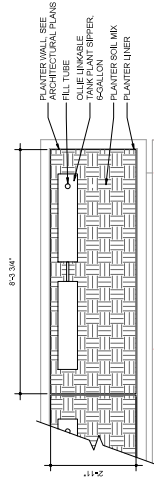
1350 W. HAWLEY STREET
MUNDELEIN, IL 60060

INTERIOR LANDSCAPE DETAILS

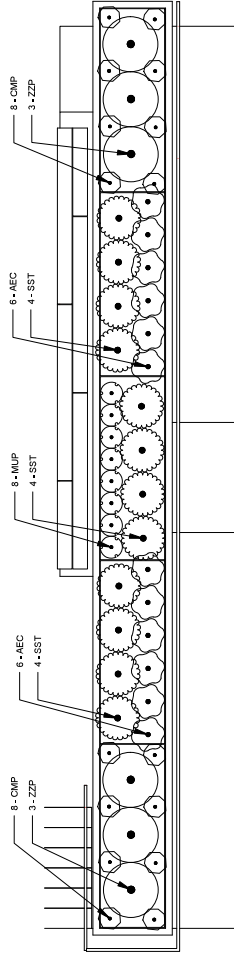
Project Number: 240102
Scale:
Drawn By: GB
Checked:
L4.00



④ INTERIOR PLANTER B - SECTION
SCALE 1/4" = 1'-0"



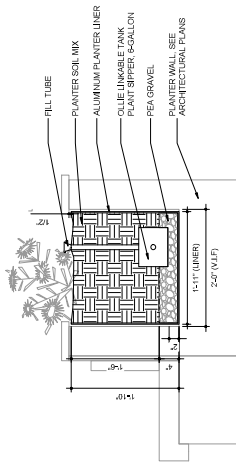
⑤ INTERIOR PLANTER B - PLAN
SCALE 1/2" = 1'-0"



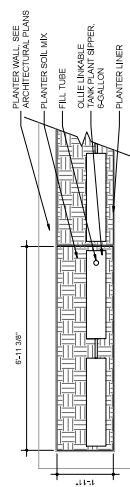
PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING
SHRUBS						
AEC	12	ASPIDETRA ELATOR	CAST IRON PLANT	#10	CONT.	18" O.C.
CMP	18	CALATHEA MAKOYANA	PEACOCK PLANT	#8	CONT.	12" O.C.
EG	12	EPHRENUM AUREUM	GOLDEN ROTHOS	#8	CONT.	48" O.C.
SST	12	STROMANTHE SANGUINEA	TRIOSTAR	#8	CONT.	24" O.C.
ZZP	6	ZAMBULLAS ZAMBIFOLIA	ZZ PLANT	#10	CONT.	30" O.C.

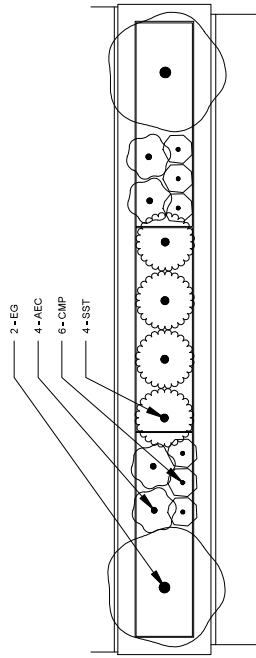
⑥ INTERIOR PLANTING PLAN - B
SCALE 3/8" = 1'-0"



① INTERIOR PLANTER A - SECTION
SCALE 1/4" = 1'-0"



② INTERIOR PLANTER A - PLAN
SCALE 1/2" = 1'-0"



PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING
SHRUBS						
AEC	4	ASPIDETRA ELATOR	CAST IRON PLANT	#10	CONT.	18" O.C.
CMP	6	CALATHEA MAKOYANA	PEACOCK PLANT	#8	CONT.	12" O.C.
EG	2	EPHRENUM AUREUM	GOLDEN ROTHOS	#8	CONT.	48" O.C.
SST	4	STROMANTHE SANGUINEA	TRIOSTAR	#8	CONT.	24" O.C.

③ INTERIOR PLANTING PLAN - A
SCALE 1/2" = 1'-0"



MUNDELEIN HIGH SCHOOL
 MUNDELEIN CONSOLIDATED HIGH SCHOOL DISTRICT 120

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PROJECT NUMBER: 240102
 DRAWN BY: NJ
 DATE: 11/18/2024

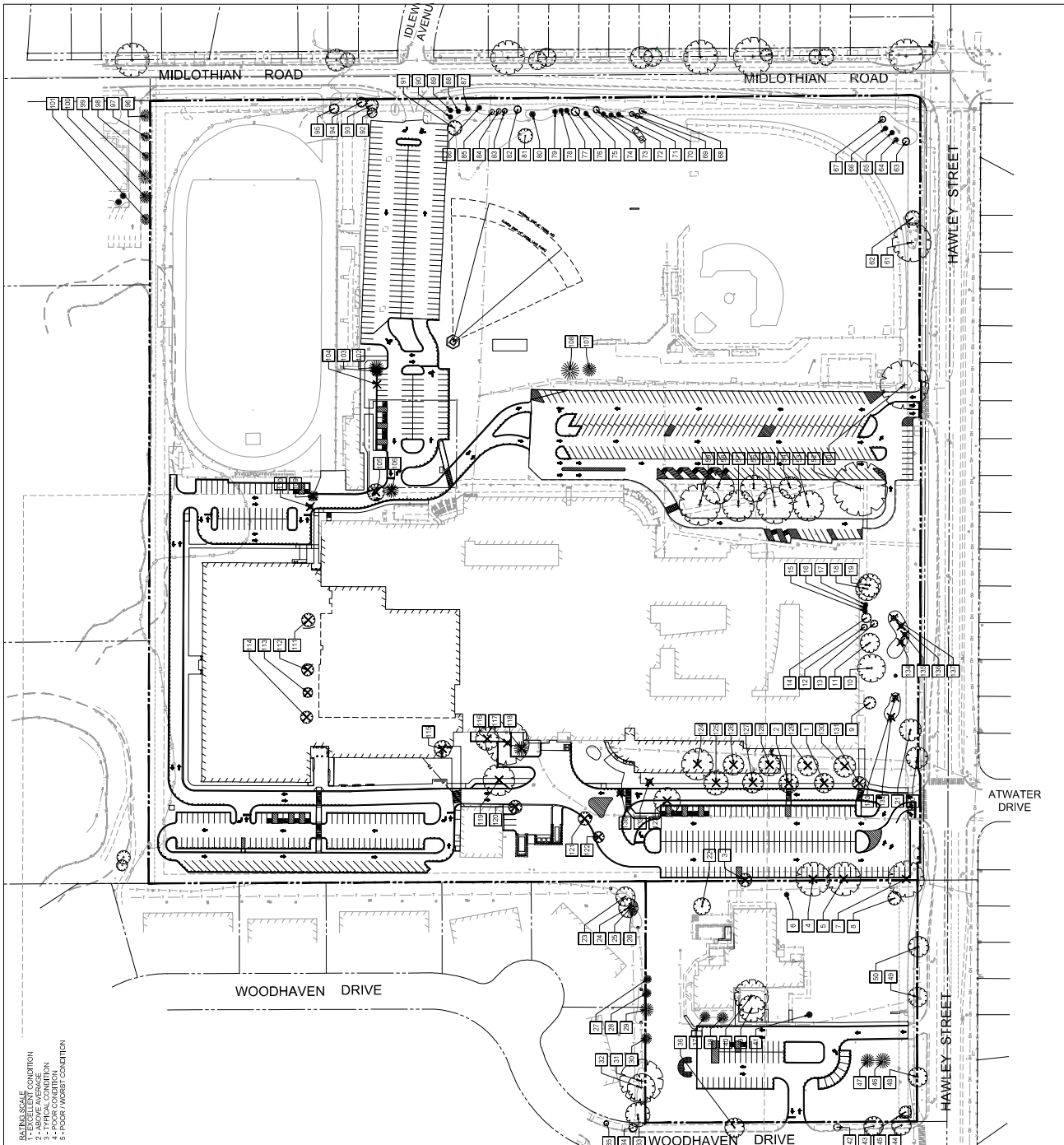
MUNDELEIN HIGH SCHOOL MASTER FACILITIES PROJECT - PHASE 2
 1350 W. HAWLEY STREET
 MUNDELEIN, IL 60060

TREE REMOVAL PLAN

Scale: 1" = 80'
 0' 40' 80' 160'

Project Number: 240102
 Drawn By: NJ

L5.00



TREE #	COMMON NAME	SCIENTIFIC NAME	DBH	HEIGHT	HEALTH	REMARKS	REMOVAL DATE	REMOVAL METHOD
1	Red Maple	Acer rubrum	12	25	2	Good	12/15/24	Stump pull
2	Red Maple	Acer rubrum	15	30	2	Good	12/15/24	Stump pull
3	Red Maple	Acer rubrum	18	35	2	Good	12/15/24	Stump pull
4	Red Maple	Acer rubrum	22	40	2	Good	12/15/24	Stump pull
5	Red Maple	Acer rubrum	25	45	2	Good	12/15/24	Stump pull
6	Red Maple	Acer rubrum	28	50	2	Good	12/15/24	Stump pull
7	Red Maple	Acer rubrum	32	55	2	Good	12/15/24	Stump pull
8	Red Maple	Acer rubrum	35	60	2	Good	12/15/24	Stump pull
9	Red Maple	Acer rubrum	38	65	2	Good	12/15/24	Stump pull
10	Red Maple	Acer rubrum	42	70	2	Good	12/15/24	Stump pull
11	Red Maple	Acer rubrum	45	75	2	Good	12/15/24	Stump pull
12	Red Maple	Acer rubrum	48	80	2	Good	12/15/24	Stump pull
13	Red Maple	Acer rubrum	52	85	2	Good	12/15/24	Stump pull
14	Red Maple	Acer rubrum	55	90	2	Good	12/15/24	Stump pull
15	Red Maple	Acer rubrum	58	95	2	Good	12/15/24	Stump pull
16	Red Maple	Acer rubrum	62	100	2	Good	12/15/24	Stump pull
17	Red Maple	Acer rubrum	65	105	2	Good	12/15/24	Stump pull
18	Red Maple	Acer rubrum	68	110	2	Good	12/15/24	Stump pull
19	Red Maple	Acer rubrum	72	115	2	Good	12/15/24	Stump pull
20	Red Maple	Acer rubrum	75	120	2	Good	12/15/24	Stump pull
21	Red Maple	Acer rubrum	78	125	2	Good	12/15/24	Stump pull
22	Red Maple	Acer rubrum	82	130	2	Good	12/15/24	Stump pull
23	Red Maple	Acer rubrum	85	135	2	Good	12/15/24	Stump pull
24	Red Maple	Acer rubrum	88	140	2	Good	12/15/24	Stump pull
25	Red Maple	Acer rubrum	92	145	2	Good	12/15/24	Stump pull
26	Red Maple	Acer rubrum	95	150	2	Good	12/15/24	Stump pull
27	Red Maple	Acer rubrum	98	155	2	Good	12/15/24	Stump pull
28	Red Maple	Acer rubrum	102	160	2	Good	12/15/24	Stump pull
29	Red Maple	Acer rubrum	105	165	2	Good	12/15/24	Stump pull
30	Red Maple	Acer rubrum	108	170	2	Good	12/15/24	Stump pull
31	Red Maple	Acer rubrum	112	175	2	Good	12/15/24	Stump pull
32	Red Maple	Acer rubrum	115	180	2	Good	12/15/24	Stump pull
33	Red Maple	Acer rubrum	118	185	2	Good	12/15/24	Stump pull
34	Red Maple	Acer rubrum	122	190	2	Good	12/15/24	Stump pull
35	Red Maple	Acer rubrum	125	195	2	Good	12/15/24	Stump pull
36	Red Maple	Acer rubrum	128	200	2	Good	12/15/24	Stump pull
37	Red Maple	Acer rubrum	132	205	2	Good	12/15/24	Stump pull
38	Red Maple	Acer rubrum	135	210	2	Good	12/15/24	Stump pull
39	Red Maple	Acer rubrum	138	215	2	Good	12/15/24	Stump pull
40	Red Maple	Acer rubrum	142	220	2	Good	12/15/24	Stump pull
41	Red Maple	Acer rubrum	145	225	2	Good	12/15/24	Stump pull
42	Red Maple	Acer rubrum	148	230	2	Good	12/15/24	Stump pull
43	Red Maple	Acer rubrum	152	235	2	Good	12/15/24	Stump pull
44	Red Maple	Acer rubrum	155	240	2	Good	12/15/24	Stump pull
45	Red Maple	Acer rubrum	158	245	2	Good	12/15/24	Stump pull
46	Red Maple	Acer rubrum	162	250	2	Good	12/15/24	Stump pull
47	Red Maple	Acer rubrum	165	255	2	Good	12/15/24	Stump pull
48	Red Maple	Acer rubrum	168	260	2	Good	12/15/24	Stump pull
49	Red Maple	Acer rubrum	172	265	2	Good	12/15/24	Stump pull
50	Red Maple	Acer rubrum	175	270	2	Good	12/15/24	Stump pull
51	Red Maple	Acer rubrum	178	275	2	Good	12/15/24	Stump pull
52	Red Maple	Acer rubrum	182	280	2	Good	12/15/24	Stump pull
53	Red Maple	Acer rubrum	185	285	2	Good	12/15/24	Stump pull
54	Red Maple	Acer rubrum	188	290	2	Good	12/15/24	Stump pull
55	Red Maple	Acer rubrum	192	295	2	Good	12/15/24	Stump pull
56	Red Maple	Acer rubrum	195	300	2	Good	12/15/24	Stump pull
57	Red Maple	Acer rubrum	198	305	2	Good	12/15/24	Stump pull
58	Red Maple	Acer rubrum	202	310	2	Good	12/15/24	Stump pull
59	Red Maple	Acer rubrum	205	315	2	Good	12/15/24	Stump pull
60	Red Maple	Acer rubrum	208	320	2	Good	12/15/24	Stump pull
61	Red Maple	Acer rubrum	212	325	2	Good	12/15/24	Stump pull
62	Red Maple	Acer rubrum	215	330	2	Good	12/15/24	Stump pull
63	Red Maple	Acer rubrum	218	335	2	Good	12/15/24	Stump pull
64	Red Maple	Acer rubrum	222	340	2	Good	12/15/24	Stump pull
65	Red Maple	Acer rubrum	225	345	2	Good	12/15/24	Stump pull
66	Red Maple	Acer rubrum	228	350	2	Good	12/15/24	Stump pull
67	Red Maple	Acer rubrum	232	355	2	Good	12/15/24	Stump pull
68	Red Maple	Acer rubrum	235	360	2	Good	12/15/24	Stump pull
69	Red Maple	Acer rubrum	238	365	2	Good	12/15/24	Stump pull
70	Red Maple	Acer rubrum	242	370	2	Good	12/15/24	Stump pull
71	Red Maple	Acer rubrum	245	375	2	Good	12/15/24	Stump pull
72	Red Maple	Acer rubrum	248	380	2	Good	12/15/24	Stump pull
73	Red Maple	Acer rubrum	252	385	2	Good	12/15/24	Stump pull
74	Red Maple	Acer rubrum	255	390	2	Good	12/15/24	Stump pull
75	Red Maple	Acer rubrum	258	395	2	Good	12/15/24	Stump pull
76	Red Maple	Acer rubrum	262	400	2	Good	12/15/24	Stump pull
77	Red Maple	Acer rubrum	265	405	2	Good	12/15/24	Stump pull
78	Red Maple	Acer rubrum	268	410	2	Good	12/15/24	Stump pull
79	Red Maple	Acer rubrum	272	415	2	Good	12/15/24	Stump pull
80	Red Maple	Acer rubrum	275	420	2	Good	12/15/24	Stump pull
81	Red Maple	Acer rubrum	278	425	2	Good	12/15/24	Stump pull
82	Red Maple	Acer rubrum	282	430	2	Good	12/15/24	Stump pull
83	Red Maple	Acer rubrum	285	435	2	Good	12/15/24	Stump pull
84	Red Maple	Acer rubrum	288	440	2	Good	12/15/24	Stump pull
85	Red Maple	Acer rubrum	292	445	2	Good	12/15/24	Stump pull
86	Red Maple	Acer rubrum	295	450	2	Good	12/15/24	Stump pull
87	Red Maple	Acer rubrum	298	455	2	Good	12/15/24	Stump pull
88	Red Maple	Acer rubrum	302	460	2	Good	12/15/24	Stump pull
89	Red Maple	Acer rubrum	305	465	2	Good	12/15/24	Stump pull
90	Red Maple	Acer rubrum	308	470	2	Good	12/15/24	Stump pull
91	Red Maple	Acer rubrum	312	475	2	Good	12/15/24	Stump pull
92	Red Maple	Acer rubrum	315	480	2	Good	12/15/24	Stump pull
93	Red Maple	Acer rubrum	318	485	2	Good	12/15/24	Stump pull
94	Red Maple	Acer rubrum	322	490	2	Good	12/15/24	Stump pull
95	Red Maple	Acer rubrum	325	495	2	Good	12/15/24	Stump pull
96	Red Maple	Acer rubrum	328	500	2	Good	12/15/24	Stump pull
97	Red Maple	Acer rubrum	332	505	2	Good	12/15/24	Stump pull
98	Red Maple	Acer rubrum	335	510	2	Good	12/15/24	Stump pull
99	Red Maple	Acer rubrum	338	515	2	Good	12/15/24	Stump pull
100	Red Maple	Acer rubrum	342	520	2	Good	12/15/24	Stump pull

Legend:
 1 - EXCELLENT CONDITION
 2 - ABOVE AVERAGE
 3 - FAIR
 4 - POOR CONDITION
 5 - POOR / WORST CONDITION

Notes:
 1. All trees shown on this plan are to be removed.
 2. All trees shown on this plan are to be removed within 90 days of the start of construction.
 3. All trees shown on this plan are to be removed within 90 days of the start of construction.
 4. All trees shown on this plan are to be removed within 90 days of the start of construction.
 5. All trees shown on this plan are to be removed within 90 days of the start of construction.
 6. All trees shown on this plan are to be removed within 90 days of the start of construction.
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MUNDELEIN HIGH SCHOOL
 MUNDELEIN CONSOLIDATED HIGH SCHOOL DISTRICT 120

Wight

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PROJECT NUMBER:	240102
DATE:	11/15/2024
PROJECT NAME:	MUNDELEIN HIGH SCHOOL MASTER FACILITIES PROJECT - PHASE 2
PROJECT ADDRESS:	1350 W. HAWLEY STREET, MUNDELEIN, IL 60060

MUNDELEIN HIGH SCHOOL MASTER FACILITIES PROJECT - PHASE 2
 1350 W. HAWLEY STREET
 MUNDELEIN, IL 60060

PLANNING & ZONING EXHIBIT

Scale: 1" = 80'
 Project Number: 240102
 Date: 11/15/2024
 Drawn By: ZM



PARKING SUMMARY TABLE		
PROPOSED PARKING SUMMARY		
PARKING LOT	STANDARD	ADA
NORTHWEST LOT	44	2
SOUTH OF TRACK LOT	107	5
WEST WAREHOUSE LOT	158	6
EAST WAREHOUSE LOT	143	6
MUNDELEIN HIGH CIRCLE DRIVE	228	7
MUNDELEIN HIGH TRANSFER CENTER	707	26
LOT	42	2
TOTAL	748	28
TOTAL	748	28

LEGEND

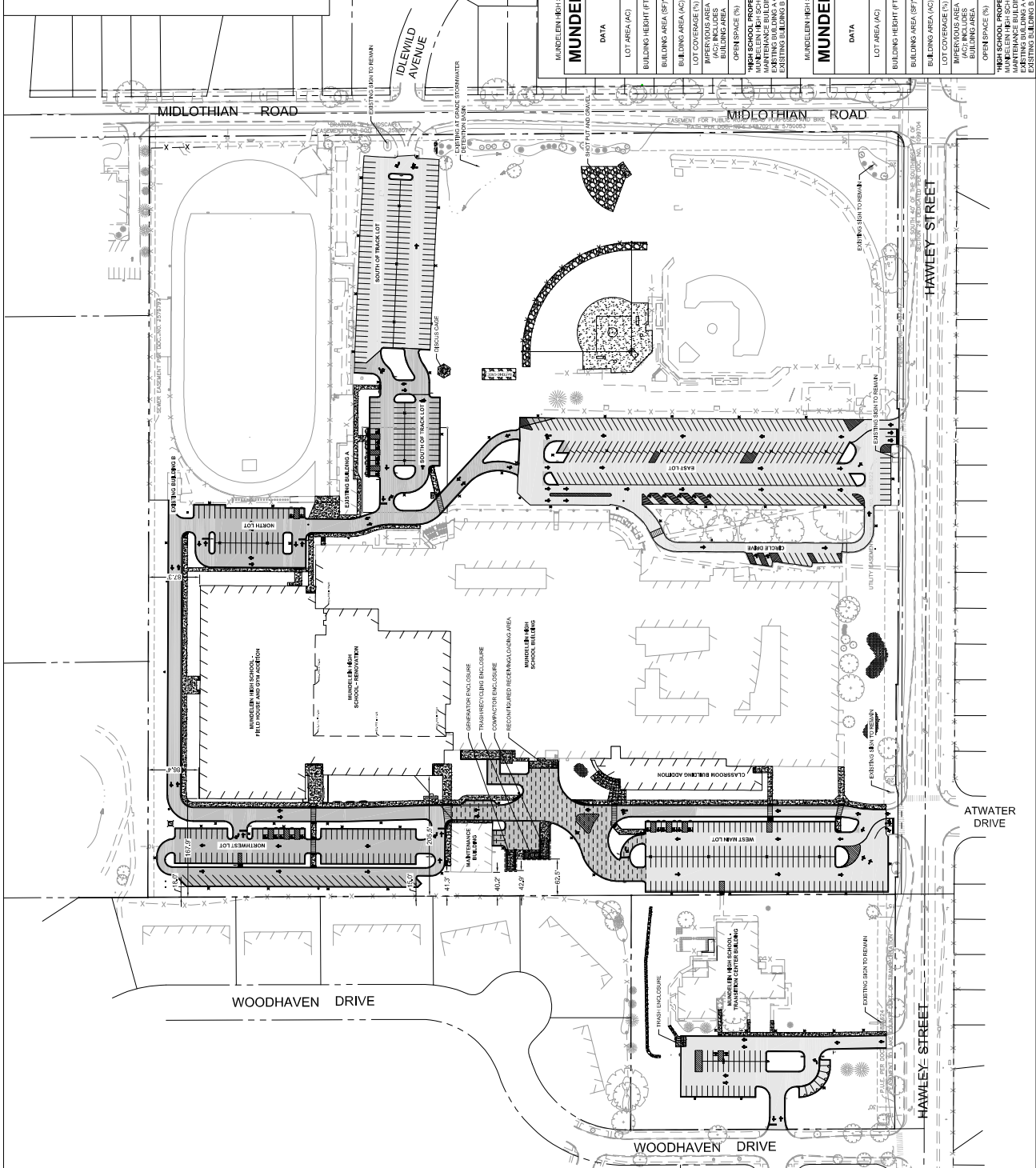
- 2" HMA MILL AND OVERLAY
- ELL DEPTH HMA PAVEMENT AND STONE BASE
- HEAVY DUTY HMA PAVEMENT AND STONE BASE
- CONCRETE PAVING AND STONE BASE
- HEAVY DUTY CONCRETE PAVING AND STONE BASE
- GRAVEL
- PROPERTY LINE
- SETBACK/EASEMENT LINE
- LIGHT POLES

SITE DATA TABLE - EXISTING
 MUNDELEIN HIGH SCHOOL ZONING - T INSTITUTIONAL (PER VILLAGE CODE 20-6-030)

MUNDELEIN SITE DATA SUMMARY		
DATA	HIGH SCHOOL PROPERTY	TRANSITION CENTER PROPERTY
LOT AREA (AC)	40.40	4.13
BUILDING HEIGHT (FT)	MAX = 45 FT (OR 4 STORES)	24' - 11"
BUILDING AREA (SF)	294,539	16,117
BUILDING AREA (AC)	6.53	0.37
LOT COVERAGE (%)	MAX = 50%	6.97%
IMPERVIOUS AREA (AC) INCLUDES ROADS	18.55	1.21
OPEN SPACE (%)	51.03%	70.79%
PERCENT IMPERVIOUS AREAS CALCULATION:		
MUNDELEIN HIGH SCHOOL BUILDING A = 5,989 SF		
MUNDELEIN HIGH SCHOOL BUILDING B = 274,124 SF		
EXISTING BUILDING B = 1,034 SF		

SITE DATA TABLE - PROPOSED
 MUNDELEIN HIGH SCHOOL ZONING - T INSTITUTIONAL (PER VILLAGE CODE 20-6-030)

MUNDELEIN SITE DATA SUMMARY		
DATA	HIGH SCHOOL PROPERTY	TRANSITION CENTER PROPERTY
LOT AREA (AC)	40.40	4.13
BUILDING HEIGHT (FT)	MAX = 45 FT (OR 4 STORES)	N/A
BUILDING AREA (SF)	392,254	16,117
BUILDING AREA (AC)	9.01	0.37
LOT COVERAGE (%)	MAX = 50%	6.97%
IMPERVIOUS AREA (AC) INCLUDES ROADS	21.04	1.24
OPEN SPACE (%)	47.89%	69.99%
PERCENT IMPERVIOUS AREAS CALCULATION:		
MUNDELEIN HIGH SCHOOL BUILDING A = 5,989 SF		
MUNDELEIN HIGH SCHOOL BUILDING B = 382,174 SF		
EXISTING BUILDING A = 3,427 SF		
EXISTING BUILDING B = 1,034 SF		



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MUNDELEIN HIGH SCHOOL
MUNDELEIN CONSOLIDATED HIGH SCHOOL DISTRICT 120

Wight

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PROJECT NUMBER:	02-240102
PROJECT NAME:	MUNDELEIN HS
DATE:	
REV:	DESCRIPTION

MUNDELEIN HIGH SCHOOL MASTER FACILITIES PROJECT - PHASE 2
1350 W. HAWLEY STREET
MUNDELEIN, IL 60060

OVERALL SITE PLAN

Project Number:	240102
Scale:	1" = 80'
Drawn By:	ZM

C2.00

PARKING SUMMARY TABLE

PROPOSED PARKING SUMMARY			TOTAL
PARKING LOT	STANDARD	ADA	
NORTH LOT	44	2	46
SOUTH OF TRACK LOT	107	6	112
WEST MAIN LOT	158	6	164
EAST WILDOE	143	6	149
MUNDELEIN HIGH TRANSFER CENTER	707	26	733
LOT	42	2	44
TOTAL	748	28	777

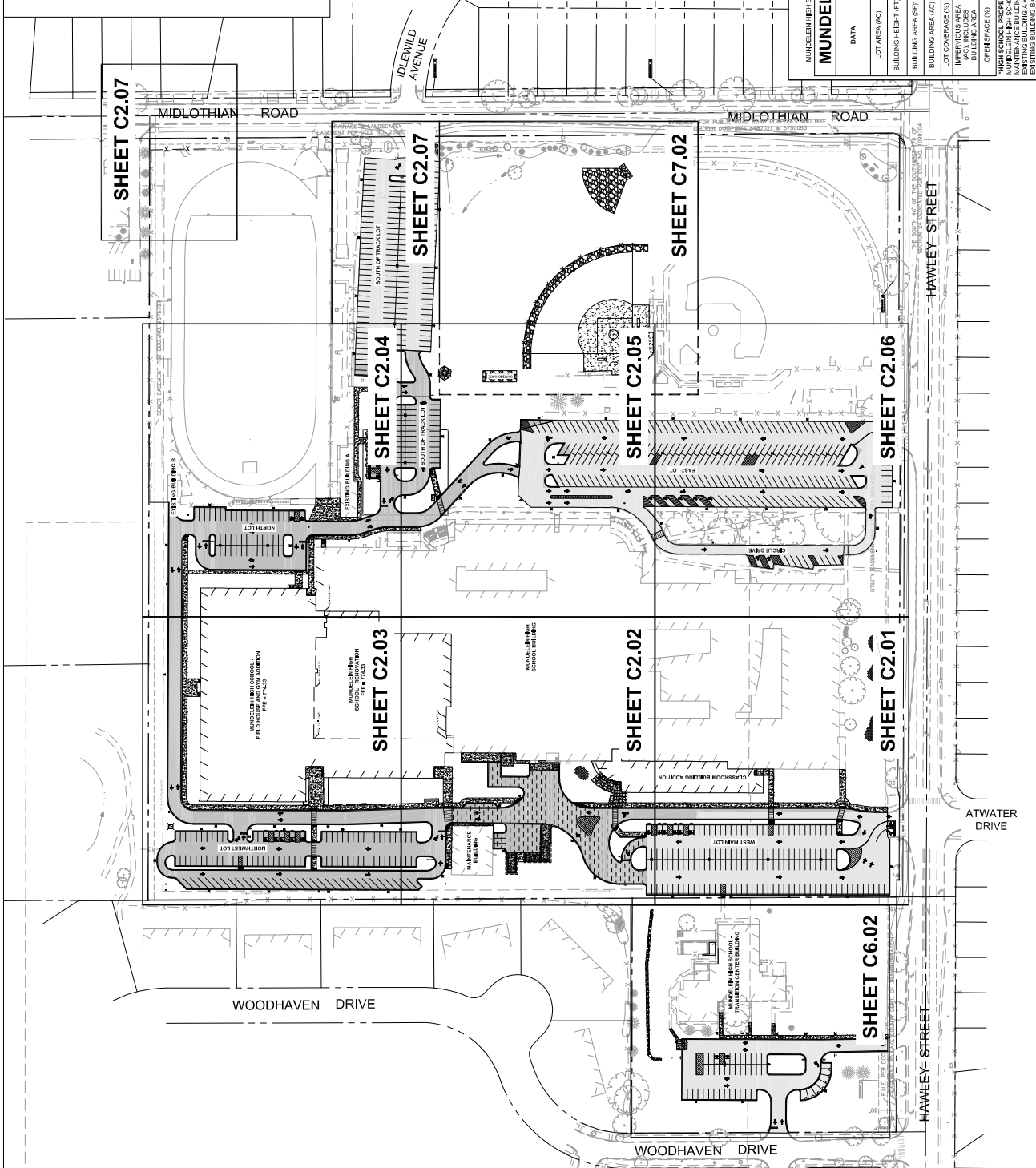
REQUIRED VILLAGES CODE PARKING:
STAFF MEMBERS = 45 STAFF X 1 SPACES/STAFF = 45 SPACES
STUDENTS = 2000 STUDENTS X 0.5 SPACES/STUDENT = 1000 SPACES
TOTAL VILLAGE REQUIRED SPACES = 1045 SPACES
TOTAL PROPOSED SPACES = 777 SPACES

EXISTING TRANSITION CENTER PARKING = 48 SPACES
EXISTING TOTAL CAMPUS PARKING = 760 SPACES
EXISTING TRANSITION CENTER AND REQUIRED SPACES PER VILLAGE CODE = 1,110 SPACES

SITE DATA TABLE - PROPOSED
MUNDELEIN HIGH SCHOOL ZONING - T INSTITUTIONAL (PER VILLAGE CODE 24-02-00)

DATA	CODE REQUIREMENT	HIGH SCHOOL PROPERTY	TRANSITION PROPERTY	TOTAL PROPERTY
LOT AREA (AC)	46,40	4,15	N/A	44,25
BUILDING HEIGHT (FT)	MAX 45 FT OR 4 STORES	29' - 10"		
BUILDING AREA (SF)	392,254'	16,117		408,371
BUILDING AREA (AC)	9,01	0,37		9,38
LOT COVERAGE (%)	MAX 45.0%	22.20%	8.00%	21.10%
IMPERVIOUS AREA BUILDING AREA		21,04	1,24	22,28
OPEN SPACE (%)		47.80%	89.99%	50.00%

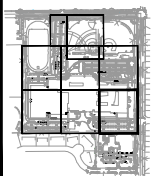
HIGH SCHOOL PROPERTY BUILDING AREA CALCULATION:
HIGH SCHOOL PROPERTY BUILDING AREA = 3,427 SF
TRANSITION PROPERTY BUILDING AREA = 382,745 SF
EXISTING BUILDING A = 3,427 SF
EXISTING BUILDING B = 1,044 SF





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NOT FOR CONSTRUCTION

REV	DESCRIPTION	DATE
1	ISSUE FOR SUBMITTAL	11-2025

MUNDELEIN HIGH SCHOOL MASTER FACILITIES PROJECT - PHASE 2
1350 W. HAWLEY STREET
MUNDELEIN, IL 60060

SITE PLAN - PHASE 2

Project Number:	240102
Scale:	1" = 20'
Drawn By:	ZM



C2.01

LEGEND

- 2" HMA MILL AND OVERLAY
- FULL DEPTH HMA PAVEMENT AND STONE BASE
- HEAVY DUTY HMA PAVEMENT AND STONE BASE
- CONCRETE PAVING AND STONE BASE
- HEAVY DUTY CONCRETE PAVING AND STONE BASE
- CONCRETE CONTROL JOINTS
- CONCRETE EXPANSION JOINT
- GRAVEL
- PROPERTY LINE
- REVERSE PITCH CURB

SITE KEY NOTES

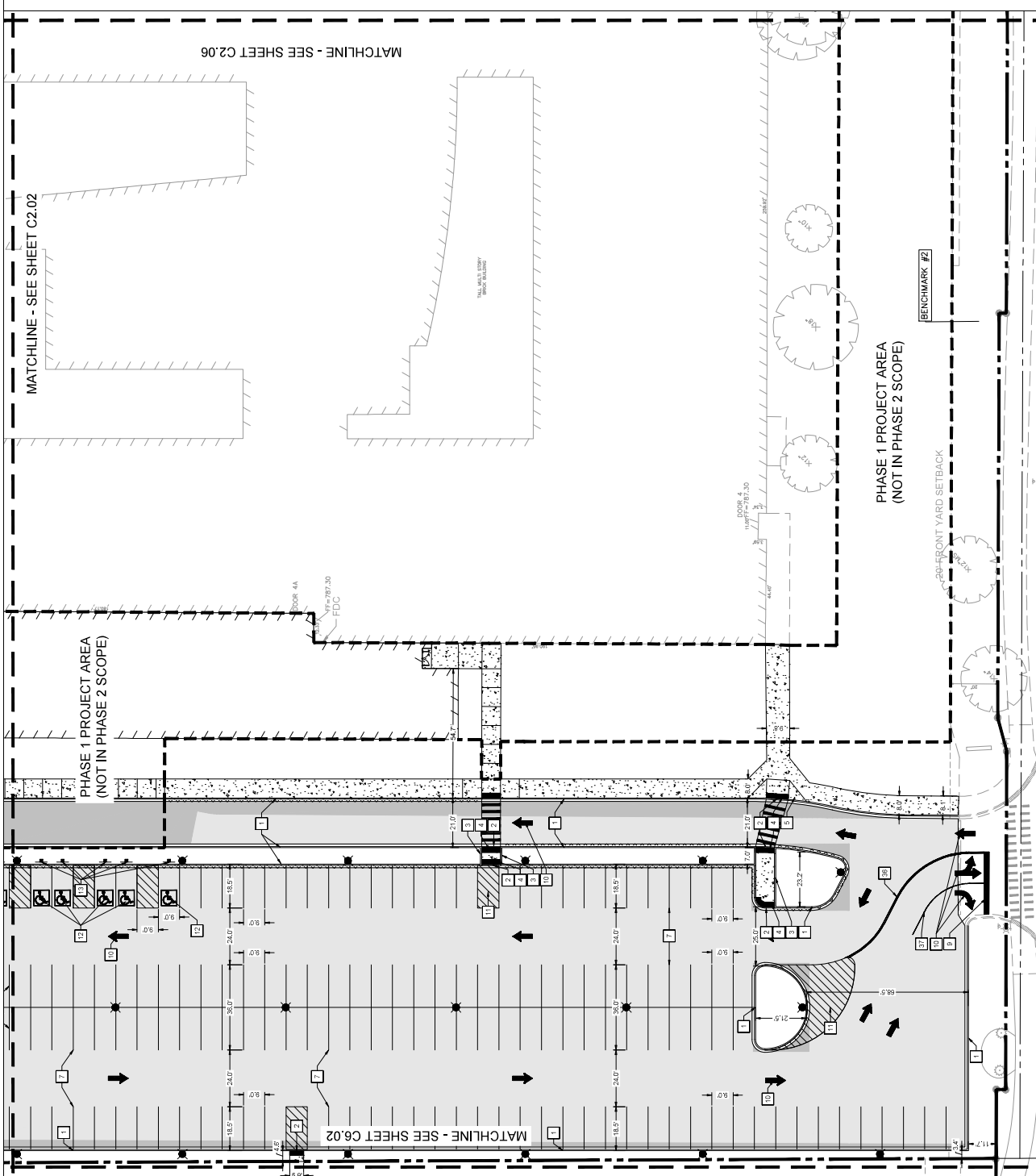
- 8x12 CURB AND GUTTER
- DEPRESSED CURB AND GUTTER
- 6" BARRIER CURB
- ADA DETECTABLE WARNING
- ADA COMPLIANT CONCRETE RAMP
- CROSSWALK STRIPING
- 4" SOLID PARKING STRIPE, TRAFFIC WHITE PAINT, TYP.
- 4" SOLID PARKING STRIPE, 45 DEGREES, TRAFFIC WHITE PAINT, TYP.
- 2" STOP BAR, TRAFFIC WHITE PAINT
- TRAFFIC ARROW, TRAFFIC WHITE PAINT, TYP.
- RESTRICTED AREA STRIPING, 45 DEGREES, TRAFFIC WHITE PAINT, TYP.
- ADA PARKING STRIPING, TYP.
- ADA PARKING SIGN
- DESIGNATED MINIBUS PARKING SPACES
- DIRECTIONAL "ONE WAY" SIGN
- FROST STOP
- EXTERIOR CONCRETE STOP
- EXTERIOR CONCRETE STAIRCASE, SEE ARCHITECTURAL
- CONCRETE TRANSFORMER PAD
- CONCRETE BOLLARDS
- CONCRETE GENERATOR PAD
- TRASH/ODOR ENCLOSURE WITH MASONRY WALL AND GATES, REFER TO ARCHITECTURAL PLANS
- 4' CHAIN LINK FENCE
- 10' WIDE CHAIN LINK FENCE SLIDING GATE
- CHAIN LINK FENCE MAIN GATE
- RETAINING WALL
- 8x8 CURB AND GUTTER
- EXTENDED CONCRETE RAMP
- 10' BLACK WYLL CHAIN LINK FENCE
- CONCRETE PAD FOR RELOCATED TELECOM UNITIES
- CONCRETE ELECTRICAL EQUIPMENT PAD
- 8x8x8 CAGE AND CONCRETE PAD WITH 6" DIAGS RING
- CONCRETE PAD AND RINGS FOR SHOT PUT
- METAL DOORING
- STOP SIGN, 8x11
- 4" SOLID DOUBLE STRIPE, TRAFFIC YELLOW PAINT
- 4" SOLID STRIPE, TRAFFIC WHITE PAINT
- "DO NOT ENTER" SIGN

LEGEND NOTES

- ALL MATERIALS SHALL BE APPROVED BY THE MUNICIPAL ENGINEER AND THE MUNICIPAL BOARD OF COMMISSIONERS.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ILLINOIS CONSTRUCTION CODE AND THE ILLINOIS MUNICIPAL CODE.
- ALL UTILITIES SHALL BE LOCATED AND DEPTH VERIFIED PRIOR TO CONSTRUCTION.
- ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.

LAOUIE NOTE

THESE PLANS AND SPECIFICATIONS SHALL BE CONSIDERED TO BE THE FINAL DESIGN AND SHALL BE USED FOR CONSTRUCTION OF THE PROJECT.

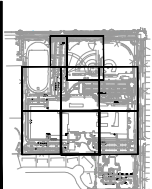


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NOT FOR CONSTRUCTION

REV	DESCRIPTION	DATE

MUNDELEIN HIGH SCHOOL MASTER FACILITIES PROJECT - PHASE 2
1350 W. HAWLEY STREET
MUNDELEIN, IL 60060

SITE PLAN - PHASE 2

Project Number:	240102
Scale:	1" = 20'
Drawn By:	ZM

C2.02

LEGEND

[Symbol]	2" HMA MILL AND OVERLAY
[Symbol]	FULL DEPTH HMA PAVEMENT AND STONE BASE
[Symbol]	HEAVY DUTY HMA PAVEMENT AND STONE BASE
[Symbol]	CONCRETE PAVING AND STONE BASE
[Symbol]	HEAVY DUTY CONCRETE PAVING AND STONE BASE
[Symbol]	CONCRETE CONTROL JOINTS
[Symbol]	CONCRETE EXPANSION JOINT
[Symbol]	GRAVEL
[Symbol]	PROPERTY LINE
[Symbol]	REVERSE PITCH CURB

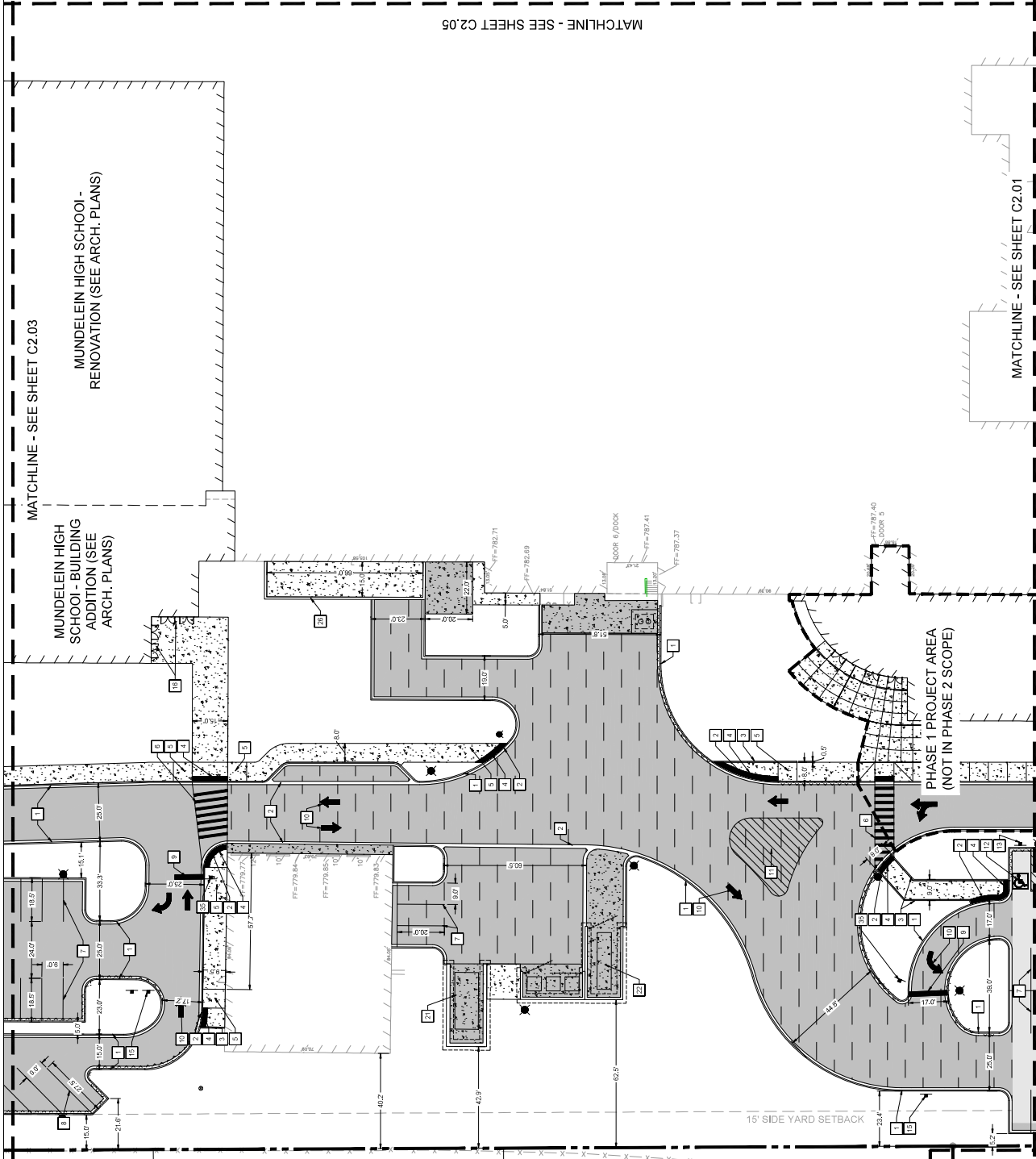
SITE KEY NOTES

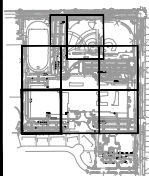
- 1 8x12 CURB AND GUTTER
- 2 DEPRESSED CURB AND GUTTER
- 3 6" BARRIER CURB
- 4 ADA DETECTABLE WARNING
- 5 ADA COMPLIANT CONCRETE RAMP
- 6 CROSSWALK STRIPING
- 7 4" SOLID PAVEMENT STRIPES, TRAFFIC WHITE PAINT, TYP.
- 8 4" SOLID PAVEMENT STRIPES, 45 DEGREES, TRAFFIC WHITE PAINT, TYP.
- 9 2" STOP BAR, TRAFFIC WHITE PAINT, TYP.
- 10 TRAFFIC ARROW, TRAFFIC WHITE PAINT, TYP.
- 11 RESTRICTED AREA STRIPING, 45 DEGREES, TRAFFIC WHITE PAINT, TYP.
- 12 ADA PARKING STRIPING, TYP.
- 13 ADA PARKING SIGN
- 14 DESIGNATED MINIBUS PARKING SPACES
- 15 DIRECTIONAL "ONE WAY" SIGN
- 16 FROST STOP
- 17 EXTERIOR CONCRETE STOOP
- 18 EXTERIOR CONCRETE STAIRCASE, SEE ARCHITECTURAL
- 19 CONCRETE TRANSFORMER PAD
- 20 CONCRETE BOLLARDS
- 21 CONCRETE GENERATOR PAD
- 22 TRASH/RECYCLER ENCLOSURE WITH MASONRY WALL AND GATES, REFER TO ARCHITECTURAL PLANS
- 23 4" CHAIN LINK FENCE
- 24 10' WIDE CHAIN LINK FENCE SLIDING GATE
- 25 CHAIN LINK FENCE MAIN GATE
- 26 RETAINING WALL
- 27 8x8 CURB AND GUTTER
- 28 EXTENDED CONCRETE RAMP
- 29 10" BLACK W/VI CHAIN LINK FENCE
- 30 CONCRETE PAD FOR RELOCATED TELECOM UTILITIES
- 31 CONCRETE ELECTRICAL EQUIPMENT PAD
- 32 IRIGUS CAGE AND CONCRETE PAD WITH DRIBBLES RING
- 33 CONCRETE PAD AND RINGS FOR SHOT PUT
- 34 METAL EODING
- 35 STOP SIGN, RL-1
- 36 4" SOLID DOUBLE STRIPE, TRAFFIC YELLOW PAINT
- 37 4" SOLID STRIPE, TRAFFIC WHITE PAINT
- 38 "DO NOT ENTER" SIGN

SITE PLAN NOTES

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. ALL FINISH ELEVATIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL FINISH ELEVATIONS ARE TO FACE UNLESS OTHERWISE NOTED.
4. ALL FINISH ELEVATIONS ARE TO FACE UNLESS OTHERWISE NOTED.

LAO/NOTE: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES.





NOT FOR CONSTRUCTION

REV. DESCRIPTION DATE

MUNDELEIN HIGH SCHOOL MASTER FACILITIES PROJECT - PHASE 2
1350 W. HAWLEY STREET
MUNDELEIN, IL 60060

SITE PLAN - PHASE 2

Project Number: 240102
Scale: 1" = 20'
Drawn By: ZM

C2.03

LEGEND

- 2" HMA MILL AND OVERLAY
- FULL DEPTH HMA PAVEMENT AND STONE BASE
- HEAVY DUTY HMA PAVEMENT AND STONE BASE
- CONCRETE PAVING AND STONE BASE
- HEAVY DUTY CONCRETE PAVING AND STONE BASE
- CONCRETE CONTROL JOINTS
- CONCRETE EXPANSION JOINT
- GRAVEL
- PROPERTY LINE
- REVERSE PITCH CURB

SITE KEY NOTES

- 1 8x12 CURB AND GUTTER
- 2 DEPRESSED CURB AND GUTTER
- 3 6" BARRIER CURB
- 4 ADA DETECTABLE WARNING
- 5 ADA COMPLIANT CONCRETE RAMP
- 6 CROSSWALK STRIPING
- 7 4" SOLID PAVEMENT STRIPING, TRAFFIC WHITE PAINT, TYP.
- 8 4" SOLID PAVEMENT STRIPING, 45 DEGREES, TRAFFIC WHITE PAINT, TYP.
- 9 2" STOP BAR, TRAFFIC WHITE PAINT, TYP.
- 10 TRAFFIC ARROW, TRAFFIC WHITE PAINT, TYP.
- 11 RESTRICTED AREA STRIPING, 45 DEGREES, TRAFFIC WHITE PAINT, TYP.
- 12 ADA PARKING STRIPING, TYP.
- 13 ADA PARKING SIGN
- 14 DESIGNATED MINIBUS PARKING SPACES
- 15 DIRECTIONAL "ONE WAY" SIGN
- 16 FROST STOP
- 17 EXTERIOR CONCRETE STOOP
- 18 EXTERIOR CONCRETE STAIRCASE, SEE ARCHITECTURAL PLANS
- 19 CONCRETE TRANSFORMER PAD
- 20 CONCRETE BOLLARDS
- 21 CONCRETE GENERATOR PAD
- 22 TRASH/RECYCLER ENCLOSURE WITH MASONRY WALL AND GATES, REFER TO ARCHITECTURAL PLANS
- 23 4" CONDUIT LINK FENCE
- 24 10' WIDE CHAINLINK FENCE SLIDING GATE
- 25 CHAINLINK FENCE MAIN GATE
- 26 RETAINING WALL
- 27 8x8 CURB AND GUTTER
- 28 EXTENDED CONCRETE RAMP
- 29 18" BLACK WYLL CHAINLINK FENCE
- 30 CONCRETE PAD FOR RELOCATED TELECOM UTILITIES
- 31 CONCRETE ELECTRICAL EQUIPMENT PAD
- 32 BRICK CAGE AND CONCRETE PAD WITH DRIBBLE RING
- 33 CONCRETE PAD AND RINGS FOR SHOT PUT
- 34 METAL EODING
- 35 STOP SIGN, RL-1
- 36 4" SOLID DOUBLE STRIPING, TRAFFIC YELLOW PAINT
- 37 4" SOLID STRIPING, TRAFFIC WHITE PAINT
- 38 "DO NOT ENTER" SIGN

SITE PLAN NOTES

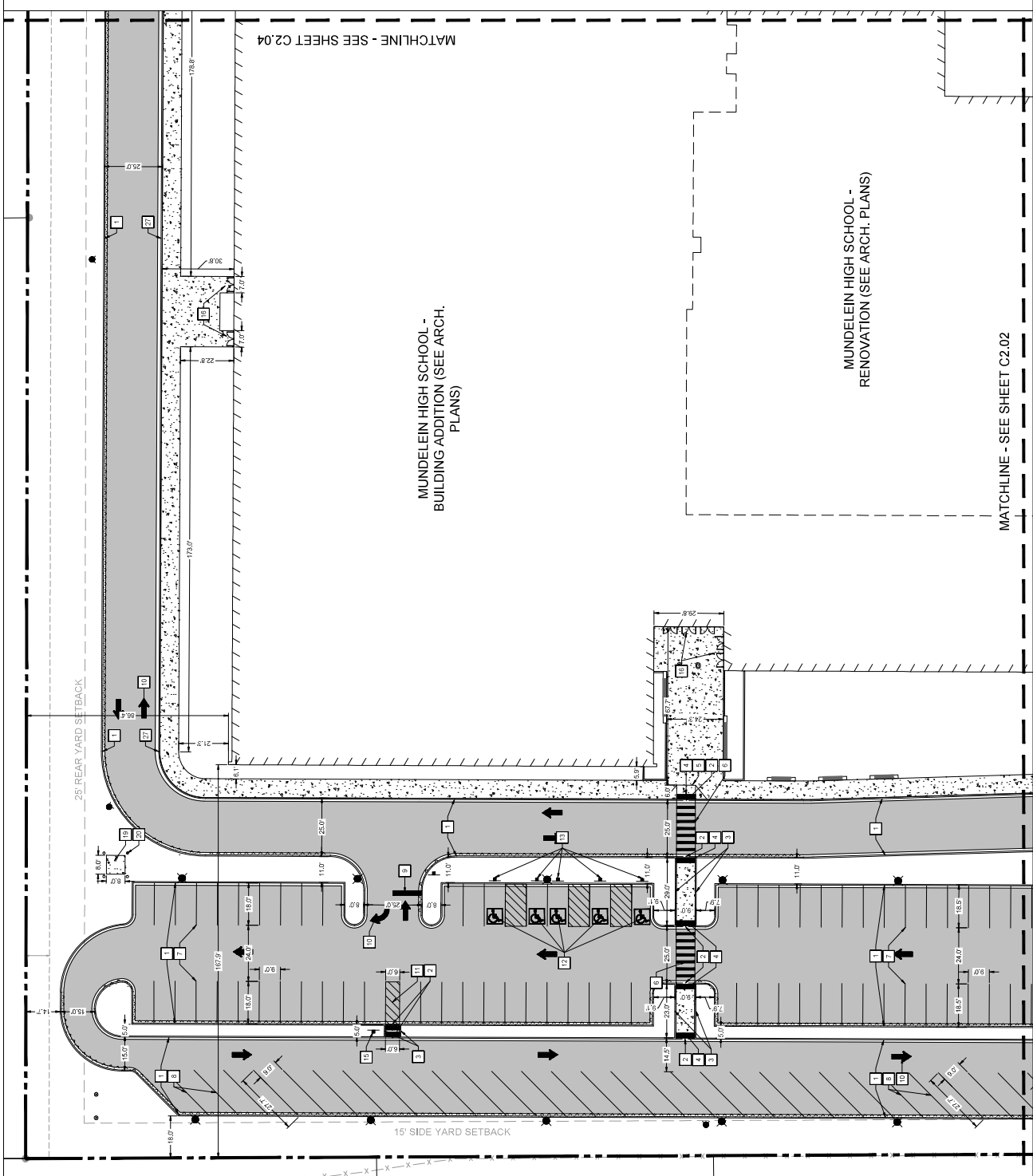
1. ALL DIMENSIONS UNLESS OTHERWISE NOTED.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AMERICAN SOCIETY OF MECHANICAL ENGINEERS (ASME) CODES.
5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE) CODES.
6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AMERICAN SOCIETY OF ELECTRICAL ENGINEERS (ASSE) CODES.
7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AMERICAN SOCIETY OF MECHANICAL ENGINEERS (ASME) CODES.
8. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AMERICAN SOCIETY OF ELECTRICAL ENGINEERS (ASSE) CODES.
9. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AMERICAN SOCIETY OF MECHANICAL ENGINEERS (ASME) CODES.
10. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AMERICAN SOCIETY OF ELECTRICAL ENGINEERS (ASSE) CODES.

LANDSCAPE NOTE

1. ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL LANDSCAPE ARCHITECTURE CODE (ILAC).

2. ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL LANDSCAPE ARCHITECTURE CODE (ILAC).

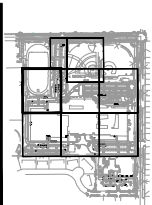
3. ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL LANDSCAPE ARCHITECTURE CODE (ILAC).





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W/DATE AND SUBMITTAL
REV DESCRIPTION
DATE

MUNDELEIN HIGH SCHOOL MASTER FACILITIES PROJECT - PHASE 2
1350 W. HAWLEY STREET
MUNDELEIN, IL 60060

SITE PLAN - PHASE 2

Project Number: 240102
Scale: 1" = 20'
Drawn By: ZM

C2.04

LEGEND

[Symbol]	2" HMA MILL AND OVERLAY
[Symbol]	FULL DEPTH HMA PAVEMENT AND STONE BASE
[Symbol]	HEAVY DUTY HMA PAVEMENT AND STONE BASE
[Symbol]	CONCRETE PAVING AND STONE BASE
[Symbol]	HEAVY DUTY CONCRETE PAVING AND STONE BASE
[Symbol]	CONCRETE CONTROL JOINTS
[Symbol]	CONCRETE EXPANSION JOINT
[Symbol]	GRAVEL
[Symbol]	PROPERTY LINE
[Symbol]	REVERSE PITCH CURB

SITE KEY NOTES

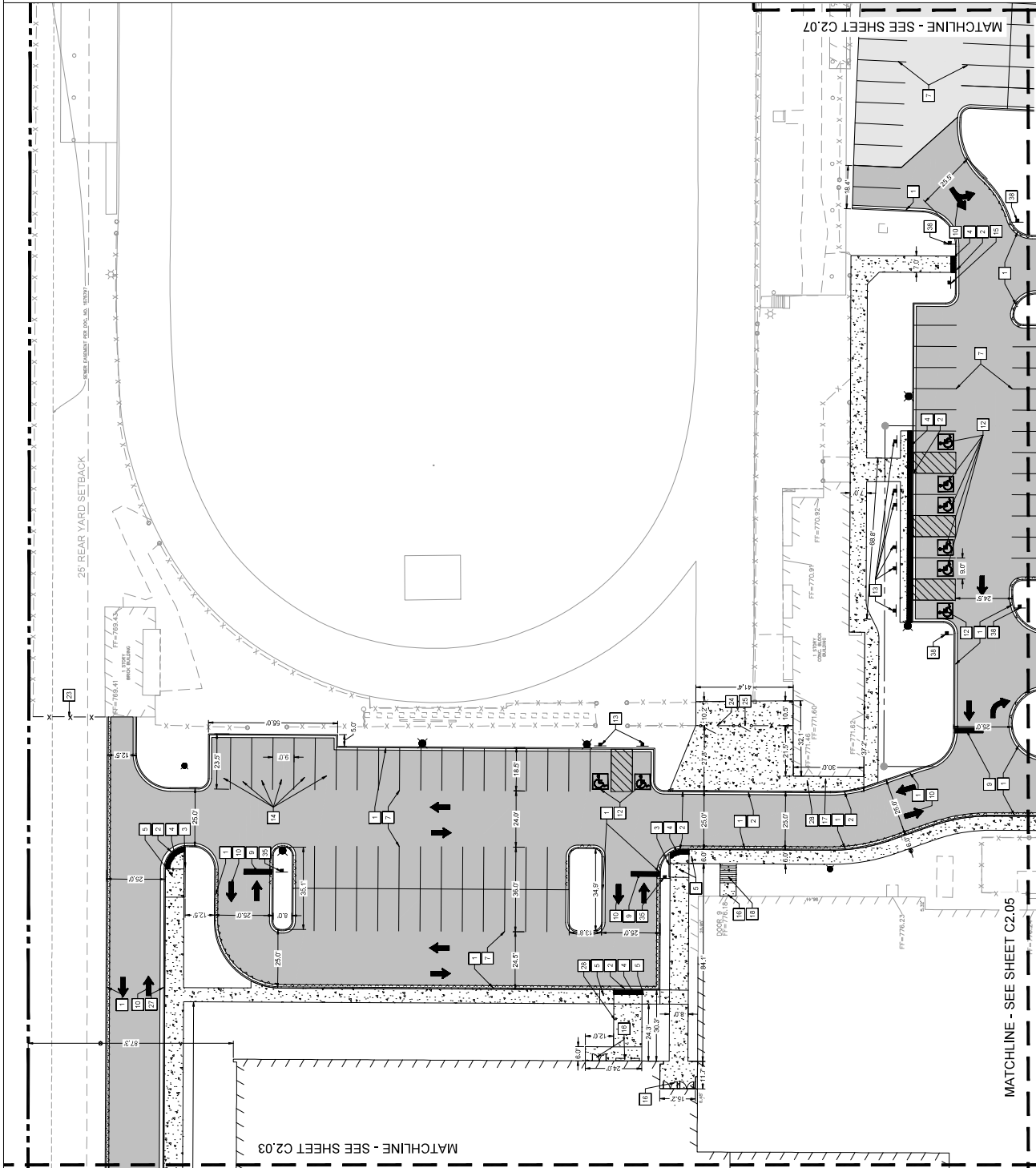
- 1 8x12 CURB AND GUTTER
- 2 DEPRESSED CURB AND GUTTER
- 3 6" BARRIER CURB
- 4 ADA DETECTABLE WARNING
- 5 ADA COMPLIANT CONCRETE RAMP
- 6 CROSSWALK STRIPING
- 7 4" SOLID PARKING STRIBE, TRAFFIC WHITE PAINT, TYP.
- 8 4" SOLID PARKING STRIBE, 45 DEGREES, TRAFFIC WHITE PAINT, TYP.
- 9 24" STOP BAR, TRAFFIC WHITE PAINT
- 10 TRAFFIC ARROW, TRAFFIC WHITE PAINT, TYP.
- 11 RESTRICTED AREA STRIPING, 45 DEGREES, TRAFFIC WHITE PAINT, TYP.
- 12 ADA PARKING STRIPING, TYP.
- 13 ADA PARKING SIGN
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- 21 CONCRETE GENERATOR PAD
- 22 TRANSDUCER ENCLOSURE WITH MASONRY WALL AND GATES, REFER TO ARCHITECTURAL PLANS
- 23 4" CHAIN LINK FENCE
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- 32 6x6x6 CAGE AND CONCRETE PAD WITH DIODOL RING
- 33 CONCRETE PAD AND RINGS FOR SHOT PUT
- 34 METAL ENDING
- 35 STOP SIGN, RL-1
- 36 4" SOLID DOUBLE STRIBE, TRAFFIC YELLOW PAINT
- 37 4" SOLID STRIBE, TRAFFIC WHITE PAINT
- 38 "DO NOT ENTER" SIGN

STATE PLAN NOTES

1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES.
2. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES.
3. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES.
4. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES.

LANDSCAPE NOTES

1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES.
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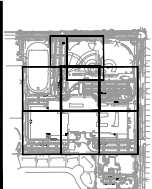


S:\Projects\Mundelein Consolidated High School Facility Project\01\Drawings\02\C2\MUNDELEIN HS - PHASE 2\40102 C2.01 SITE PLAN - PHASE 2.dwg m2mtlx Nov 12, 2025 2:39:11 pm



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NOT FOR CONSTRUCTION

REV	DESCRIPTION	DATE

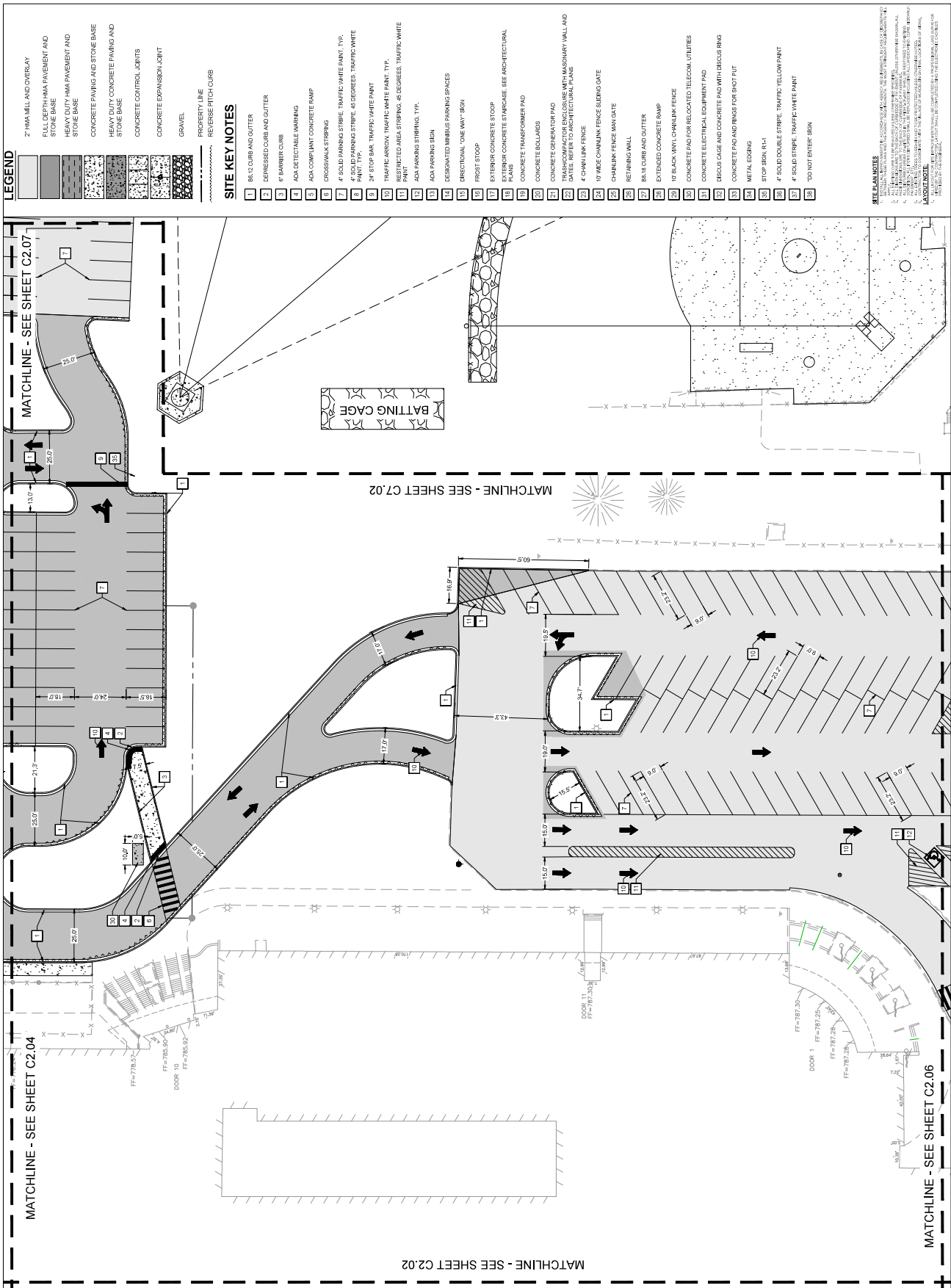
MUNDELEIN HIGH SCHOOL MASTER FACILITIES PROJECT - PHASE 2
1350 W. HAWLEY STREET
MUNDELEIN, IL 60060

SITE PLAN - PHASE 2

Project Number:	240102
Scale:	1" = 20'
Drawn By:	ZM



C2.05



LEGEND

- 2" HMA MILL AND OVERLAY
- FULL DEPTH HMA PAVEMENT AND STONE BASE
- HEAVY DUTY HMA PAVEMENT AND STONE BASE
- CONCRETE PAVING AND STONE BASE
- HEAVY DUTY CONCRETE PAVING AND STONE BASE
- CONCRETE CONTROL JOINTS
- CONCRETE EXPANSION JOINT
- GRAVEL
- PROPERTY LINE
- REVERSE PITCH CURB

SITE KEY NOTES

- 8x12 CURB AND GUTTER
- DEPRESSED CURB AND GUTTER
- 6" BARRIER CURB
- ADA DETECTABLE WARNING
- ADA COMPLIANT CONCRETE RAMP
- CROSSWALK STRIPING
- 4" SOLID PAVEMENT STRIPING, TRAFFIC WHITE PAINT, TYP.
- 4" SOLID PAVEMENT STRIPING, 45 DEGREES, TRAFFIC WHITE PAINT, TYP.
- 2" STOP BAR, TRAFFIC WHITE PAINT
- TRAFFIC ARROW, TRAFFIC WHITE PAINT, TYP.
- RESTRICTED AREA STRIPING, 45 DEGREES, TRAFFIC WHITE PAINT, TYP.
- ADA PARKING STRIPING, TYP.
- ADA PARKING SIGN
- DESIGNATED MINIBUS PARKING SPACES
- DIRECTIONAL "ONE WAY" SIGN
- FROST STOP
- EXTERIOR CONCRETE STOP
- EXTERIOR CONCRETE STRIPING, SEE ARCHITECTURAL
- CONCRETE TRANSFORMER PAD
- CONCRETE BOLLARDS
- CONCRETE GENERATOR PAD
- TRANSFORMER ENCLOSURE WITH MASONRY WALL AND GATES, REFER TO ARCHITECTURAL PLANS
- 4' CHAIN LINK FENCE
- 10' WIDE CHAIN LINK FENCE SLIDING GATE
- CHAIN LINK FENCE MAIN GATE
- RETAINING WALL
- 8x8 CURB AND GUTTER
- EXTENDED CONCRETE RAMP
- 10' BLACK WYLL CHAIN LINK FENCE
- CONCRETE PAD FOR RELOCATED TELECOM UTILITIES
- CONCRETE ELECTRICAL EQUIPMENT PAD
- IRIGUS CAGE AND CONCRETE PAD WITH DIODES RING
- CONCRETE PAD AND RINGS FOR SHOT PUT
- METAL DOORING
- STOP SIGN, RL-1
- 4" SOLID DOUBLE STRIPING, TRAFFIC YELLOW PAINT
- 4" SOLID STRIPING, TRAFFIC WHITE PAINT
- "DO NOT ENTER" SIGN

SITE PLAN NOTES

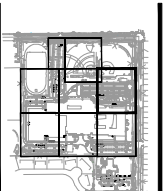
- ALL DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS ARE GIVEN TO THE CENTERLINE UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO THE CENTERLINE UNLESS OTHERWISE NOTED.

LAOUIE NOTE

LAOUIE CONSULTING ENGINEERS, INC. HAS REVIEWED THIS SITE PLAN FOR CONFORMANCE WITH THE ILLINOIS PROFESSIONAL ENGINEERING ACT AND THE ILLINOIS PROFESSIONAL LAND SURVEYING ACT. THIS REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE SITE PLAN AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE USER OF THIS SITE PLAN SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED HEREON.



Wight
 Wight & Company
 Architects
 2000 North Fremont Road
 Downers Grove, IL 60515
 P 630.969.7000
 F 630.969.7979



NOT FOR CONSTRUCTION

MUNDELEIN HIGH SCHOOL MASTER FACILITIES PROJECT - PHASE 2
 1350 W. HAWLEY STREET
 MUNDELEIN, IL 60060

SITE PLAN - PHASE 2

Project Number: 240102
 Scale: 1" = 20'
 Drawn By: ZM



- LEGEND**
- 2" HMA MILL AND OVERLAY
 - FULL DEPTH HMA PAVEMENT AND STONE BASE
 - HEAVY DUTY HMA PAVEMENT AND STONE BASE
 - CONCRETE PAVING AND STONE BASE
 - HEAVY DUTY CONCRETE PAVING AND STONE BASE
 - CONCRETE CONTROL JOINTS
 - CONCRETE EXPANSION JOINT
 - GRAVEL
 - PROPERTY LINE
 - REVERSE PITCH CURB

SITE KEY NOTES

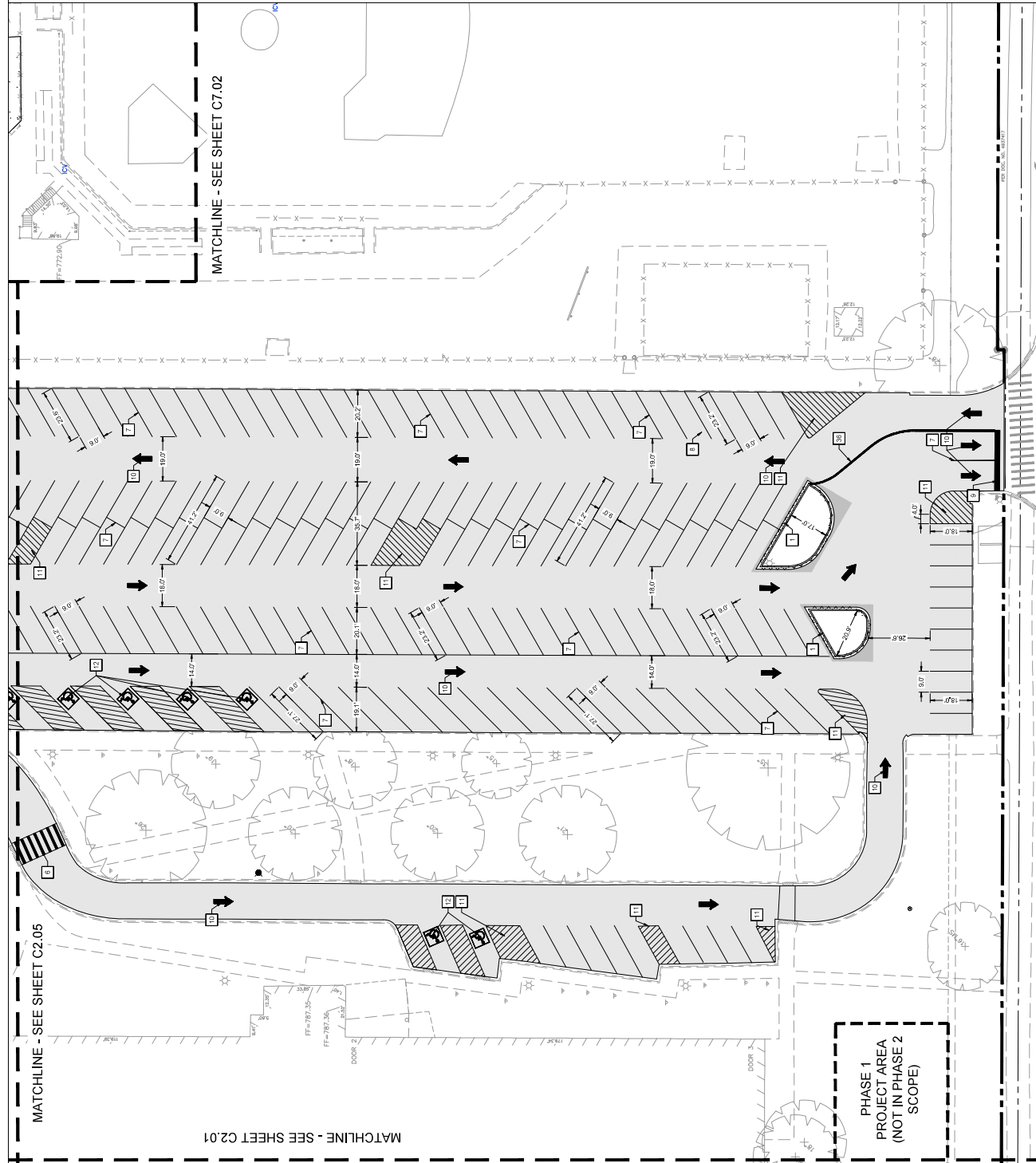
- 1 8x12 CURB AND GUTTER
- 2 DEPRESSED CURB AND GUTTER
- 3 6" BARRIER CURB
- 4 ADA DETECTABLE WARNING
- 5 ADA COMPLIANT CONCRETE RAMP
- 6 CROSSWALK STRIPING
- 7 4" SOLID PARKING STRIPE, TRAFFIC WHITE PAINT, TYP.
- 8 4" SOLID PARKING STRIPE, 45 DEGREES, TRAFFIC WHITE PAINT, TYP.
- 9 2" STOP BAR, TRAFFIC WHITE PAINT
- 10 TRAFFIC ARROW, TRAFFIC WHITE PAINT, TYP.
- 11 RESTRICTED AREA STRIPING, 45 DEGREES, TRAFFIC WHITE PAINT, TYP.
- 12 ADA PARKING STRIPING, TYP.
- 13 ADA PARKING SIGN
- 14 DESIGNATED MINIBUS PARKING SPACES
- 15 DIRECTIONAL "ONE WAY" SIGN
- 16 FROST STOP
- 17 EXTERIOR CONCRETE STOOP
- 18 EXTERIOR CONCRETE STAIRCASE, SEE ARCHITECTURAL
- 19 CONCRETE TRANSFORMER PAD
- 20 CONCRETE BOLLARDS
- 21 CONCRETE GENERATOR PAD
- 22 TRASH/RECYCLER ENCLOSURE WITH MASONRY WALL AND GATES, REFER TO ARCHITECTURAL PLANS
- 23 4" CHANNEL FENCE
- 24 10' WIDE CHANNEL FENCE SLIDING GATE
- 25 CHANNEL FENCE MAIN GATE
- 26 RETAINING WALL
- 27 8x8 CURB AND GUTTER
- 28 EXTENDED CONCRETE RAMP
- 29 10" BLACK W/VI CHANNEL FENCE
- 30 CONCRETE PAD FOR RELOCATED TELECOM UTILITIES
- 31 CONCRETE ELECTRICAL EQUIPMENT PAD
- 32 BRICK CAGE AND CONCRETE PAD WITH DIAGONAL BRG
- 33 CONCRETE PAD AND RINGS FOR SHOT PUT
- 34 METAL DOOR
- 35 STOP SIGN, RL-1
- 36 4" SOLID DOUBLE STRIPE, TRAFFIC YELLOW PAINT
- 37 4" SOLID STRIPE, TRAFFIC WHITE PAINT
- 38 "DO NOT ENTER" SIGN

SITE PLAN NOTES

1. ALL DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS IN PARENTHESES ARE ALTERNATE DIMENSIONS.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.

LAO/DOE NOTE

1. THIS PLAN IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION WITHOUT THE APPROVAL OF THE LAO/DOE.

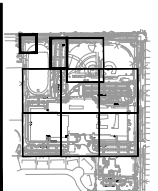


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Wight

Wight & Company
wightco.com
2000 North Fremont Road
Darien, IL 60551
P 630.969.7000
F 630.969.7979



NOT FOR CONSTRUCTION

W-DATE AND SUBMITTAL
DATE

REV DESCRIPTION

MUNDELEIN HIGH SCHOOL MASTER FACILITIES PROJECT - PHASE 2

1350 W. HAWLEY STREET
MUNDELEIN, IL 60060

SITE PLAN - PHASE 2

Project Number: 240102
Scale: 1" = 20'
Drawn By: ZM

C2.07

LEGEND

[Symbol]	2" HMA MILL AND OVERLAY
[Symbol]	FULL DEPTH HMA PAVEMENT AND STONE BASE
[Symbol]	HEAVY DUTY HMA PAVEMENT AND STONE BASE
[Symbol]	CONCRETE PAVING AND STONE BASE
[Symbol]	HEAVY DUTY CONCRETE PAVING AND STONE BASE
[Symbol]	CONCRETE CONTROL JOINTS
[Symbol]	CONCRETE EXPANSION JOINT
[Symbol]	GRAVEL
[Symbol]	PROPERTY LINE
[Symbol]	REVERSE PITCH CURB

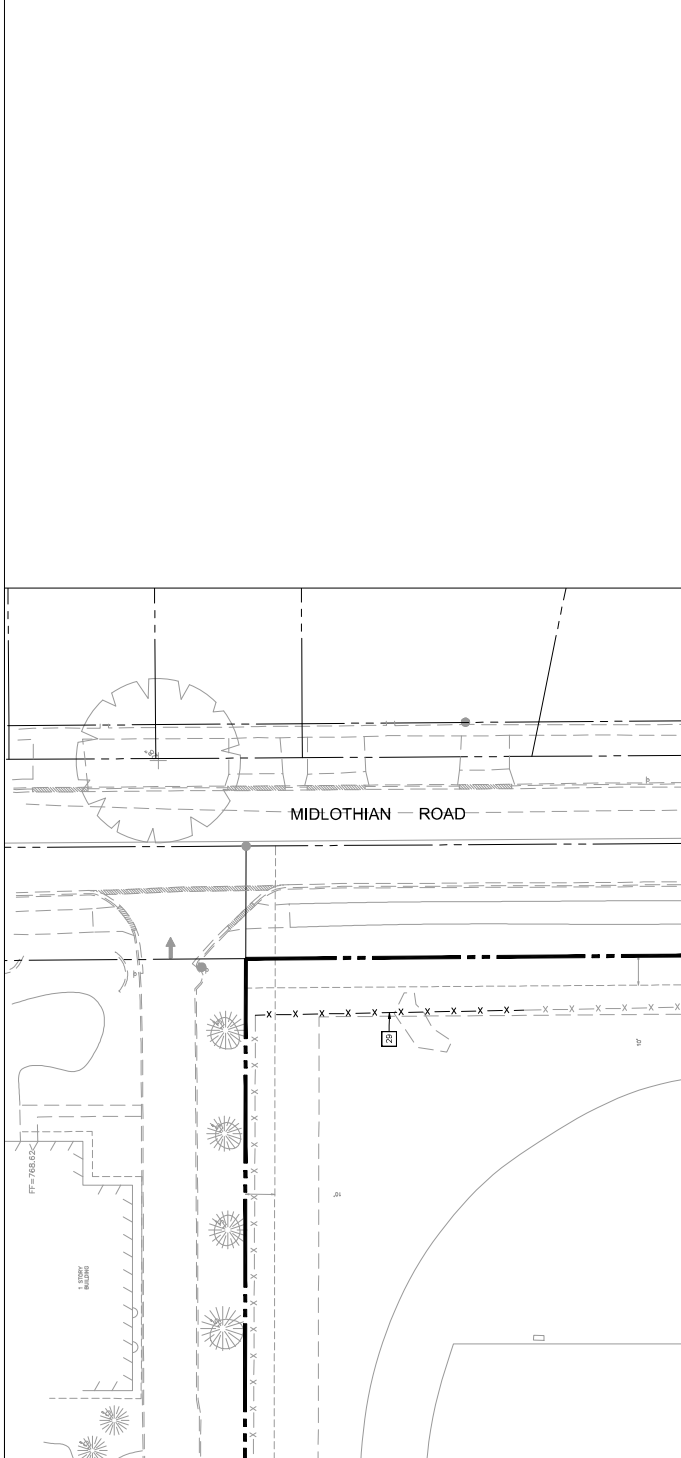
SITE KEY NOTES

1. 8x12 CURB AND GUTTER
2. DEPRESSED CURB AND GUTTER
3. 6" BARRIER CURB
4. ADA DETECTABLE WARNING
5. ADA COMPLIANT CONCRETE RAMP
6. CROSSWALK STRIPING
7. 4" SOLID PARKING STRIPE, TRAFFIC WHITE PAINT, TYP.
8. 4" SOLID PARKING STRIPE, 45 DEGREE, TRAFFIC WHITE PAINT, TYP.
9. 2" x 12" STOP BAR, TRAFFIC WHITE PAINT
10. TRAFFIC ARROW, TRAFFIC WHITE PAINT, TYP.
11. RESTRICTED AREA STRIPING, 45 DEGREE, TRAFFIC WHITE PAINT, TYP.
12. ADA PARKING STRIPING, TYP.
13. ADA PARKING SIGN
14. DESIGNATED MINIBUS PARKING SPACES
15. DIRECTIONAL "ONE WAY" SIGN
16. FROST STOP
17. EXTERIOR CONCRETE STOOP
18. EXTERIOR CONCRETE STAIRCASE, SEE ARCHITECTURAL PLAN
19. CONCRETE TRANSFORMER PAD
20. CONCRETE BOLLARDS
21. CONCRETE GENERATOR PAD
22. TRASH COMPACTOR ENCLOSURE WITH MANGROVE WALL AND GATES, REFER TO ARCHITECTURAL PLANS
23. 4" CHAIN LINK FENCE
24. 10" WIDE CHAIN LINK FENCE SLIDING GATE
25. CHAIN LINK FENCE MAIN GATE
26. RETAINING WALL
27. 8x18 CURB AND GUTTER
28. EXTENDED CONCRETE RAMP
29. 10" BLACK VINYL CHAIN LINK FENCE
30. CONCRETE PAD FOR RELOCATED TELECOM UTILITIES
31. CONCRETE ELECTRICAL EQUIPMENT PAD
32. ELEC. CASE AND CONCRETE PAD WITH DISCUS RING
33. CONCRETE PAD AND RINGS FOR SPLIT PUT
34. METAL EDGING
35. STOP SIGN, R-1
36. 4" SOLID DOUBLE STRIPE, TRAFFIC YELLOW PAINT
37. 4" SOLID STRIPE, TRAFFIC WHITE PAINT
38. "DO NOT ENTER" SIGN

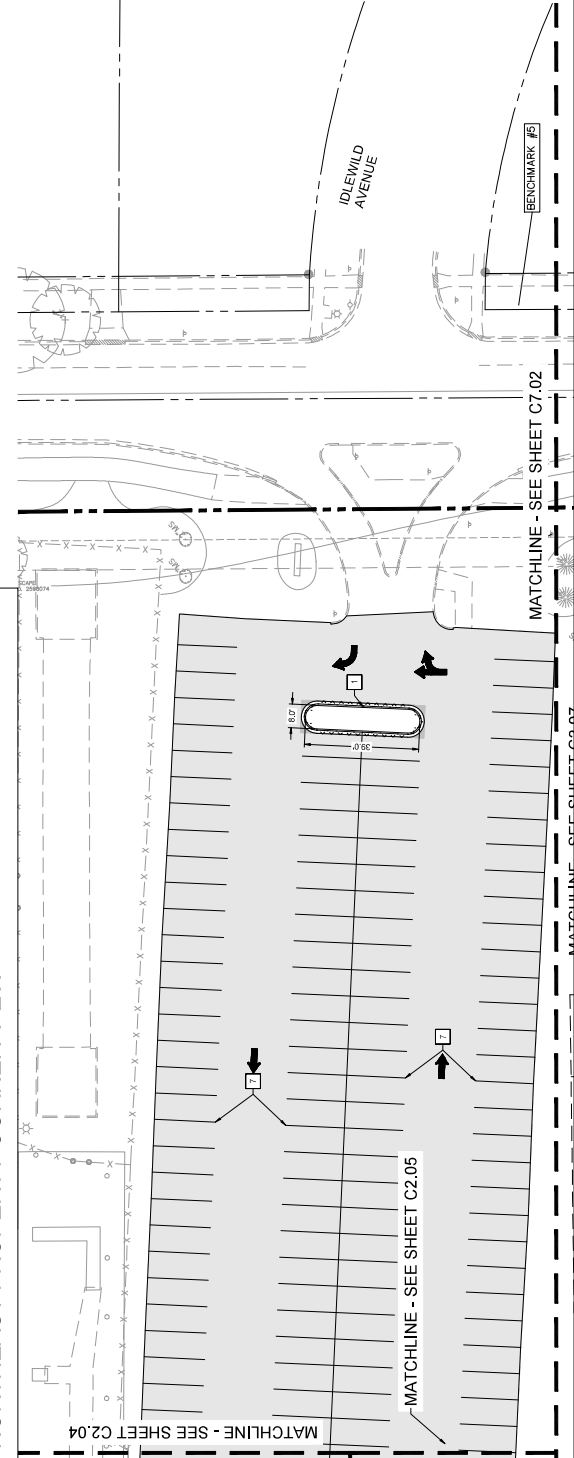
SITE PLAN NOTES

1. ALL UTILITIES SHALL BE LOCATED AND DEPTH VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
2. ALL UTILITIES SHALL BE PROTECTED BY CONCRETE PAD AND RINGS FOR SPLIT PUT.
3. ALL UTILITIES SHALL BE PROTECTED BY CONCRETE PAD AND RINGS FOR SPLIT PUT.
4. ALL UTILITIES SHALL BE PROTECTED BY CONCRETE PAD AND RINGS FOR SPLIT PUT.

LABOR NOTE: ALL CONSTRUCTION SHALL BE COMPLETED BY A PROFESSIONAL LANDSCAPE ARCHITECT AND SHALL BE SUBJECT TO THE CONTRACTOR'S SCHEDULE.



NORTHWEST PROPERTY CORNER VIEW



NORTHEAST PROPERTY CORNER VIEW

S:\Projects\Mundelein Consolidated High School Facilities Project\0111 Drawings\02 C\MUNDELEIN HS - PHASE 2\240102 C2.01 SITE PLAN - PHASE 2.dwg 2/24/2025 2:39:48 pm



MUNDELEIN CONSOLIDATED
HIGH SCHOOL DISTRICT

Wight

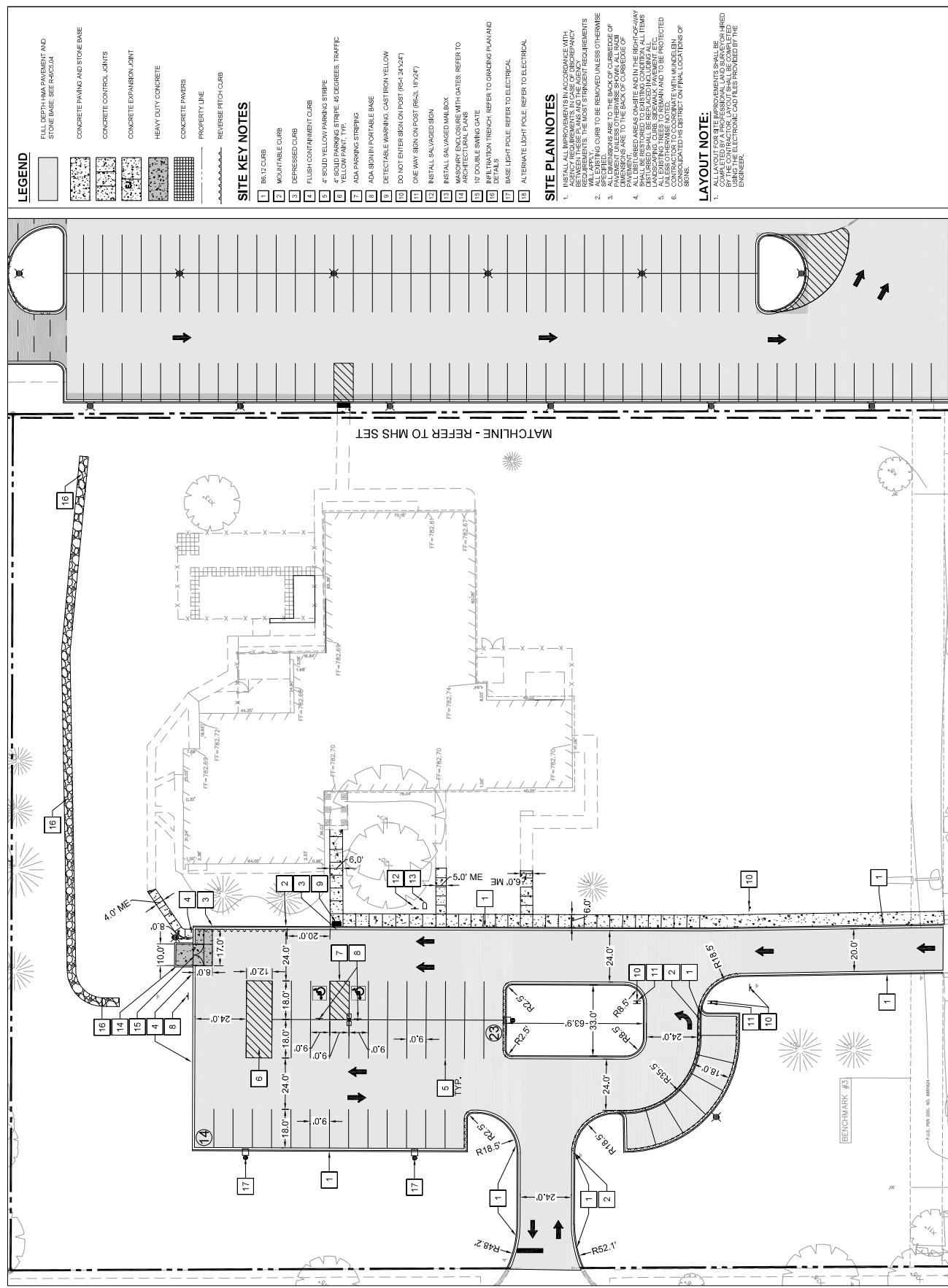
Wight & Company
High Schools
2000 North Fremont Road
Darien, IL 60011
P 630.969.7000
F 630.969.7979

UNDELEIN HIGH
SCHOOL MASTER
FACILITIES PROJECT
- PHASE 2
1350 W. HAWLEY STREET
MUNDELEIN IL 60060

**SITE PLAN - TRANSITION
CENTER**

Project Number:
240190
Drawn By:
VL
Scale:
1" = 30'
0 15 30 60

C6.02



LEGEND

- FULL DEPTH HMA PAVEMENT AND STONE BASE. SEE RAC30.4
- CONCRETE FINING AND STONE BASE
- CONCRETE CONTROL JOINTS
- CONCRETE EXPANSION JOINT
- HEAVY DUTY CONCRETE
- CONCRETE PAVERS
- PROPERTY LINE
- REVERSE FITCH CURB

SITE KEY NOTES

1. 88.12 CURB
2. MOUNTABLE CURB
3. DEPRESSION CURB
4. FLUSH CONFINEMENT CURB
5. 4" SOLID YELLOW PARKING STRIPE
6. 4" SOLID PARKING STRIPE - 45 DEGREES, TRAFFIC YELLOW PAINT, TYP.
7. ADA SIGN IN PORTABLE BASE
8. DETECTABLE WARNING, CAST IRON YELLOW
9. DO NOT ENTER SIGN ON POST (R64, 24x24)
10. ONE WAY SIGN ON POST (R6-20, 18"x24")
11. INSTALL SALVAGED SIGN
12. MASONRY ENCLOSURE WITH GATES. REFER TO DETAILS
13. 12" COLE SINK GATE
14. INFILTRATION TRENCH. REFER TO GRADING PLAN AND DETAILS
15. BASE LIGHT POLE. REFER TO ELECTRICAL
16. ALTERNATE LIGHT POLE. REFER TO ELECTRICAL

SITE PLAN NOTES

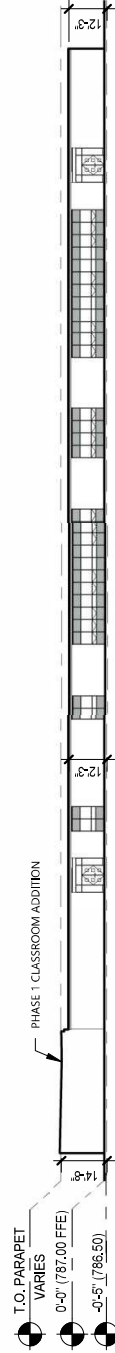
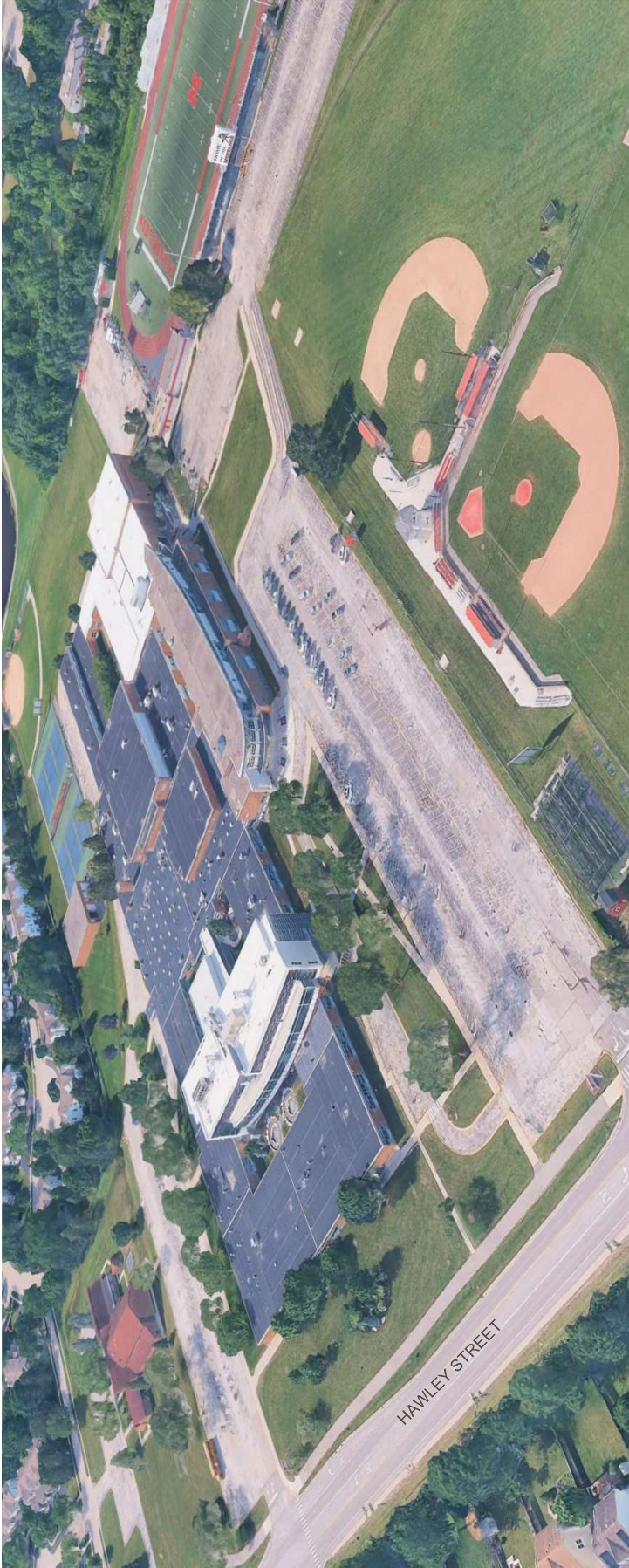
1. INSTALL ALL IMPROVEMENTS IN ACCORDANCE WITH THE LAYOUT FOR THE IMPROVEMENTS SHALL BE PROVIDED BY THE CONTRACTOR. LAYOUT SHALL BE COMPLETED BY THE ENGINEER. ELECTRONIC COPIES PROVIDED BY THE ENGINEER.
2. ALL DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
4. ALL DISTURBED AREAS ON SITE AS SHOWN IN THE RIGHT-OF-WAY SHALL BE RESTORED TO ORIGINAL CONDITIONS INCLUDING ALL EXISTING TREES TO REMAIN AND TO BE PROTECTED.
5. ALL EXISTING TREES TO REMAIN AND TO BE PROTECTED SHALL BE IDENTIFIED AND MARKED WITH MUNDELEIN CONSOLIDATED HIGH SCHOOL DISTRICT ON FINAL LOCATIONS OF SIGN.

LAYOUT NOTE:

1. ALL LAYOUT FOR SITE IMPROVEMENTS SHALL BE PROVIDED BY THE CONTRACTOR. LAYOUT SHALL BE COMPLETED BY THE ENGINEER. ELECTRONIC COPIES PROVIDED BY THE ENGINEER.

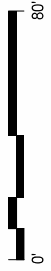
Site Plan - Transition Center - Phase 2 - 11/14/2025

EXTERIOR BUILDING ELEVATIONS

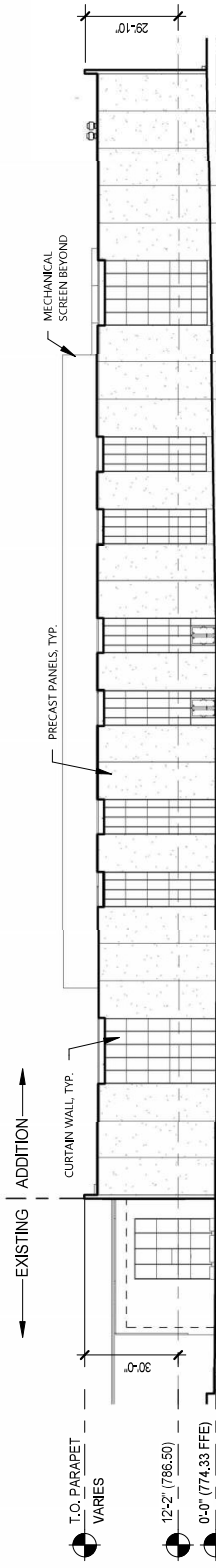


EXISTING SOUTH ELEVATION

NOTE: SOUTH ELEVATION BUILDING GRADE ALONG HAWLEY STREET RANGES FROM 786.84' TO 786.14'. AVERAGE DATUM OF 786.50' USED TO DETERMINE THE NEW ADDITION BUILDING HEIGHTS AS DIRECTED PER VILLAGE CODE. DIMENSIONED ADDITION BUILDING HEIGHTS INDICATED ON NEXT PAGE REFERENCE THIS 786.50' DATUM TO DEMONSTRATE COMPLIANCE WITH ALLOWABLE BUILDING HEIGHT.

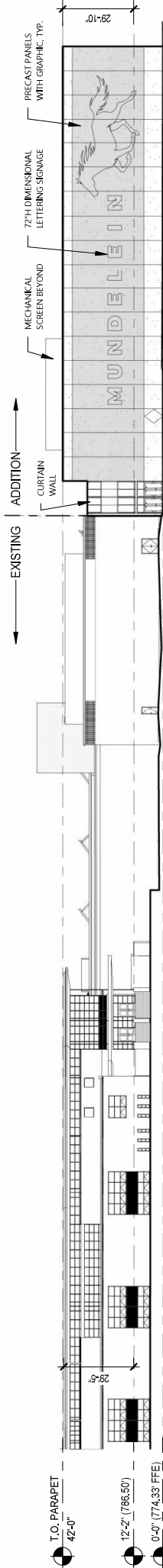


EXTERIOR BUILDING ELEVATIONS



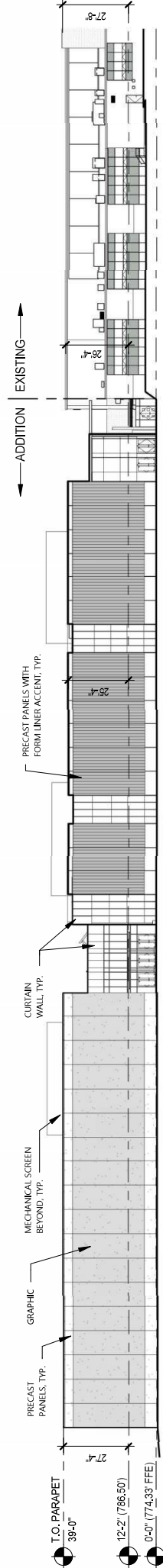
PROPOSED NORTH ELEVATION

786.50' AVG. DATUM
SOUTH BUILDING ELEVATION
(HAWLEY ST.) GRADE



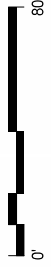
PROPOSED EAST ELEVATION

786.50' AVG. DATUM
SOUTH BUILDING ELEVATION
(HAWLEY ST.) GRADE

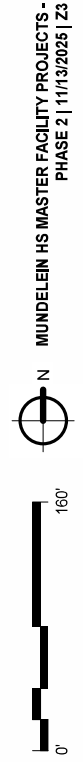
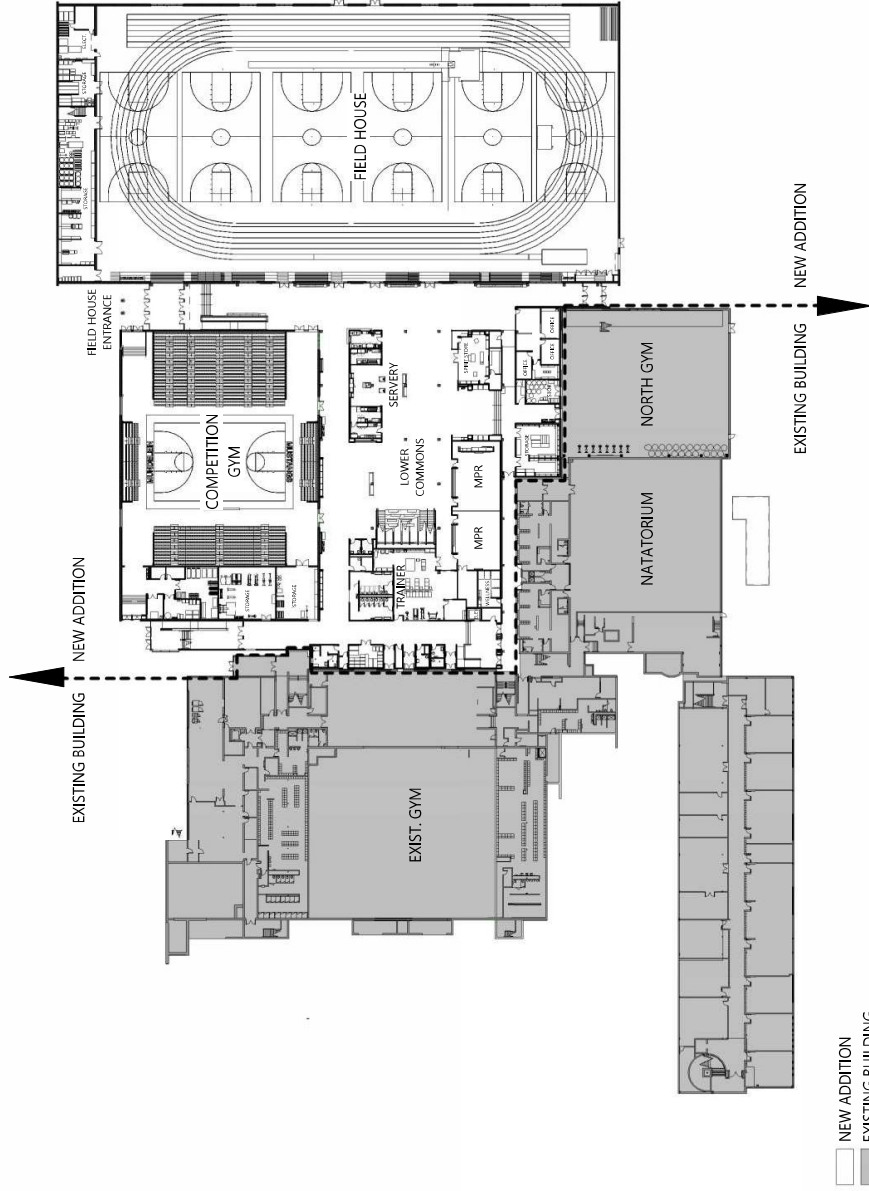


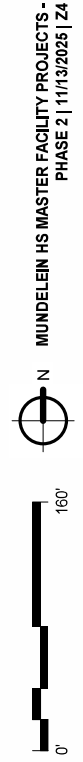
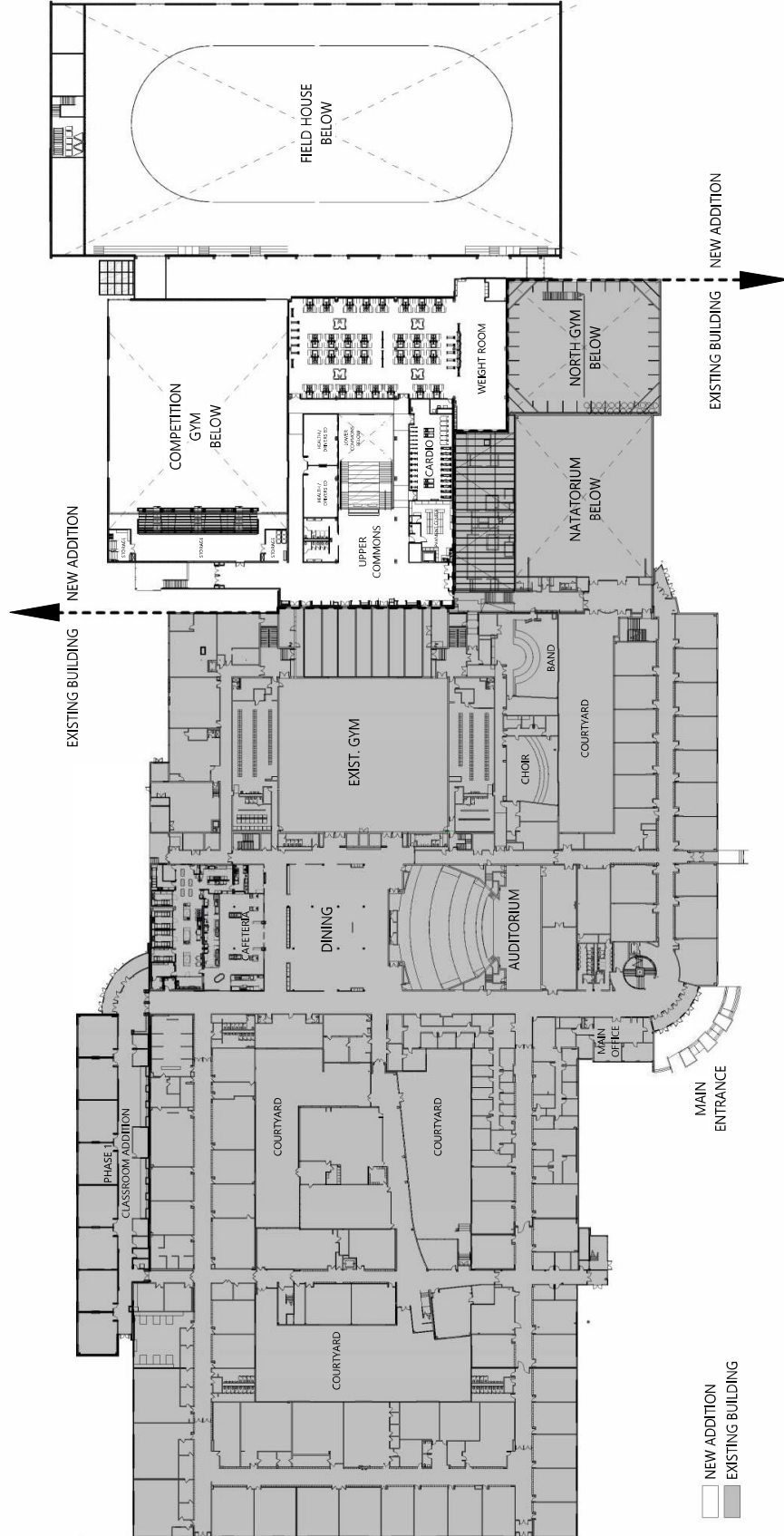
PROPOSED WEST ELEVATION

786.50' AVG. DATUM
SOUTH BUILDING ELEVATION
(HAWLEY ST.) GRADE



FLOOR PLAN LEVEL 00





To: Mayor and Board of Trustees

From: Isabel Guadarrama, Senior Planner
Amanda Orenchuk, Director of Community Development

For: Village Board Meeting of February 23, 2026

Subject: Preliminary and Final Plat of Subdivision - 1212 and 1250 South Butterfield Road

Financial Impact:

N/A

Attachments:

1. Petitioner's Packet

Background:

Michi Mho of Neri Architects, on behalf of property owners Imran Ahmad and Nargis Jahan, is requesting approval of a Preliminary and Final Plat of Subdivision to facilitate the development of a commercial strip and a car wash on two adjacent parcels, 1212 and 1250 South Butterfield Road, currently zoned M-1 General Manufacturing. The proposed car wash is a permitted use by right in the M-1 zoning district. Development of the commercial strip would require additional approval of a map amendment to rezone the property to the commercial district, where such uses are permitted by right.

Prior to acquisition by the current owners, both properties contained nonconforming single-family residential uses within the M-1, General Manufacturing zoning district. While the existing parcel sizes were sufficient for the former residential uses, the proposed commercial development requires wider parcels to accommodate building placement, parking, and site circulation.

Subdivision Plat:

With ownership of both properties, the applicant is proposing to adjust the internal lot line and utilize the combined land area without acquiring additional property to achieve the necessary lot width. As proposed, the parcel located at 1250 South Butterfield Road would increase by approximately 37.55 feet to the north, with a corresponding reduction in width from the adjacent parcel at 1212 South Butterfield Road.

Following the proposed lot line adjustment, both parcels would meet the minimum lot width and lot

area requirements under their respective zoning district in the Zoning Ordinance. The revised lot configuration would also allow both developments to comply with required setbacks and buffer standards.

M-1 Zoning District	Requirement	Proposed
Minimum Lot Area	10,000 square feet	41,490.24 square feet
Minimum Lot Width	100 feet	191.12 feet

C-2 Zoning District	Requirement	Proposed
Minimum Lot Area	None	30,213.43 square feet
Minimum Lot Width	None	137.73 square feet

Planning and Zoning Commission:

The Planning and Zoning Commission held a meeting on February 4, 2026, to review the plans. At that meeting, the Commission determined that the preliminary and final plat of subdivision complied with all the requirements under the desired zoning districts.

Recommendation:

Motion to authorize staff to prepare a resolution approving the preliminary and final plat of subdivision for the properties located at 1212 and 1250 South Butterfield Road.



PLAT APPLICATION

PROPERTY INFORMATION

Address 1212-1250 Butterfield Rd
 Property Index Numbers (PIN) 11-32-300-089-0000
11-32-300-082-0000
 Size of Property 71,919 s.f./1.647 acres (sq. ft. /acres)
 Size of Building Space _____ (sq. ft.)
 Size of Space Utilized _____

PETITIONER INFORMATION

Business/Org. Name Neri Architects
 Name Michi Mho
 Title Director of Architecture
 Address 222 S Prospect Ave, 3rd Floor
 City, State, Zip Park Ridge, IL 60068
 Phone 847-825-9400
 Email mmho@neriarchitects.com

Petitioner Status: Owner Lessee Contract Purchaser

PLAT APPLICATION FILING FEE (Preliminary Plats Exempt)

- Five Acres or Less: \$500**
 Over Five Acres: \$1,000

PLAT REQUEST – Please attach plat(s)

- Preliminary Plat of Subdivision
 Final Plat of Subdivision
 Preliminary and Final Plat of Subdivision
 Plat of Vacation
 Plat of Consolidation

PROPERTY OWNER INFORMATION

Imran Ahmad and Nargis Jahan
 Business/Org. Name Trust
 Name Imran Ahmad, Nargis Jahan
 Title _____
 Address 1845 Haven Lane
 City, State, Zip Green Oaks, Illinois 60048
 Phone 847-371-1847
 Email mr.adam.ahmad@gmail.com

AFFIDAVIT OF OWNERSHIP AND AUTHORIZATION

COUNTY OF LAKE)
)
STATE OF ILLINOIS)

I, Imran Ahmad _____, under oath, state that I am

_____ the sole)
X
_____ an) owner of the property
_____ an authorized officer of the)

commonly described as (Address) 1212-1250 Butterfield Rd
Imran Ahmad and Nargis Jahan Trust and that such property is owned by

(Printed Name) _____ as of this date. As owner of the property, I do

hereby authorize Adam Ahmad (Printed Name or Not Applicable) to represent me in the following

Planning and Zoning Commission/Village Board matter, Plat and Resubdivision
_____ (Action).

Imran Ahmad
Signature

Subscribed and sworn to before me

this 24th day of June, 2025.

Shoukath M. Ali
Notary Public Signature



SITE VISIT AUTHORIZATION

I hereby grant employees of the Village of Mundelein, their agents, and members of the Mundelein Planning and Zoning Commission permission to enter on the property located at the following address:

(Address) 1212-1250 Butterfield Rd, Mundelein, IL

Visual inspection of the site shall be accomplished during reasonable hours to examine only those portions of the property relating to this application. This permission is granted in regards to the Mundelein Planning and Zoning Commission Petition for the above-cited property.

If Owner or if Owner is a Corporation or Partnership:

Imran Ahmad 06/24/2025
Signature of Owner Date

By Imran Ahmad and Nargis Jahan Trust
Imran Ahmad and Nargis Jahan Trust

Title/Full Corporate Name

If Contract Purchaser:

Signature of Contract Purchaser Date

By _____

Title/Full Corporate Name

If Lessee (Corporate or Partnership):

Signature of Lessee Date

By _____

Title/Full Corporate Name

REQUIRED SIGNATURES

The undersigned states under oath that he/she/they are the **Legal Owner(s)** of record of the realty described in this Planning and Zoning Commission Application, and the statements that he/she/they made in the foregoing application are true in substance and in fact.

Signature (Owner): Imran Ahmad
Printed Name: Imran Ahmasd

Date: 06/24/2025
Title: _____

Signature (Owner): Nargis Jahan
Printed Name: Nargis Jahan

Date: 06/24/2025
Title: _____

The undersigned states under oath that he/she/they are the **Contract Purchaser** of record of the realty described in this Planning and Zoning Commission Application, and the statements that he/she/they made in the foregoing application are true in substance and in fact.

Signature Contract Purchaser: _____
Printed Name: _____

Date: _____
Title: _____

The undersigned states under oath that he/she/they are the **Lessee** of record of the realty described in this Planning and Zoning Commission Application, and the statements that he/she/they made in the foregoing application are true in substance and in fact.

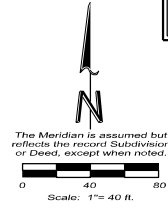
Signature Lessee: _____
Printed Name: _____

Date: _____
Title: _____

**PRELIMINARY PLAT OF
1212-1250 BUTTERFIELD ROAD SUBDIVISION**

*of
part of the Southwest Quarter of Section 32, Township 44 North,
Range 11, East of the Third Principal Meridian, in Lake County, Illinois.*

Space Reserved for Recorder



The Meridian is assumed but reflects the record Subdivision or Deed, except when noted.

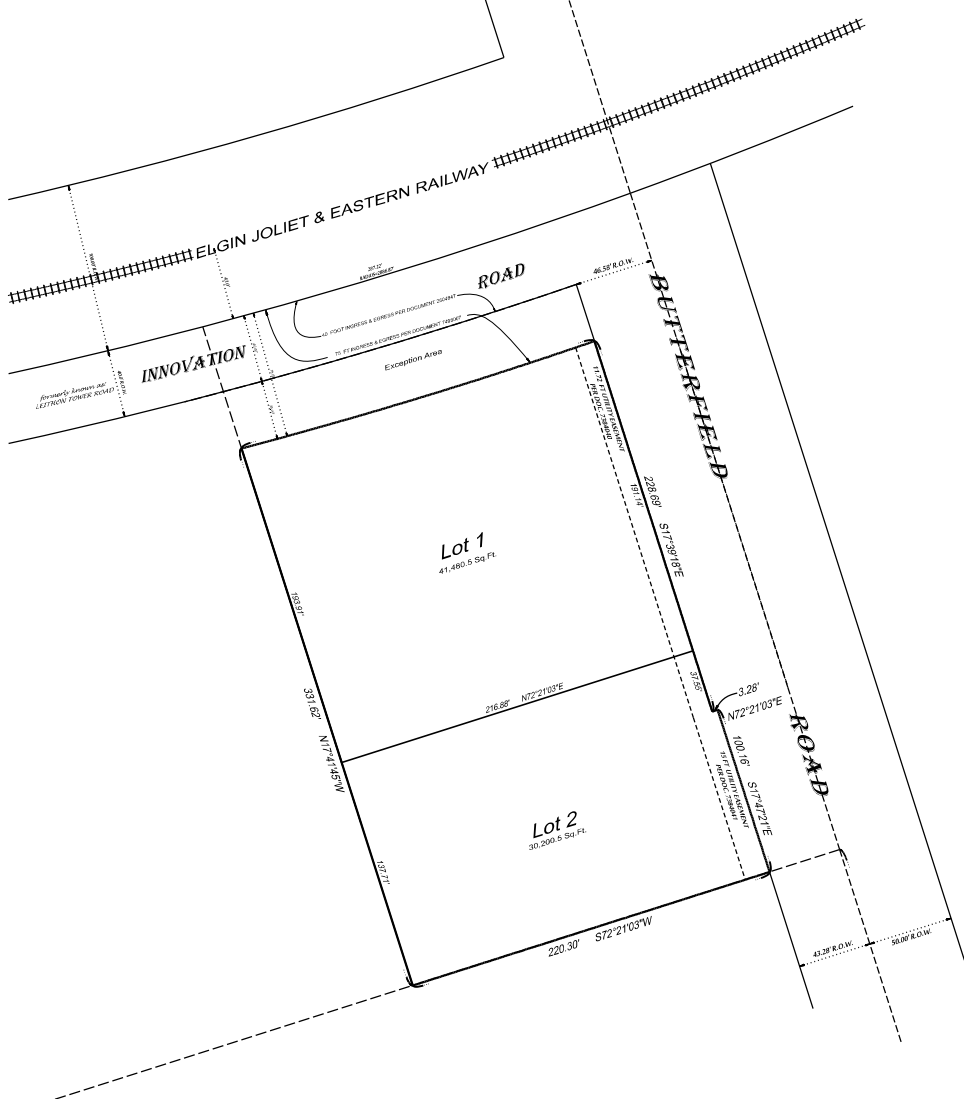
An easement for serving the subdivision and other property with electric and communication service is hereby reserved for and granted to

Commonwealth Edison Company and SBC, Grantees,

their respective licensees, successors, and assigns, jointly and severally, to construct, operate, repair, maintain, modify, reconstruct, replace, supplement, relocate and remove, from time to time, poles, guys, anchors, wires, cables, conduits, manholes, transformers, pedestals, equipment cabinets or other facilities used in connection with overhead and underground transmission and distribution of electricity, communications, sounds and signals in, over, under, across, along and upon the surface of the property shown within the dashed or dotted lines (or similar designation) on the plat and marked "Easement", "Utility Easement", "Public Utility Easement", "P.U.E." (or similar designation), the property designated in the Declaration of Condominium and/or on this plat as "Common Elements"; and the property designated on the plat as "common area or areas"; and the property designated on the plat for streets and alleys, whether public or private, together with the rights to install required service connections over or under the surface of each lot and common area or areas to serve improvements thereon, or on adjacent lots, and common area or areas, the right to cut, trim or remove trees, bushes, roots and saplings and to clear obstructions from the surface and subsurface as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. Obstructions shall not be placed over Grantee's facilities or in, upon or over the property within the dashed or dotted lines (or similar designation) marked "Easement", "Utility Easement", "Public Utility Easement", "P.U.E." (or similar designation) without the prior written consent of Grantee. After installation of any such facilities, the grade of the subdivided property shall not be altered in a manner so as to interfere with the proper operation and maintenance thereof.

The term "Common Elements" shall have the meaning set forth for such term in the "Condominium Property Act", Chapter 765 ILCS 605/2, as amended from time to time.

The term "common area or areas" is defined as a lot, parcel or area of real property, the beneficial use and enjoyment of which is reserved in whole or as an apportionment to separately owned lots, parcels or areas within the planned development, even though such be otherwise designated on the plat by terms such as "outlots", "common elements", "open space", "open area", "common grounds", "parking", and "common area". The term "common area or areas", and "Common Elements" include real property surfaced with interior driveways and walkways, but excludes real property physically occupied by a building, Service Business District or structures such as a pool, retention pond or mechanical equipment. Relocation of facilities will be done by Grantee at cost of the Grantor/Lot Owner, upon written request.



State of Illinois)
County of Lake)

This is to certify that I, Richard G. Pavletic, Illinois Professional Land Surveyor No. 3261 has surveyed and subdivided the property described in the legal description (on page 2) and as shown by the annexed plat which is a correct representation of said survey and subdivision. All distances are shown in feet and decimals thereof and corrected to the standard temperature.

Upon inspection of FIRM Rate Map Community Panel No. 17097C0251-K with an effective date of September 18, 2013 the subdivision shown hereon lies within a Zone "X" Area outside of the 500 year Flood Plain.

I further certify that this subdivision lies within the corporate limits of the Village of Mundelein which has adopted a City Plan and is exercising the Special Powers authorized by Division 12 of Article 11 of the Illinois Municipal Code.

Given under my hand and seal at Libertyville, Illinois this ___ day of _____, A.D. 20__.

Signed: _____
Professional Land Surveyor No. 3261

The person listed in the following note is hereby granted permission to record this plat on behalf of Richard G. Pavletic, Illinois Professional Land Surveyor.

Signed: _____
Illinois Professional Land Surveyor No. 035-3261

This plat submitted for recording by and returned to once recorded:
Name: _____
Business: Village of Mundelein Send Tax Bill to: _____
Address: 300 Plaza Circle _____
Mundelein, IL 60060 _____

Prepared for:
Neri Architects
Michi Mho
222 S. Prospect Ave. 3rd Floor
Park Ridge, IL 60068

Order Number: 25-361-P
Field Work Completed on: 4-03-25
Date: 8-04-25 issued for review
8-08-25 early comments



R E DECKER
PROFESSIONAL LAND SURVEYORS P.C.
114 E. COOK AVENUE
LIBERTYVILLE, IL 60048
TEL. 847-362-0091
DECKERSURVEY@GMAIL.COM



PRELIMINARY PLAT OF

1212-1250 BUTTERFIELD ROAD SUBDIVISION

Space Reserved for Recorder

Parcel 1: That part of the North 1/2 of the South 1/2 of Section 32, Township 44 North, Range 11 East of the Third Principal Meridian, described as follows: Beginning at the intersection of the Southerly Right of Way line of the Elgin, Joliet and Eastern Railway and the centerline of the Butterfield Road (so called) said point of beginning being South 17 degrees 55 minutes East 571.8 feet from a point on the North line of and 1004.9 feet East from the Northwest corner of said North 1/2 of the South 1/2 of Section 32; thence South 17 degrees 41 minutes East along the centerline of said Butterfield Road, 302.8 feet; thence South 72 degrees 5 minutes West 287.7 feet; thence North 17 degrees 41 minutes West parallel to the centerline of said Butterfield Road, 308 feet, more or less, to the Southerly Right of Way line of the said Elgin, Joliet and Eastern Railway; thence Easterly along said Southerly Right of Way line of the Elgin, Joliet and Eastern Railway, to the Place of Beginning, except the West 23.6 feet thereof, and except the North 75 feet thereof, and also except those parts Dedicated for Public Road purposes by Document 924539 and Document 3913708, in Lake County, Illinois.

Parcel 2: The Easterly 264.10 feet of the following described parcel: that part of the Southwest Quarter of Section 32, Township 44 North, Range 11 East of the Third Principal Meridian, described as follows: Beginning on the South line of and 1,982.5 feet East from the Southwest corner of said Section 32 (said point being the intersection of South line of said Southwest 1/4 and the centerline of Butterfield Road); thence North 17 degrees 41 minutes West, along center of said Butterfield Road, 1,818.5 feet; thence South 72 degrees 19 minutes West, 567.8 feet to the Easterly line of Railroad and also Southwest corner and Point of Beginning of premises herein intended to be described; thence North 29 degrees 26 minutes West along said Easterly line of railroad, 102.14 to the Southwest corner of a tract of land conveyed to Robert A. Cooper and Helen Mae Cooper, his wife, by Deed dated November 21, 1934, and recorded December 18, 1934 as Document 407432; thence North 72 degrees 5 minutes East along the Southerly line of said premises, 608.6 feet to the center of said Butterfield Road; thence South 17 degrees 41 minutes East, 100 feet; thence South 72 degrees 19 minutes West, 567.8 feet to the Point of Beginning, except those parts Dedicated for Public Road purposes by Document 924540 and Document 3766696, in Lake County, Illinois.

State of Illinois)
County of Lake)

State of Illinois)
County of Lake)

This is to certify that IMRAN AHMED and NARGIA JAHAN TRUST are the owners of the land described in the annexed plat, and has caused the same to be surveyed and subdivided, as indicated thereon, for the uses and purposes therein set forth, and does hereby acknowledge and adopt the same under the style and title thereon indicated.

Approved by the Mayor and the Board of Trustees of the Village of Mundelein, Lake County, Illinois this ___ day of _____, A.D. 20__.

The undersigned hereby dedicates for public use the land shown on this plat for throughfares, streets, alleys and public services; and hereby reserves for the public or applicable governmental body, as the case may be, all non-utility easements, to the extent indicated on this plat, and also hereby reserves to the Village of Mundelein and the utility companies operating therein all utility easement rights specified herein.

Signed: _____ Name: _____
Mayor

Dated this ___ day of _____, A.D. 20__.

Attest: _____ Name: _____
Village Clerk

Signed: _____

State of Illinois)
County of Lake)

Signed: _____

Approved by the Planning & Zoning Commission of the Village of Mundelein, Lake County, Illinois at a meeting held the ___ day of _____, A.D. 20__.

State of Illinois)
County of Lake)

Dated this ___ day of _____, A.D. 20__.

I, _____, a Notary Public in and for said County in the State aforesaid, do hereby certify that IMRAN AHMED and NARGIA JAHAN TRUST are personally known to me to be the same persons whose names are subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that they signed and delivered said instrument as their own free and voluntary act for the uses and purposes therein set forth.

Signed: _____ Name: _____
Chairman

Given under my hand and Notarial Seal this ___ day of _____, A.D. 20__.

Attest: _____ Name: _____
Recording Secretary

Signed: _____
Notary Public

State of Illinois)
County of Lake)

State of Illinois)
County of Lake)

This is to certify that IMRAN AHMED, an owner of the property described as 1212-1250 BUTTERFIELD ROAD SUBDIVISION and legally described on the plat of the same name, has determined to the best of his knowledge the school district in which each of the following lots lies.

I, _____, Finance Director for the Village of Mundelein do hereby certify that there are no delinquent or unpaid current or forfeited special assessments or any deferred installments thereof that have been apportioned against the tract of land in the annexed plat.

Table with 3 columns: Lot, Elementary, High School. Row 1: 1, 73, 120. Row 2: 2, 73, 120.

Dated this ___ day of _____, A.D. 20__.

Signed: _____
Finance Director

Signed: _____

State of Illinois)
County of Lake)

State of Illinois)
County of Lake)

This plat is hereby approved by the County Engineer of Lake County pursuant to Chapter 765, Act 205, Section 2 of the Illinois Compiled Statutes, as amended, as to roadway access to County Highway 57, also known as BUTTERFIELD ROAD.

I, _____, Engineer for the Village of Mundelein, do hereby certify that all matters pertaining to street requirements as prescribed in the regulations governing plats adopted by the Village Board of Trustees of the Village of Mundelein, Lake County, Illinois, insofar as they pertain to the subject Plat, have been complied with.

Dated this ___ day of _____, A.D. 20__.

Signed: _____
Village Engineer

Direct access either to or from County Highway shall be restricted as shown on this plat and shall be subject to the Lake County Highway access regulation ordinance which requires, in part, that application be made and an access permit be obtained from the County Engineer of Lake County prior to any access installation.

State of Illinois)
County of Lake)

Dated this ___ day of _____, A.D. 20__.

I, _____, County Clerk of Lake County, Illinois, do hereby certify that there are no delinquent general taxes, unpaid current general taxes, delinquent special assessments or unpaid current special assessments against any of the land included described property. I further certify that I have received all statutory fees in connection with the plat.

Given under my hand and seal of the County of Lake at Waukegan, Illinois, this ___ day of _____, A.D. 20__.

Signed: _____
County Engineer

Signed: _____
County Clerk

Prepared for:
New Architects
Micki Nho
222 S. Prospect Ave. 2nd Floor
Park Ridge, IL 60068

Order Number: 25-361-P
Field Work Completed on: 4-03-25
Date: 8-04-25 Issued for review
8-08-25 early comments

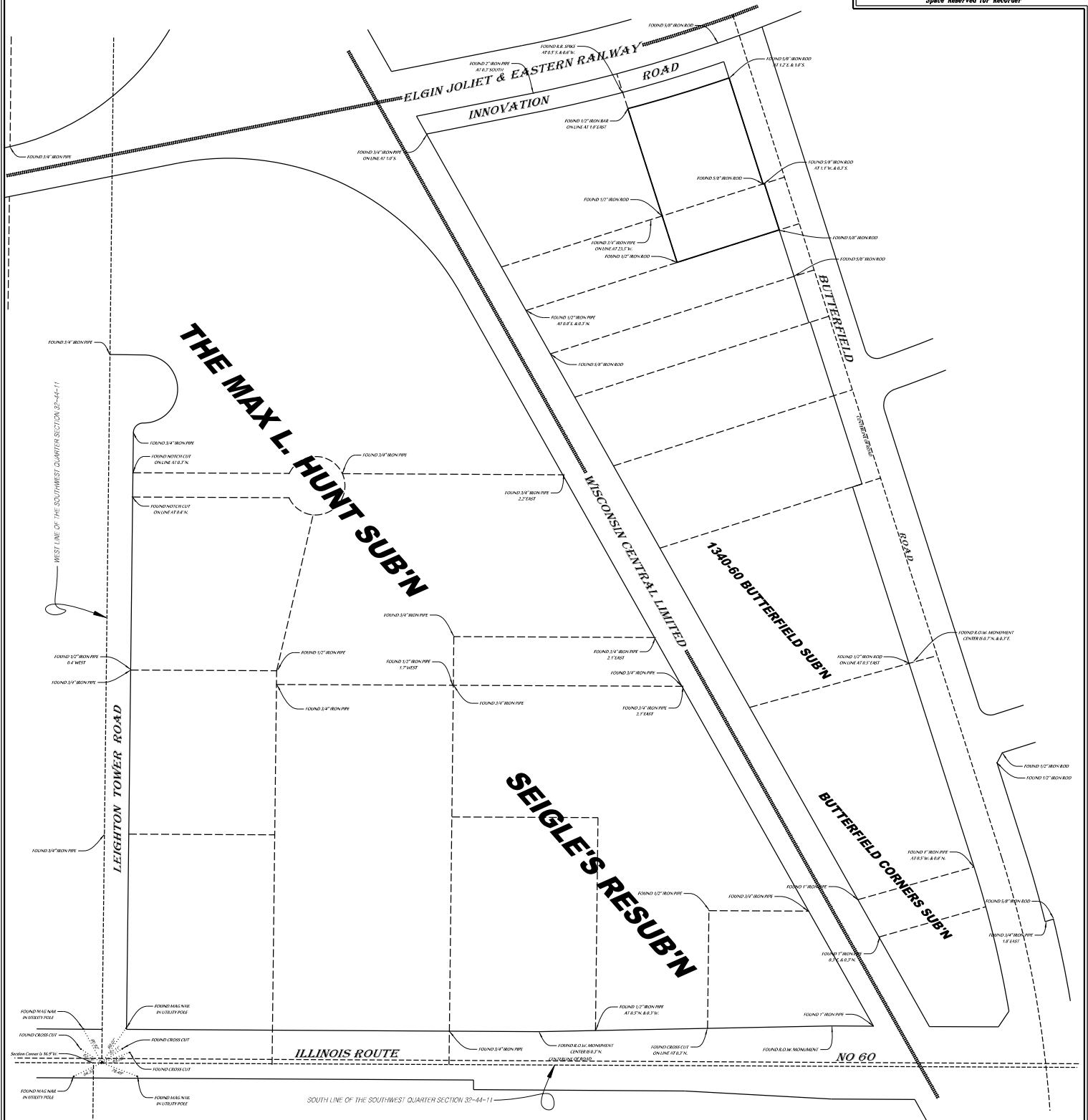


R E DECKER
PROFESSIONAL LAND SURVEYORS P.C.
114 E. COOK AVENUE
LIBERTYVILLE, IL 60048
TEL. 847-362-0091
DECKERSURVEY@GMAIL.COM



**PRELIMINARY PLAT OF
1212-1250 BUTTERFIELD ROAD SUBDIVISION**

Space Reserved for Recorder

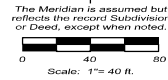


<p>Prepared for: Neri Architects Michele Neri 222 S. Prospect Ave. 3rd Floor Park Ridge, IL 60068</p>	<p>Order Number: 25-361-P Field Work Completed on: 4-03-25 Date: 8-09-25 based on 7-09-25 8-08-25 early comments</p>		<p>R E DECKER PROFESSIONAL LAND SURVEYORS P.C. 114 E. COOK AVENUE LIBERTYVILLE, IL 60048 TEL. 847-362-0091 DECKERSURVEY@GMAIL.COM</p>	
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FINAL PLAT OF 1212-1250 BUTTERFIELD ROAD SUBDIVISION

of
part of the Southwest Quarter of Section 32, Township 44 North,
Range 11, East of the Third Principal Meridian, in Lake County, Illinois.

Space Reserved for Recorder



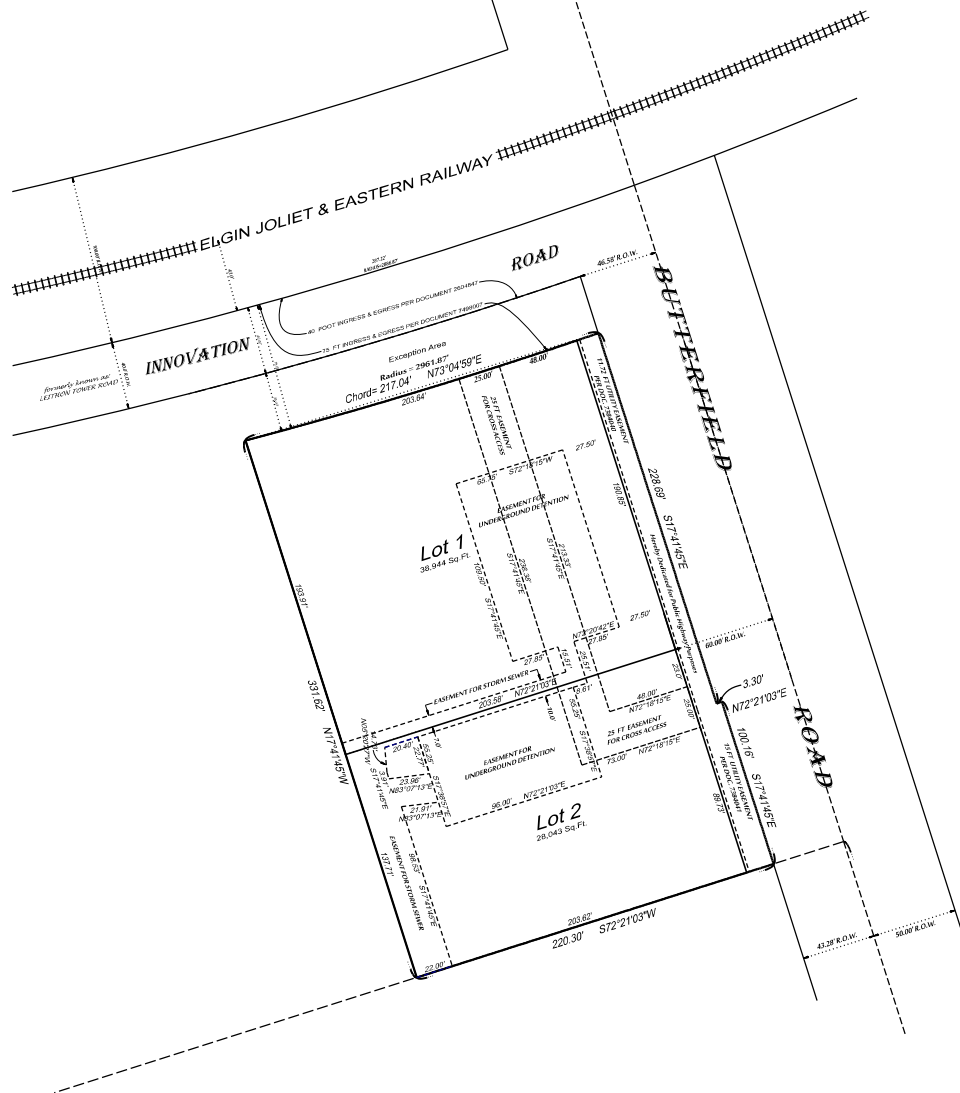
The Meridian is assumed but reflects the record Subdivision or Deed, except when noted.

An easement for serving the subdivision and other property with electric and communication service is hereby reserved for and granted to Commonwealth Edison Company and SBC, Grantees.

their respective licensees, successors, and assigns, jointly and severally, to construct, operate, repair, maintain, modify, reconstruct, replace, supplement, relocate and remove, from time to time, poles, guys, anchors, wires, cables, conduits, manholes, transformers, pedestals, equipment cabinets or other facilities used in connection with overhead and underground transmission and distribution of electricity, communications, sounds and signals in, over, under, across, along and upon the surface of the property shown within the dashed or dotted lines (or similar designation) on the plat and marked "Easement", "Utility Easement", "Public Utility Easement", "P.U.E." (or similar designation), the property designated in the Declaration of Condominium and/or on this plat as "Common Elements", and the property designated on the plat for streets and alleys, whether public or private, together with the rights to install required service connections over or under the surface of each lot and common area or areas to serve improvements thereon, or on adjacent lots, and common area or areas, the right to cut, trim or remove trees, bushes, roots and saplings and to clear obstructions from the surface and subsurface as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. Obstructions shall not be placed over Grantee's facilities or in, upon or over the property within the dashed or dotted lines (or similar designation) marked "Easement", "Utility Easement", "Public Utility Easement", "P.U.E." (or similar designation) without the prior written consent of Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered in a manner so as to interfere with the proper operation and maintenance thereof.

The term "Common Elements" shall have the meaning set forth for such term in the "Condominium Property Act", Chapter 765 ILCS 605/2, as amended from time to time.

The term "common area or areas" is defined as a lot, parcel or area of real property, the beneficial use and enjoyment of which is reserved in whole or as an apportionment to separately owned lots, parcels or areas within the planned development, even though such be otherwise designated on the plat by terms such as "outlots", "common elements", "open space", "open area", "common ground", "parking", and "common area". The term "common area or areas", and "Common Elements" include real property surfaced with interior driveways and walkways, but excludes real property physically occupied by a building, Service Business District or structures such as a pool, retention pond or mechanical equipment. Relocation of facilities will be done by Grantees at cost of the Grantor/ Lot Owner, upon written request.



State of Illinois)
County of Lake)

This is to certify that I, Richard G. Pavletic, Illinois Professional Land Surveyor No. 3261 has surveyed and subdivided the property described in the legal description (on page 2) and as shown by the annexed plat which is a correct representation of said survey and subdivision. All distances are shown in feet and decimals thereof and corrected to the standard temperature.

Upon inspection of FIRM Rate Map Community Panel No. 17097C0251-K with an effective date of September 18, 2013 the subdivision shown hereon lies within a Zone "X" Area outside of the 500 year Flood Plain.

I further certify that this subdivision lies within the corporate limits of the Village of Mundelein which has adopted a City Plan and is exercising the Special Powers authorized by Division 12 of Article 11 of the Illinois Municipal Code.

Given under my hand and seal at Libertyville, Illinois this ___ day of _____, A.D. 20__.

Signed: _____
Professional Land Surveyor No. 3261

The person listed in the following note is hereby granted permission to record this plat on behalf of Richard G. Pavletic, Illinois Professional Land Surveyor.

Signed: _____
Illinois Professional Land Surveyor No. 035-3261

This plat submitted for recording by and returned to once recorded:
Name: _____
Business: Village of Mundelein
Address: 300 Plaza Circle
Mundelein, IL 60060

Send Tax Bill to: _____

Prepared for:
Neri Architects
Michelle Neri
222 S. Prospect Ave. 3rd Floor
Park Ridge, IL 60068

Order Number: 25-361-P
Field Work Completed on: 4-03-25
Date: 8-04-25 issued for review
8-08-25 early comments
10-24-25 LCDOT R.O.W.
10-29-25 EASEMENTS ADDED
12-2-25 FOR DETENTION



R E DECKER
PROFESSIONAL LAND SURVEYORS P.C.
114 E. COOK AVENUE
LIBERTYVILLE, IL 60048
TEL. 847-362-0091
DECKERSURVEY@GMAIL.COM



FINAL PLAT OF

1212-1250 BUTTERFIELD ROAD SUBDIVISION

Space Reserved for Recorder

Parcel 1: That part of the North 1/2 of the South 1/2 of Section 32, Township 44 North, Range 11 East of the Third Principal Meridian, described as follows: Beginning at the intersection of the Southerly Right of Way line of the Elgin, Joliet and Eastern Railway and the centerline of the Butterfield Road (so called) said point of beginning being South 17 degrees 55 minutes East 571.8 feet from a point on the North line of and 1004.9 feet East from the Northwest corner of said North 1/2 of the South 1/2 of Section 32; thence South 17 degrees 41 minutes East along the centerline of said Butterfield Road, 302.8 feet; thence South 72 degrees 5 minutes West 287.7 feet; thence North 17 degrees 41 minutes West parallel to the centerline of said Butterfield Road, 308 feet, more or less, to the Southerly Right of Way line of the said Elgin, Joliet and Eastern Railway; thence Easterly along said Southerly Right of Way line of the Elgin, Joliet and Eastern Railway, to the Place of Beginning, except the West 23.6 feet thereof, and except the North 75 feet thereof, and also except those parts Dedicated for Public Road purposes by Document 924539 and Document 3913708, in Lake County, Illinois.

Parcel 2: The Easterly 264.10 feet of the following described parcel: that part of the Southwest Quarter of Section 32, Township 44 North, Range 11 East of the Third Principal Meridian, described as follows: Beginning on the South line of and 1,982.5 feet East from the Southwest corner of said Section 32 (said point being the intersection of South line of said Southwest 1/4 and the centerline of Butterfield Road); thence North 17 degrees 41 minutes West, along center of said Butterfield Road, 1,818.5 feet; thence South 72 degrees 19 minutes West, 567.8 feet to the Easterly line of Railroad and also Southwest corner and Point of Beginning of premises herein intended to be described; thence North 29 degrees 26 minutes West along said Easterly line of railroad, 102.14 to the Southwest corner of a tract of land conveyed to Robert A. Cooper and Helen Mae Cooper, his wife, by Deed dated November 21, 1934, and recorded December 18, 1934 as Document 407432; thence North 72 degrees 5 minutes East along the Southerly line of said premises, 608.6 feet to the center of said Butterfield Road; thence South 17 degrees 41 minutes East, 100 feet; thence South 72 degrees 19 minutes West, 567.8 feet to the Point of Beginning, except those parts Dedicated for Public Road purposes by Document 924540 and Document 3766696, in Lake County, Illinois.

State of Illinois)
County of Lake)

This is to certify that IMRAN AHMED and NARGIA JAHAN TRUST are the owners of the land described in the annexed plat, and has caused the same to be surveyed and subdivided, as indicated thereon, for the uses and purposes therein set forth, and does hereby acknowledge and adopt the same under the style and title thereon indicated.

The undersigned hereby dedicates for public use the land shown on this plat for throughfares, streets, alleys and public services; and hereby reserves for the public or applicable governmental body, as the case may be, all non-utility easements, to the extent indicated on this plat, and also hereby reserves to the Village of Mundelein and the utility companies operating therein all utility easement rights specified herein.

Dated this ___ day of _____, A.D. 20__.

Signed: _____

Signed: _____

State of Illinois)
County of Lake)

I, _____, a Notary Public in and for said County in the State aforesaid, do hereby certify that IMRAN AHMED and NARGIA JAHAN TRUST are personally known to me to be the same persons whose names are subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that they signed and delivered said instrument as their own free and voluntary act for the uses and purposes therein set forth.

Given under my hand and Notarial Seal this ___ day of _____, A.D. 20__.

Signed: _____
Notary Public

State of Illinois)
County of Lake)

This is to certify that IMRAN AHMED, an owner of the property described as 1212-1250 BUTTERFIELD ROAD SUBDIVISION and legally described on the plat of the same name, has determined to the best of his knowledge the school district in which each of the following lots lies.

Table with 3 columns: Lot, Elementary, High School. Row 1: 1, 73, 120. Row 2: 2, 73, 120.

Signed: _____

State of Illinois)
County of Lake)

This plat is hereby approved by the County Engineer of Lake County pursuant to Chapter 765, Act 205, Section 2 of the Illinois Compiled Statutes, as amended, as to roadway access to County Highway 57, also known as BUTTERFIELD ROAD.

Direct access either to or from County Highway shall be restricted as shown on this plat and shall be subject to the Lake County Highway access regulation ordinance which requires, in part, that application be made and an access permit be obtained from the County Engineer of Lake County prior to any access installation.

Dated this ___ day of _____, A.D. 20__.

Signed: _____
County Engineer

State of Illinois)
County of Lake)

Approved by the Mayor and the Board of Trustees of the Village of Mundelein, Lake County, Illinois this ___ day of _____, A.D. 20__.

Signed: _____ Name: _____
Mayor

Attest: _____ Name: _____
Village Clerk

State of Illinois)
County of Lake)

Approved by the Planning & Zoning Commission of the Village of Mundelein, Lake County, Illinois at a meeting held the ___ day of _____, A.D. 20__.

Dated this ___ day of _____, A.D. 20__.

Signed: _____ Name: _____
Chairman

Attest: _____ Name: _____
Recording Secretary

State of Illinois)
County of Lake)

I, _____, Finance Director for the Village of Mundelein do hereby certify that there are no delinquent or unpaid current or forfeited special assessments or any deferred installments thereof that have been apportioned against the tract of land in the annexed plat.

Dated this ___ day of _____, A.D. 20__.

Signed: _____
Finance Director

State of Illinois)
County of Lake)

I, _____, Engineer for the Village of Mundelein, do hereby certify that all matters pertaining to street requirements as prescribed in the regulations governing plats adopted by the Village Board of Trustees of the Village of Mundelein, Lake County, Illinois, insofar as they pertain to the subject Plat, have been complied with.

Dated this ___ day of _____, A.D. 20__.

Signed: _____
Village Engineer

State of Illinois)
County of Lake)

I, _____, County Clerk of Lake County, Illinois, do hereby certify that there are no delinquent general taxes, unpaid current general taxes, delinquent special assessments or unpaid current special assessments against any of the land included described property. I further certify that I have received all statutory fees in connection with the plat.

Given under my hand and seal of the County of Lake at Waukegan, Illinois, this ___ day of _____, A.D. 20__.

Signed: _____
County Clerk

Prepared for:
New Architects
Michu Nho
222 S. Prospect Ave. 2nd Floor
Park Ridge, IL 60068

Order Number: 25-361-P
Field Work Completed on: 4-03-25
Date: 8-04-25 Issued for review
8-08-25 early comments

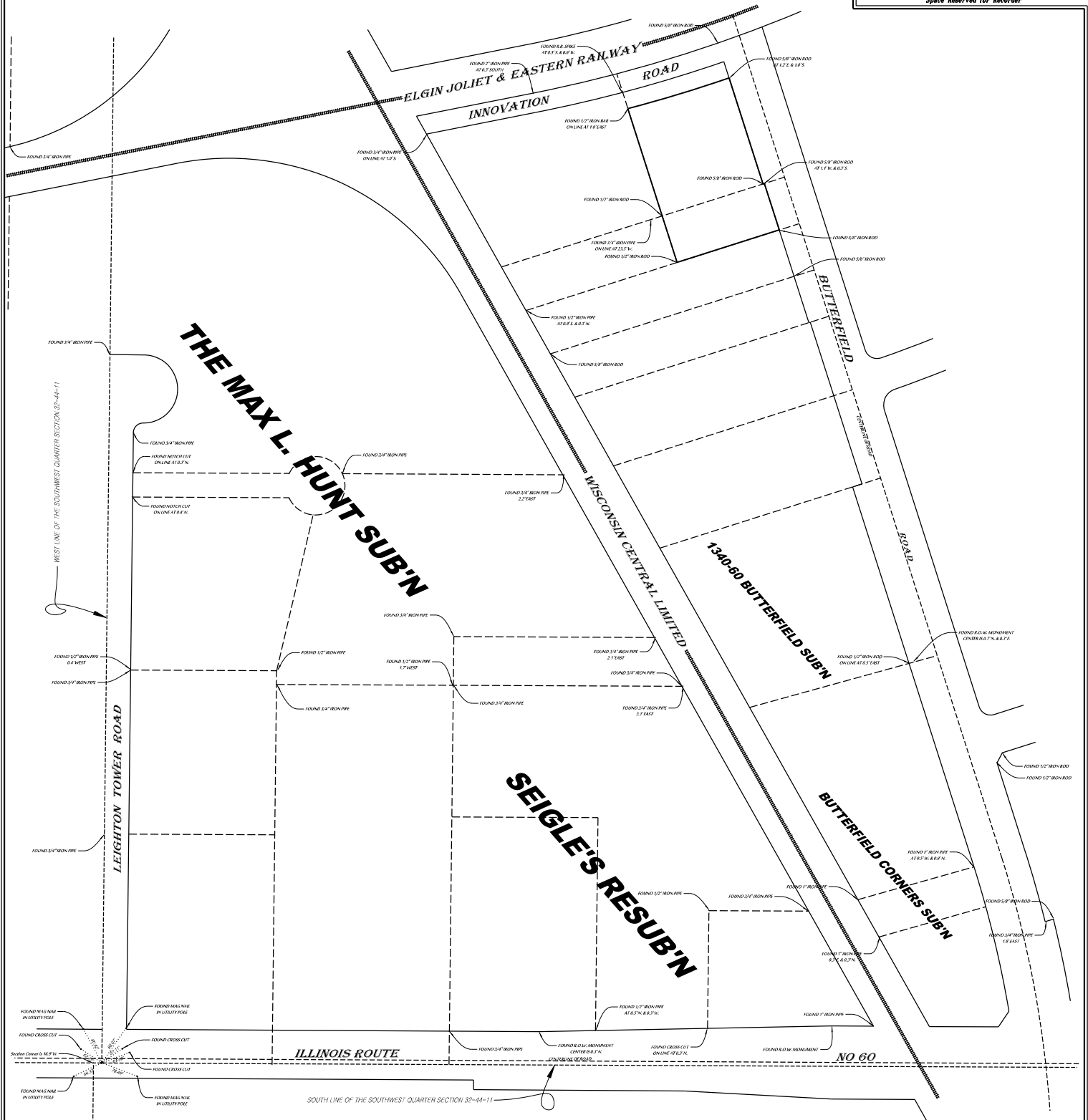


R E DECKER
PROFESSIONAL LAND SURVEYORS P.C.
114 E. COOK AVENUE
LIBERTYVILLE, IL 60048
TEL. 847-362-0091
DECKERSURVEY@GMAIL.COM



FINAL PLAT OF 1212-1250 BUTTERFIELD ROAD SUBDIVISION

Space Reserved for Recorder



<p>Prepared for: Neri Architects Miche Mho 222 S. Prospect Ave. 3rd Floor Park Ridge, IL 60068</p>	<p>Order Number: 25-361-P Field Work Completed on: 4-03-25 Date: 8-08-25 based on 7-08-20 8-08-25 early comments</p>		<p>R E DECKER PROFESSIONAL LAND SURVEYORS P.C. 114 E. COOK AVENUE LIBERTYVILLE, IL 60048 TEL. 847-362-0091 DECKERSURVEY@GMAIL.COM</p>
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To: Mayor and Board of Trustees

From: Isabel Guadarrama, Senior Planner
Amanda Orenchuk, Director of Community Development

For: Village Board Meeting of February 23, 2026

Subject: Map Amendment and Variations - 1212 and 1250 South Butterfield Road

Financial Impact:

Attachments:

1. Petitioner's Packet
2. Findings of Fact - Map Amendment
3. Findings of Fact - Variation 1
4. Findings of Fact - Variation 2
5. PZC Minutes - 2-4-2026 - DRAFT

Background:

Michi Mho of Neri Architects, on behalf of the property owners Imran Ahmad and Nargis Jahan, is requesting approval of a map amendment and several variations to facilitate the development of a commercial strip and car wash on two parcels. Following approval of the Preliminary and Final Plat of Subdivision, the proposed construction of a commercial strip at 1250 South Butterfield Road requires a map amendment to allow the proposed uses. In addition, the development requires variations related to access connections to the public right-of-way and lighting. The car wash development at 1212 South Butterfield Road requires a lighting variation as well.

Prior to acquisition by the current owners, both properties contained nonconforming single-family residential uses within the M-1, General Manufacturing zoning district. The proposed development would replace these nonconforming uses with commercial uses that are consistent with and conforming to the respective zoning districts.

Map Amendment:

The subject property located at 1250 South Butterfield Road is currently zoned M-1, General Manufacturing. Properties to the south include an animal hospital, self-storage facilities, and an existing commercial strip consisting of a variety of commercial uses, including personal service

establishments and restaurants. Approval of the requested map amendment to rezone the property to C-2, General Commercial, would not constitute spot zoning, as it would extend the existing commercial corridor to the north and be compatible with the surrounding land uses.

The proposed commercial units are designed to accommodate general retail or service uses, with a drive-through restaurant proposed on the unit closest to the public right-of-way.

The property at 1212 S. Butterfield Road would remain M-1, General Manufacturing, where car wash uses are permitted by right.

Variation 1:

Section 20.32.040(A)(4) of the Zoning Ordinance requires that all buildings provide a public entrance from the sidewalk along the primary street frontage in the C-2, General Commercial, zoning district. While no public sidewalks currently exist along this segment of Butterfield Road, one of the intents of this regulation is to ensure that building entrances and façades are oriented toward the public right-of-way. Due to the rectangular shape and limited size of the subject property, strict compliance with this requirement would limit the functional use of the site. As a result, the proposed building is oriented toward the side of the lot to allow for more efficient land use while maintaining access and circulation.

Variation 2:

Section 20.52.040(A)(1) of the Zoning Ordinance requires that exterior lighting levels not exceed zero footcandles at any property line or public right-of-way. The purpose of this standard is to limit excessive lighting and prevent light spillover onto adjacent properties. It should be noted that this portion of Butterfield Road is currently not illuminated by Lake County. Street lighting is not present until Townline Road, approximately one-third of a mile to the south. The proposed lighting is designed to provide adequate site illumination for safe vehicular movement while remaining compatible with the surrounding area.

Comprehensive Plan:

The following policies from the Economic Development chapter of the Comprehensive Plan are generally applicable to the proposed project:

- Promote the appropriate mix and intensity of non-residential uses in the various districts throughout the Village.
- Promote the addition of new office and retail development in the Village, particularly in the commercial corridors and the downtown area, where it is supported by the market.
- Support and encourage an appropriate mix of retail, office, service commercial, and industrial activities to be organized by use and concentrated within or near areas of complementary uses.
- Encourage cross-access and shared parking areas between non-residential uses.
- Encourage the maximization of retail sales tax generating uses in all commercial corridors and centers.

Planning and Zoning Commission:

The Planning and Zoning Commission held a public hearing on February 4, 2026, to review the requests. At the meeting, the Commission determined that there were hardships for the variances and that the rezoning of the property would not change the appearance or intent of the area. The Commission voted in favor of all the requests with the Findings of Fact attached to this report.

Analysis:

The Village supports new development that is consistent with surrounding land uses and zoning objectives. In this case, staff does not object to the proposed uses, as the development would expand the existing commercial corridor and bring the subject properties into conformance with their respective zoning districts. No alternative development proposals for the properties have been submitted to the Village at this time.

The Community Development Department is currently evaluating potential updates to the Zoning Ordinance to better align with contemporary development practices. Through this review, staff has identified certain standards, including lighting regulations, that may be outdated. Industry practices for lighting design and measurement have evolved, and limited light spill beyond property lines may be appropriate in certain contexts to improve visibility and safety.

Given that this segment of Butterfield Road lacks street lighting and relies primarily on vehicle headlights for illumination, staff finds that allowing limited lighting at site entrances and exits may enhance safety for both site users and the surrounding area.

Recommendation:

Motion to authorize staff to prepare an ordinance approving a map amendment and a variation from Section 20.32.040(A)(4) and Section 20.52.040(A)(1) of the Zoning Ordinance for the property located at 1250 South Butterfield Road.

PROPERTY INFORMATION

Address 1212 Butterfield Rd
Property Index Numbers (PIN) 11-32-300-089-0000
11-32-300-082-0000
Size of Property 30,202 s.f. (sq. ft. /acres)
Size of Building Space _____ (sq. ft.)
Size of Space Utilized _____

ZONING

Current Zoning M-1
Proposed Zoning C-2
Current Use single family residence
Proposed Use commercial/retail

PETITIONER INFORMATION

Business/Org. Name Neri Architects
Name Michi Mho
Title Director of Architecture
Address 222 S Prospect Ave, 3rd Floor
City, State, Zip Park Ridge, IL 60068
Phone 847-825-9400
Email mmho@neriarchitects.com

PROPERTY OWNER INFORMATION

Imran Ahmad and Nargis
Business/Org. Name Jahan Trust
Name Imran Ahmad, Nargis Jahan
Title Owner
Address 1845 Haven Lane
City, State, Zip Green Oaks, IL 60048
Phone 847-371-1847
Email mr.adam.ahmad@gmail.com

Petitioner Status: Owner Lessee Contract Purchaser

SECTION OF ZONING ORDINANCE: _____

DESCRIPTION OF PROPOSED MAP AMENDMENT: *(Attach sheet if additional space is needed)*

Change of existing zoning from General Manufacturing (M-1) to General Commercial (C-2) to allow for
commercial/retail/restaurant uses. Request is in conjunction with a plat of resubdivision which will result in a
property lot size of 30,202 s.f.

The current use is a single family residence which is inconsistent with the current M-1 zoning. The owner
therefore requests a map amendment to reclassify a portion of the property to C-2, which is consistent with
the adjacent parcels to the south.

October 4, 2025

Village of Mundelein
Planning Department
300 Plaza Circle
Mundelein, IL 60060

Re: Address: **1212 S BUTTERFIELD RD**
Review Type: **Zoning Map Amendment application**

Below are responses to each of the following criteria used in evaluating the zoning map amendment for the property referenced above

- a. The existing use and zoning of nearby property.
The most recent use of the property was single family (2 residences) on lots zoned M-1. The property to the south is zoned C-2 and those to the west are zoned M-1
- b. The extent to which property values of the subject property are diminished by the existing zoning.
The property would yield a higher return with uses allowed in the C-2 district
- c. The extent to which the proposed amendment promotes the public health, safety, and welfare of the Village.
The current use of the property as a single family home doesn't promote any public health, or safety, benefit to the Village. The property would yield higher taxes in the form of sales tax as a commercial property.
- d. The relative gain to the public, as compared to the hardship imposed upon the applicant.
Rezoning the property to C-2 would extend the current commercial uses along Butterfield to the north and would provide additional tax revenue.
- e. The suitability of the property for the purposes for which it is presently zoned, i.e., the feasibility of developing the property in question for one (1) or more uses permitted under the existing zoning classification.
A C-2 zoning would be a natural extension of the already existing commercial district along the west side of Butterfield Rd
- f. The length of time that a property in question has been vacant, as presently zoned, considered in the context of development in the area where the property is located.
Property was not vacant
- g. The evidence, or lack of evidence, of community need for the use proposed by the applicant.
Rezoning the property to C-2 would extend the current commercial uses along Butterfield to the north and would provide additional tax revenue.

- h. The consistency of the proposed amendment with the Comprehensive Plan.
The comprehensive plan designates this site as Office/Business Park in which most uses allowed are allowed under the C-2 zoning. The C-2 zoning however, would provide for additional flexibility in proposed uses.
- i. That the proposed amendment will benefit the residents of the Village as a whole, and not just the applicant, property owner(s), neighbors of any property under consideration, or other special interest groups, and the extent to which the proposed use would be in the public interest and would not serve solely on the interest of the applicant.
Rezoning the property to C-2 would expand potential retail uses, including restaurant(s) which would be a benefit to the office and business uses in the immediate area.
- j. The extent to which the proposed amendment creates nonconformities.
The proposed amendment will not create any nonconformities
- k. The trend of development, if any, in the general area of the property in question; and
Recent trends are away from large office developments and, considering that the property immediately to the south is zoned C-2, rezoning this property would be a natural extension of the commercial/retail zoning and would be in-line with current trends away from strictly office uses.
- l. Whether adequate public facilities are available including, but not limited to, schools, parks, police and fire protection, roads, sanitary sewers, storm sewers, and water lines, or are reasonably capable of being provided prior to the development of the uses, which would be permitted on the subject property if the amendment were adopted.
The current roads, sanitary sewers and water lines are adequate to support the development. Additional storm water management/mitigation measures are being taken as part of the proposed design of the development.

Sincerely,



Michi Mho

Director of Architecture
Neri Architects

mmho@neriarchitects.com/03/06/2025

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

PROPERTY INFORMATION

Address 1250 Butterfield Rd
Property Index Numbers (PIN) 11-32-300-089-0000
11-32-300-082-0000
Size of Property 30,202 (sq. ft./acres)
Size of Building Space 6,690 (sq. ft.)
Size of Space Utilized _____

ZONING

Current Zoning M-1
Proposed Zoning C-2
Current Use single family residence
Proposed Use commercial/retail

PETITIONER INFORMATION

Business/Org. Name Neri Architects
Name Michi Mho
Title Director of Architecture
Address 222 S Prospect Ave, 3rd Floor
City, State, Zip Park Ridge, IL 60068
Phone 847-825-9400
Email mmho@neriarchitects.com

PROPERTY OWNER INFORMATION

Imran Ahmed and Nargia Jahan
Business/Org. Name Trust
Name Adam Ahmad
Title _____
Address 5420 Belmont Ct.
City, State, Zip Libertyville, IL 60048
Phone 847-371-1847
Email mr.adam.ahmad@gmail.com

Petitioner Status: Owner Lessee Contract Purchaser

SECTION OF ZONING ORDINANCE: 20.32.040 (A)(4)

DESCRIPTION OF PROPOSED ZONING VARIATION *(Attach additional pages, if necessary)*

Exception to above referenced ordinance section:

all buildings shall have a public entrance from the sidewalk along the primary street frontage

Variance is necessary in order to maximize the use of the site as proposed.

October 1, 2025

Village of Mundelein
Planning Department
300 Plaza Circle
Mundelein, IL 60060

Re: Address: **1250 S BUTTERFIELD RD**
Review Type: **Variance application**

Below are responses to each of the following criteria used in evaluating the variance to section 20.32.040 (A)(4) (***all buildings shall have a public entrance from the sidewalk along the primary street frontage***) for the property referenced above

- a. The strict application of the terms of this Ordinance will result in undue hardship.
No public sidewalk exists along this portion of Butterfield Rd.
- b. The plight of the owner is due to unique circumstances.
This section of Butterfield road is primarily vehicular based where there is no sidewalk. The site has been designed to maximize vehicular use and parking.
- c. The variation, if granted, will not alter the essential character of the locality
The design of the site is comparable to properties in the area which includes drive access along the front of the building and parking along the side.

Below are responses to each of the following evidentiary issues, used in evaluating the variance to section 20.32.040 (A)(4) (***all buildings shall have a public entrance from the sidewalk along the primary street frontage***) for the property referenced above

- a. The particular physical surroundings, shape, or topographical conditions of the specific property impose a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of regulations were to be carried out.
There is no public sidewalk along this section of Butterfield Rd. and therefore is primarily vehicular based (there is no sidewalk). The site has been designed to maximize vehicular use and parking. The orientation of the building and associated parking has been designed to maximize the use of the lot.
- b. The alleged difficulty or hardship has not been created by any person presently having a proprietary interest in the property in question.
No public sidewalk exists along this portion of Butterfield Rd from Townline Rd to the train tracks

- c. The granting of the variation will not be detrimental to the public welfare in the neighborhood in which the property is located.
The granting of the variance will not be detrimental to the welfare of the neighborhood, as the same condition exists elsewhere along the street
- d. The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, endanger the public safety, or impair property values within the neighborhood.
The granting of the requested variation has no effect on this criterion.
- e. The proposed variation is consistent with the spirit and intent of this Ordinance and Village land use policies.
This area is primarily vehicular in nature (vs pedestrian) and therefore maintaining that character is appropriate
- f. The value of the property in question will be substantially reduced if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located.
The site plan has been designed to maximize and take advantage of the vehicular nature of the area for the benefit of the tenant(s) and end-users and is therefore expected to attract tenants accordingly.

Sincerely,



Michi Mho
Director of Architecture
Neri Architects
mmho@neriarchitects.com//03/06/2025

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

PROPERTY INFORMATION

Address 1212 Butterfield Rd
Property Index Numbers (PIN) 11-32-300-089-0000
11-32-300-082-0000
Size of Property 41,479 (sq. ft./acres)
Size of Building Space 4,311 (sq. ft.)
Size of Space Utilized _____

ZONING

Current Zoning M-1
Proposed Zoning M-1 (no change)
Current Use single family residence
Proposed Use commercial/retail

PETITIONER INFORMATION

Business/Org. Name Neri Architects
Name Michi Mho
Title Director of Architecture
Address 222 S Prospect Ave, 3rd Floor
City, State, Zip Park Ridge, IL 60068
Phone 847-825-9400
Email mmho@neriarchitects.com

PROPERTY OWNER INFORMATION

Imran Ahmed and Nargia Jahan
Business/Org. Name Trust
Name Adam Ahmad
Title _____
Address 5420 Belmont Ct.
City, State, Zip Libertyville, IL 60048
Phone 847-371-1847
Email mr.adam.ahmad@gmail.com

Petitioner Status: Owner Lessee Contract Purchaser

SECTION OF ZONING ORDINANCE: 20.52.040 – Exterior lighting. (A)1

DESCRIPTION OF PROPOSED ZONING VARIATION *(Attach additional pages, if necessary)*

Exception to above referenced ordinance section:

to allow light level(s) greater than zero (0) footcandles at the property line at the entrance location(s) to allow for
safe movement of vehicles entering and leaving the site.

October 4, 2025

Village of Mundelein
Planning Department
300 Plaza Circle
Mundelein, IL 60060

Re: Address: **1212 S BUTTERFIELD RD**
Review Type: **Variance application**

Below are responses to each of the following criteria used in evaluating the variance to section 20.52.040 – Exterior lighting. (A)1 (***The light level shall be no greater than zero (0) footcandles at any property line or public right-of-way line.***) for the property referenced above

- a. The strict application of the terms of this Ordinance will result in undue hardship.
In order to provide safe vehicular movement entering and leaving the site
- b. The plight of the owner is due to unique circumstances.
Entrances to the site are required and therefore safe light levels are required
- c. The variation, if granted, will not alter the essential character of the locality
Light levels elsewhere along the property line(s) will remain at zero, similar to other properties in the vicinity as well as the increase in light levels at entrance drives will be similar to other commercial properties.

Below are responses to each of the following evidentiary issues, used in evaluating the variance to section 20.52.040 – Exterior lighting. (A)1 (***The light level shall be no greater than zero (0) footcandles at any property line or public right-of-way line.***) for the property referenced above

- a. The particular physical surroundings, shape, or topographical conditions of the specific property impose a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of regulations were to be carried out.
Entrances to the site are required and therefore safe light levels are required
- b. The alleged difficulty or hardship has not been created by any person presently having a proprietary interest in the property in question.
Entrances to the site are required and therefore safe light levels are required
- c. The granting of the variation will not be detrimental to the public welfare in the neighborhood in which the property is located.
To the contrary - the increase in light levels is minor and is requested in order to provide safe vehicular movement entering and leaving the site
- d. The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, endanger the public safety, or impair property values within the neighborhood.

The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, endanger the public safety, or impair property values within the neighborhood.

- e. The proposed variation is consistent with the spirit and intent of this Ordinance and Village land use policies.

It is our understanding that the Village is in support of slightly higher levels near the entrances of commercial properties in order to provide safe vehicular movements.

- f. The value of the property in question will be substantially reduced if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located.

Owners of commercial properties will expect safe vehicular access for their patrons and tenants and will not be able to lease spaces if access drives are not visible or clearly lit

Sincerely,



Michi Mho

Director of Architecture

Neri Architects

mmho@neriarchitects.com//03/06/2025

ARCHITECT

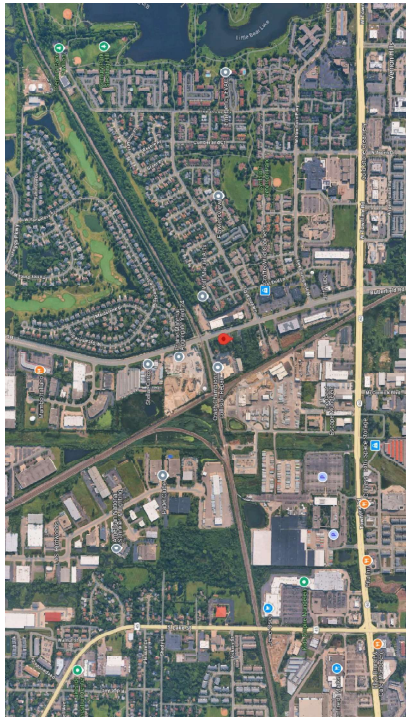
NERI ARCHITECTS

222 S. PROSPECT AVE, 3RD FLOOR
P. 847 825-5100
F. 847 825-5101
LICENSE # 091-12341
EXPIRATION DATE: NOVEMBER, 2026

DEVELOPER INFO

Mr. Anwarul Karim
Iman Ahmad and Nagla Jehan Trust
5420 Belmont Ct, Libertyville, IL 60048
ibuildingmaterial@gmail.com
847-377-1747

LOCATION MAP



CONSULTANTS INFO:

STRUCTURAL ENGINEER
BUILDING MATERIALS ENGINEERING LLC
111 N WABASH, Suite 1040454
Chicago, IL 60602
Phone: 708-688-1380
Email: desai@buildingmaterial.com

MEP ENGINEER

Dr. Al Gonzalez P.E.
1000 S. Wabash, Suite 1040454
Chicago, IL 60602
Phone: 708-688-1380
Email: desai@buildingmaterial.com

STRUCTURAL ENGINEER

BUILDING MATERIALS ENGINEERING LLC
111 N WABASH, Suite 1040454
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Chicago, IL 60602
Phone: 708-688-1380
Email: desai@buildingmaterial.com

ARCHITECTS

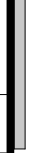
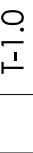
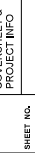
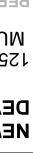
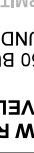
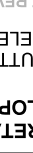
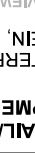
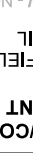
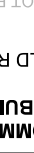
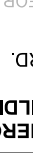
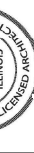
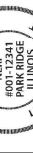
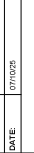
222 S PROSPECT AVE
3RD FLOOR
PARK RIDGE, IL 60068
TEL: 847 825 5100

PROJECT #

2215

DATE:

07/19/2025



ZONING DATA

ADDRESS: 1250 BUTTERFIELD RD, MUNDELEIN, IL

PN#: 11-32-300-080-0000 and 11-32-300-082-0000

ACREAGE: TOTAL = 0.693 AC.

ZONING: CURRENT = M-1 (General Manufacturing)
PROPOSED = C-2 (General Commercial)

PROJECT DATA

SCOPE OF WORK: NEW COMMERCIAL BUILDING

APPLICABLE CODES:

- 2018 INTERNATIONAL BUILDING CODE, w/ LOCAL AMENDMENTS
- 2018 STATE OF ILLINOIS ACCESSIBILITY CODE
- 2018 NATIONAL FIRE PREVENTION CODE
- 2018 INTERNATIONAL FIRE PREVENTION CODE, w/ LOCAL AMENDMENTS
- 2017 NATIONAL ELECTRIC CODE, w/ LOCAL AMENDMENTS
- 2018 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL PLUMBING CODE
- 2018 INTERNATIONAL PROPERTY MAINTENANCE CODE, w/ LOCAL AMENDMENTS

CLIMATE ZONE: 5A

EXISTING USE: COMMERCIAL BUILDING

BUILDING DESCRIPTION

USE GROUP: OFFICE / RESTAURANT / RETAIL

BUILDING HEIGHT: ONE STORY (25'-1 1/2')

CONSTRUCTION TYPE: I-II-B (non-combustible) / SPRINKLERED fire alarm

PROPOSED BUILDING AREA: 6,680 SQ. FT.

ACCESSIBILITY COMPLIANCE

THE PREPAREDNESS OF THIS DOCUMENT UNDER THE ARCHITECT'S SUPERVISION, INCLUDING THE DESIGN AND CONSTRUCTION OF THE PROJECT, IS THE ARCHITECT'S RESPONSIBILITY. THE ARCHITECT'S LIABILITY IS LIMITED TO THE ARCHITECT'S PROFESSIONAL OBLIGATIONS. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF THE PROJECT IF THE ARCHITECT IS NOT THE ARCHITECT OF RECORD. THE ARCHITECT'S LIABILITY IS LIMITED TO THE ARCHITECT'S PROFESSIONAL OBLIGATIONS. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF THE PROJECT IF THE ARCHITECT IS NOT THE ARCHITECT OF RECORD.

STATE OF ILLINOIS REGISTRATION NO. 091-12341

DATE: 07/19/2025

SCALE: AS NOTED

APPROVED BY: [Signature]

ISSUED FOR REVIEW: 12/1/25

REVISIONS:

REVISIONS:

REVISIONS:

REVISIONS:

REVISIONS:

REVISIONS:

REVISIONS:

REVISIONS:

PROJECT NOTES, CODES, STANDARDS, AND PROCEDURES

- ALL CONSTRUCTION SHALL COMPLY WITH STATE OF ILLINOIS BUILDING CODES, RELEASE ALL AMERICAN FEDERAL AGENCY REQUIREMENTS, AND ALL OF THE RULES OF PRACTICE OF THE ARCHITECTURE.
- BEFORE DOING ANY CONSTRUCTION, CONTACT LOCAL ELECTRICAL COMPANY AND ASK FOR PROPOSED WORK, FOR ARCHITECTURAL DRAWINGS AND OBTAIN APPROVAL ON BEING MOVED AND/OR UPGRADED.
- BEFORE DOING ANY CONSTRUCTION, CONTACT UTILITY, TO DETERMINE THE LOCATION OF ANY UNDERGROUND UTILITIES WHICH MAY AFFECT PROPOSED SITE WORK. 8-11-B FREE NUMBER 1-800-866-8024.
- ALL CRAWLER EQUIPMENT SHALL BE PROVIDED BY ICS WASH SOLUTIONS AND COORDINATED WITH ARCHITECT'S PROJECT.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE SPECIFICATIONS AND CODES AND SHALL BE IN EFFECT AS OF THE LATEST DATE OF THE REVISED IBC. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE ARCHITECT'S PROJECT.
- ALL WORK SHALL COMPLY WITH THE REQUIREMENTS, POLICIES, AND PROCEDURES OF THE OWNER.
- DRAWINGS AND SPECIFICATIONS ARE TO BE ISSUED TO THE SUBCONTRACTORS IN ACCORDANCE WITH THE FULL EXTENT OF WORK BE SHOWN IN COORDINATION WITH THE ARCHITECT'S PROJECT.
- ALL WORK SHALL BE OF THE HIGHEST QUALITY FOLLOWING THE CONTRACT DOCUMENTS, PROJECT SPECIFICATIONS, MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS, AND THE BEST ACCEPTED TRADE PRACTICES AND STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE WORK. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE DETAIL.
- PROVIDE ALL SHOP DRAWINGS, CATALOG CUTS, SAMPLES, ETC. FOR THE NECESSARY WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SUBMITTAL OF THE WORK.
- EACH CONTRACTOR SHALL KEEP ACCURATE RECORDS OF ALL WORK WHICH OFFERS TO BE PERFORMED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SUBMITTAL OF THE WORK. SPECIFICATIONS CAN BE KEPT AND PROVIDED TO THE OWNER AT PROJECT CLOSEOUT.
- EACH CONTRACTOR SHALL VISIT THE SITE AND BE KNOWLEDGEABLE OF CONDITIONS THERE OF. FAILURE TO VISIT THE SITE AND DETERMINE EXISTING CONDITIONS OR PERFORMANCE BY OTHER TRADES WILL NOT BE CONSIDERED A BASIS FOR GRANTING OF ANY CLAIMS OR DAMAGES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE WORK. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE DETAIL.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING SITE ELEMENTS FROM DAMAGE DUE TO THE CONSTRUCTION OPERATIONS, AND REPAIR OR REPLACE ANY ELEMENTS THAT REQUIRE REPAIR OR REPLACEMENT BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING SITE ELEMENTS FROM DAMAGE DUE TO THE CONSTRUCTION OPERATIONS, AND REPAIR OR REPLACE ANY ELEMENTS THAT REQUIRE REPAIR OR REPLACEMENT BEFORE PROCEEDING WITH THE WORK.
- ANY UTILITIES SHALL BE PROTECTED BY THE CONTRACTORS FOR COMPLETION OF THEIR WORK. SUCH AS ELECTRICAL, GAS, WATER, AND OTHER UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE WORK. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE DETAIL.

SHEET INDEX

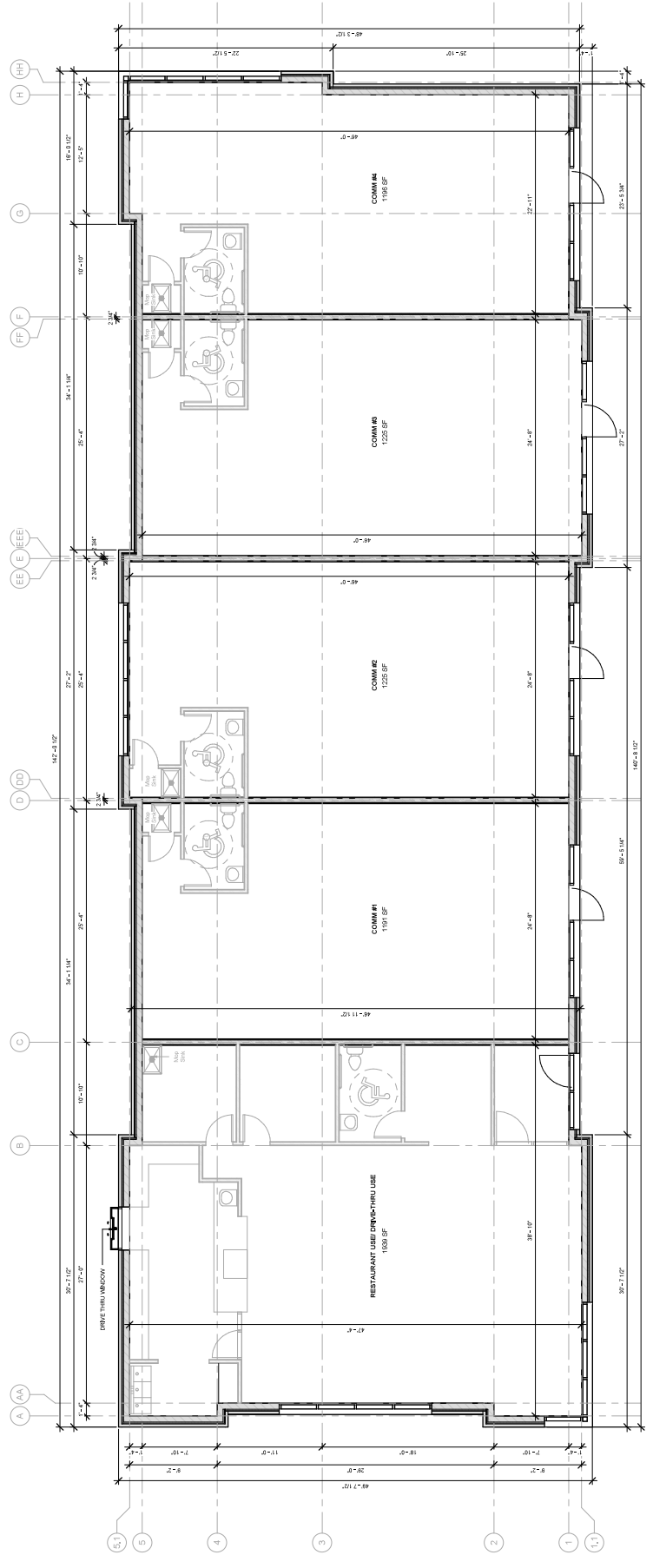
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REFUSE ENCLOSURE	A-6.7
REFUSE ENCLOSURE	A-6.8
REFUSE ENCLOSURE	A-6.9
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PROJECT # 2421
 DATE: 08/06/24



NEW RETAIL/COMMERCIAL
 DEVELOPMENT BUILDING
 1250 BUTTERFIELD RD.
 MUNDELEIN, IL
 ZONING REVIEW - NOT FOR CONSTRUCTION

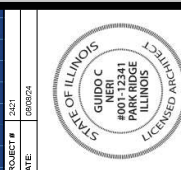
REVISIONS	DATE	DESCRIPTION
1	07/10/25	ZONING REVIEW
2		RAM
3		APPROVED BY ARCH/TEAM
4		SCALE AS NOTED
DESCRIPTION: FLOOR PLAN		
SHEET NO.		A2.1



FIRST FLOOR PLAN
 SCALE: 3/8" = 1'-0"

ARCHITECTS
NERI

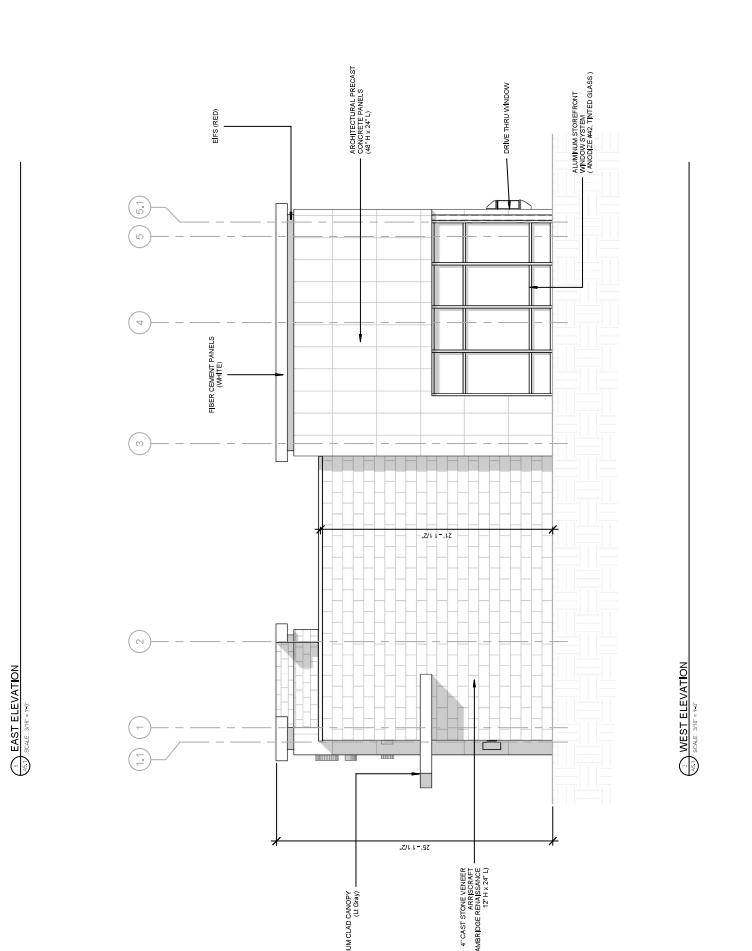
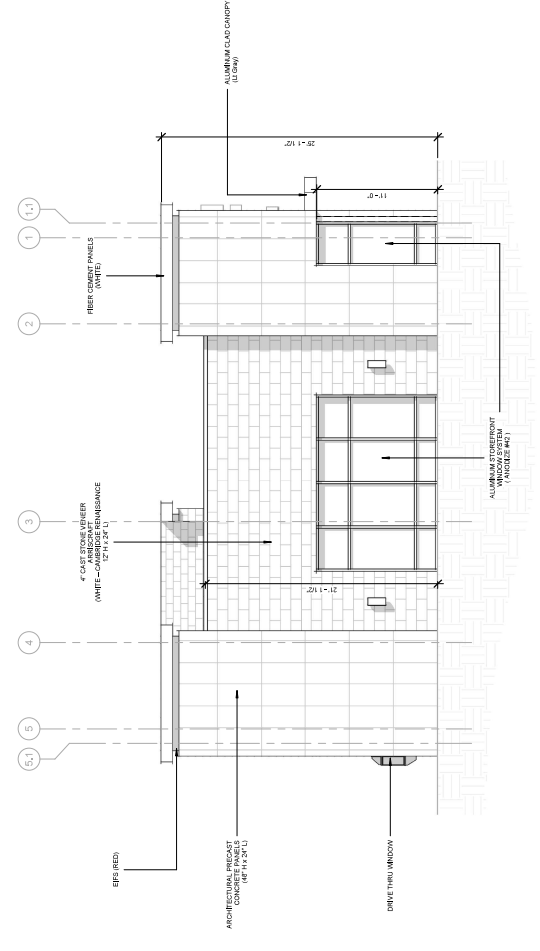
4400 N NORTHWEST HWY
CHICAGO, IL 60631
TEL: 847.825.9400



NEW RETAIL/COMMERCIAL
DEVELOPMENT BUILDING
1250 BUTTERFIELD RD.
MUNDELEIN, IL

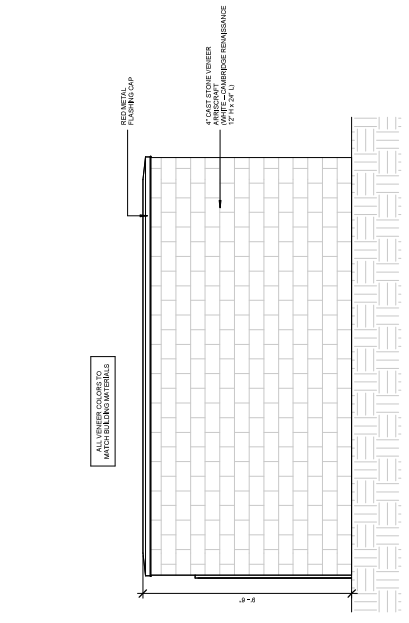
ZONING REVIEW - NOT FOR CONSTRUCTION

DATE	08/06/24
PROJECT #	2421
REVISIONS	
APPROVED BY	CCM/MM
SCALE	AS NOTED
DESCRIPTION	MAIN ELEVATIONS
SHEET NO.	A5.1

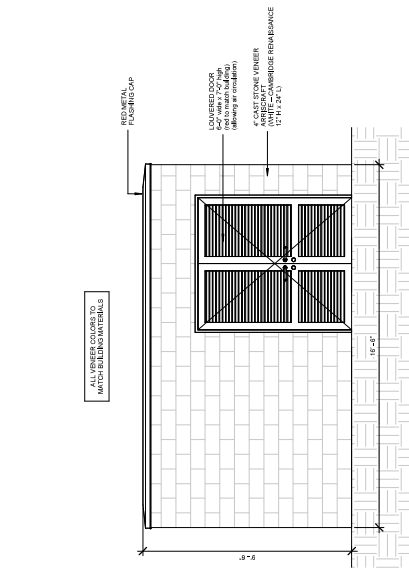




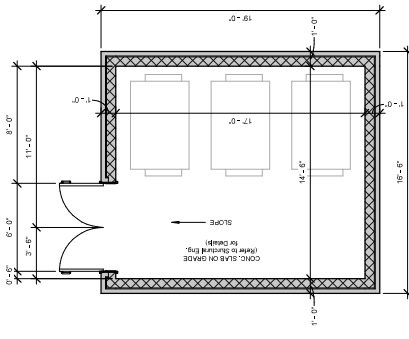
DATE	08/06/24
PROJECT #	24021
REVISIONS	
APPROVED BY	RAM
SCALE	AS SHOWN
DESCRIPTION	MONUMENT SIGN, REFUSE ENCLOSURE
SHEET NO.	A7.0



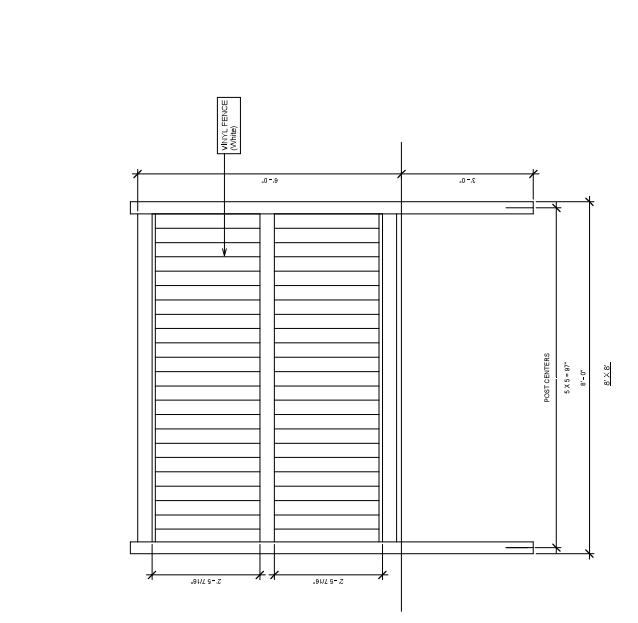
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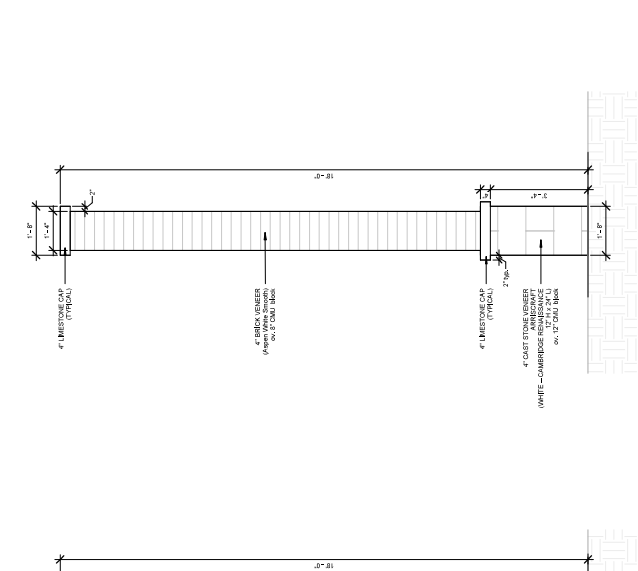
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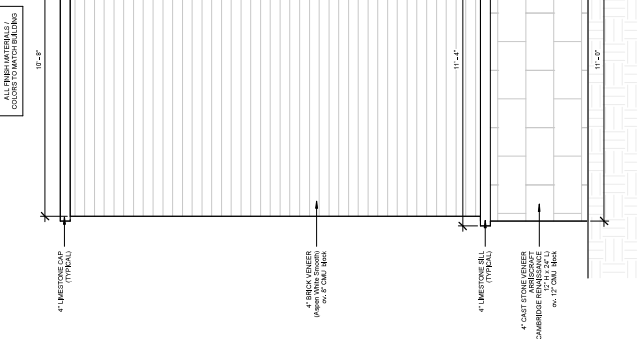
REFUSE PLAN
 SCALE: 1/8" = 1'-0"



PRIVACY FENCE DETAIL
 SCALE: 3/4" = 1'-0"



MULTITENANT MONUMENT SIGN - SIDE
 SCALE: 1/8" = 1'-0"



MULTITENANT MONUMENT SIGN - FACE
 SCALE: 1/8" = 1'-0"



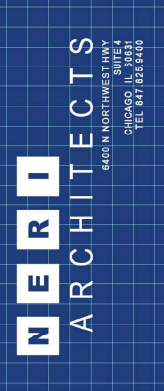
2515

07.10.25

Z-13

1 VIEW LOOKING SOUTHEAST (COMM. BLDG)

Z-13 SCALE: 1/12" = 1'-0"



8400 N. NORTHWEST HWY
CHICAGO, IL 60648
TEL: 847.826.8400

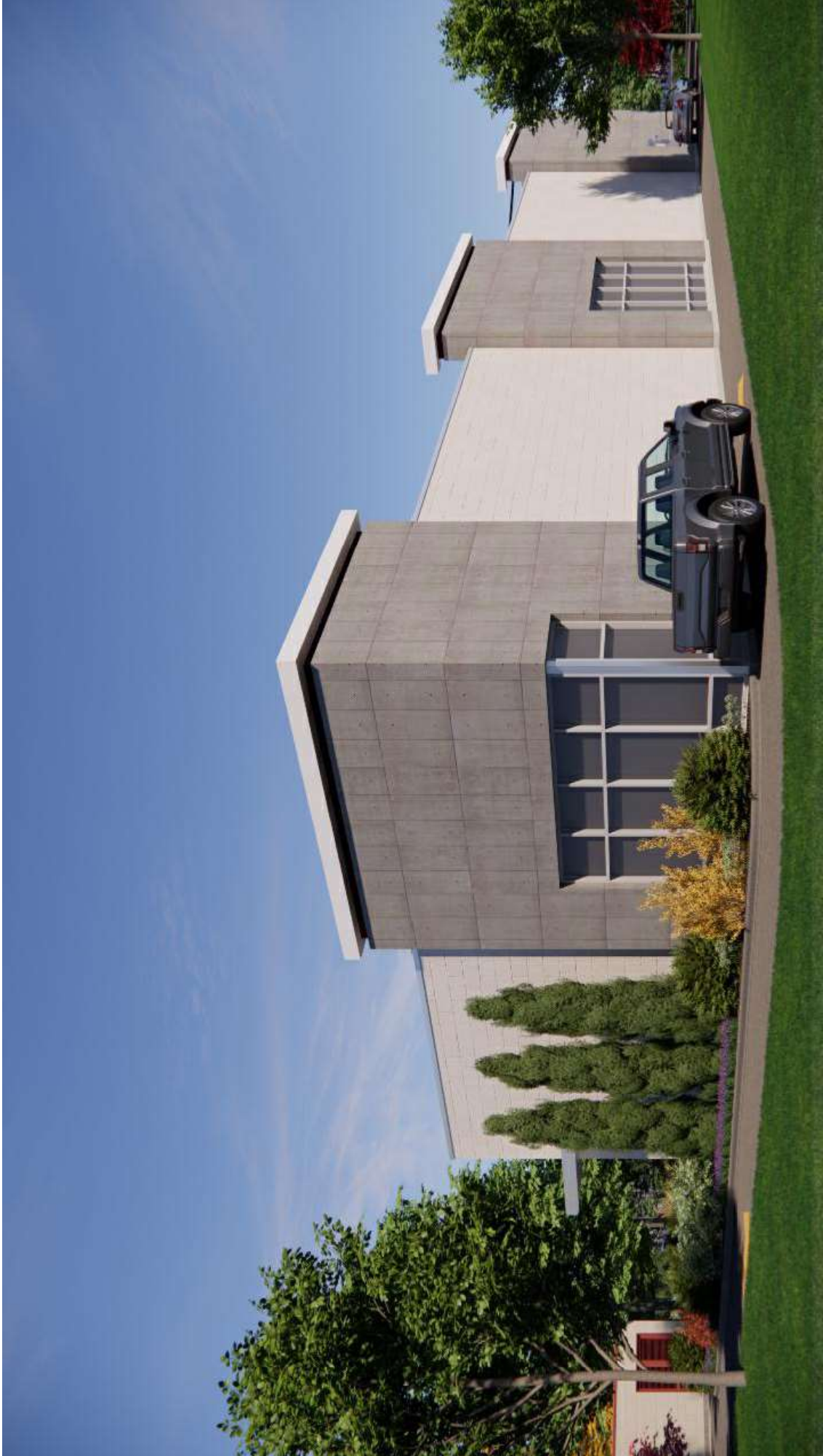


1 VIEW LOOKING SOUTHWEST (COMM. BLDG)

Z-14 SCALE: 1/12" = 1'-0"

2515
07.10.25
Z-14

N E R I
ARCHITECTS
8400 N. NORTHWEST HWY
CHICAGO, IL, SUITE 4
TEL: 847.826.8400



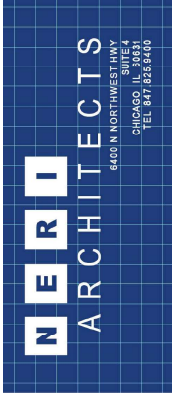
2515

07.10.25

Z-15

1 VIEW LOOKING NORTHWEST (COMM. BLDG)

SCALE: 1/12" = 1'-0"



NERI
ARCHITECTS
8400 N. NORTHWEST HWY
SUITE 4
CHICAGO, IL 60638
TEL: 847.838.8400

ARCHITECT

NERI ARCHITECTS

222 S. PROSPECT AVE, 3RD FLOOR
 CHICAGO, IL 60608
 P 847.825.5100
 F 847.825.5100
 LICENSE # 01012341
 EXPIRATION DATE: NOVEMBER, 2026

DEVELOPER INFO

Mr. Inam Ahmad and Nargis Jahan Trust
 Inam Ahmad and Nargis Jahan Trust
 5420 Belmont Ct, Libertyville, IL 60048
 inam.ahmad@att.net
 nahn@dotceangroup.com

LOCATION MAP



CONSULTANTS INFO:

CIVIL ENGINEER
 DOTCEANGROUP INC. 6554UP, LTD.
 6010 BUSSE HWY, BASK RIDGE, IL 60068
 Phone: 847-598-6400
 Email: design@dotceangroup.com

MEP ENGINEER
 Dr. Al Gonzalez P.E.
 424 Jefferson Street
 VP System Sales
 National Carwash Solutions
 d. 602.267.1467 • m. 602.273.7760
 nahn@dotceangroup.com

STRUCTURAL ENGINEER
 DOTCEANGROUP INC. 6554UP, LTD.
 111 N WABASH, Suite 1004B426
 Chicago, IL 60602
 Phone: 708-668-1380
 Email: design@dotceangroup.com

EQUIPMENT DESIGNER
 National Carwash SOLUTIONS
 Park Drive Pro
 VP System Sales
 National Carwash Solutions
 d. 602.267.1467 • m. 602.273.7760
 nahn@dotceangroup.com

ARCHITECT

NERI ARCHITECTS

222 S. PROSPECT AVE, 3RD FLOOR
 CHICAGO, IL 60608
 P 847.825.5100
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Mr. Inam Ahmad and Nargis Jahan Trust
 Inam Ahmad and Nargis Jahan Trust
 5420 Belmont Ct, Libertyville, IL 60048
 inam.ahmad@att.net
 nahn@dotceangroup.com

LOCATION MAP



ZONING DATA

ADDRESS: 1212 BUTTERFIELD RD, MUNDELEIN, IL
 PIN#: 11432-30048-0000
 ACREAGE: TOTAL ± 0.992 AC.
 ZONING: M-1 (General Manufacturing)

PROJECT DATA

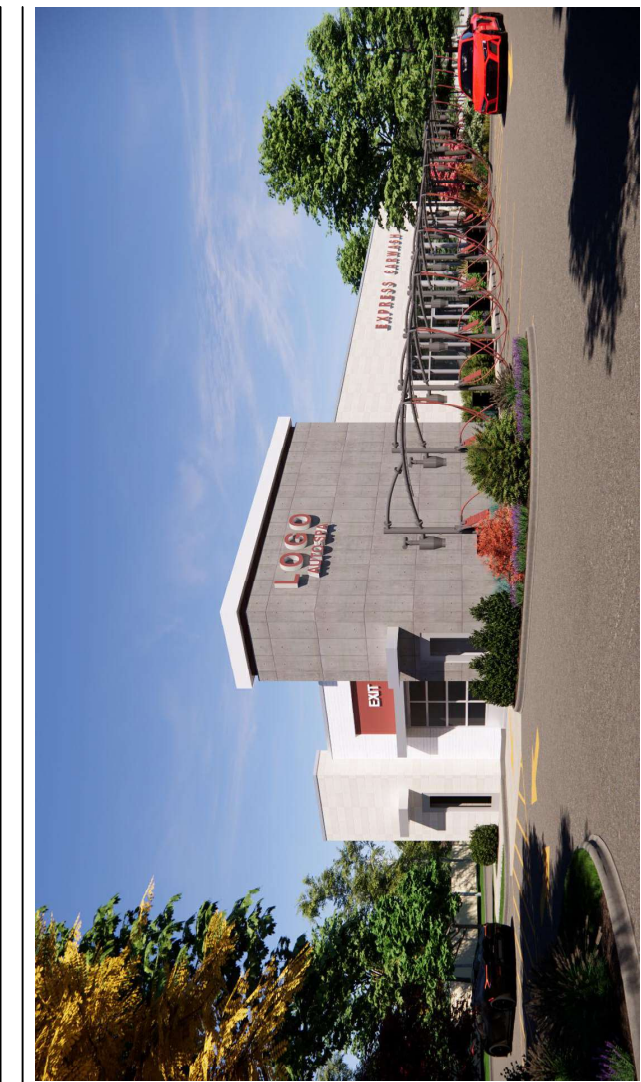
SCOPE OF WORK: NEW COMMERCIAL BUILDING
 (Building codes have been adopted by the Village of Mundelein)
 APPLICABLE CODES:
 • 2018 INTERNATIONAL BUILDING CODE, w/ LOCAL AMENDMENTS*
 • 2021 STATE OF ILLINOIS ACCESSIBILITY CODE
 • 2021 INTERNATIONAL ENERGY CONSERVATION CODE
 • 2018 INTERNATIONAL FIRE PREVENTION CODE, w/ LOCAL AMENDMENTS
 • 2018 INTERNATIONAL MECHANICAL CODE, w/ LOCAL AMENDMENTS
 • 2014 STATE OF ILLINOIS PLUMBING CODE
 • 2018 INTERNATIONAL MECHANICAL CODE, w/ LOCAL AMENDMENTS
 * w/ LOCAL AMENDMENTS

BUILDING DESCRIPTION

USE GROUP: COMMERCIAL CARWASH
 BUILDING HEIGHT: ONE STORY (24'-2")
 CONSTRUCTION: 1st (non-combustible) / SPRINKLERED
 (fire alarm)
 PROPOSED BUILDING AREA: 4311 SQ. FT.

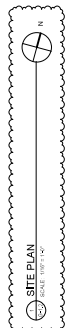
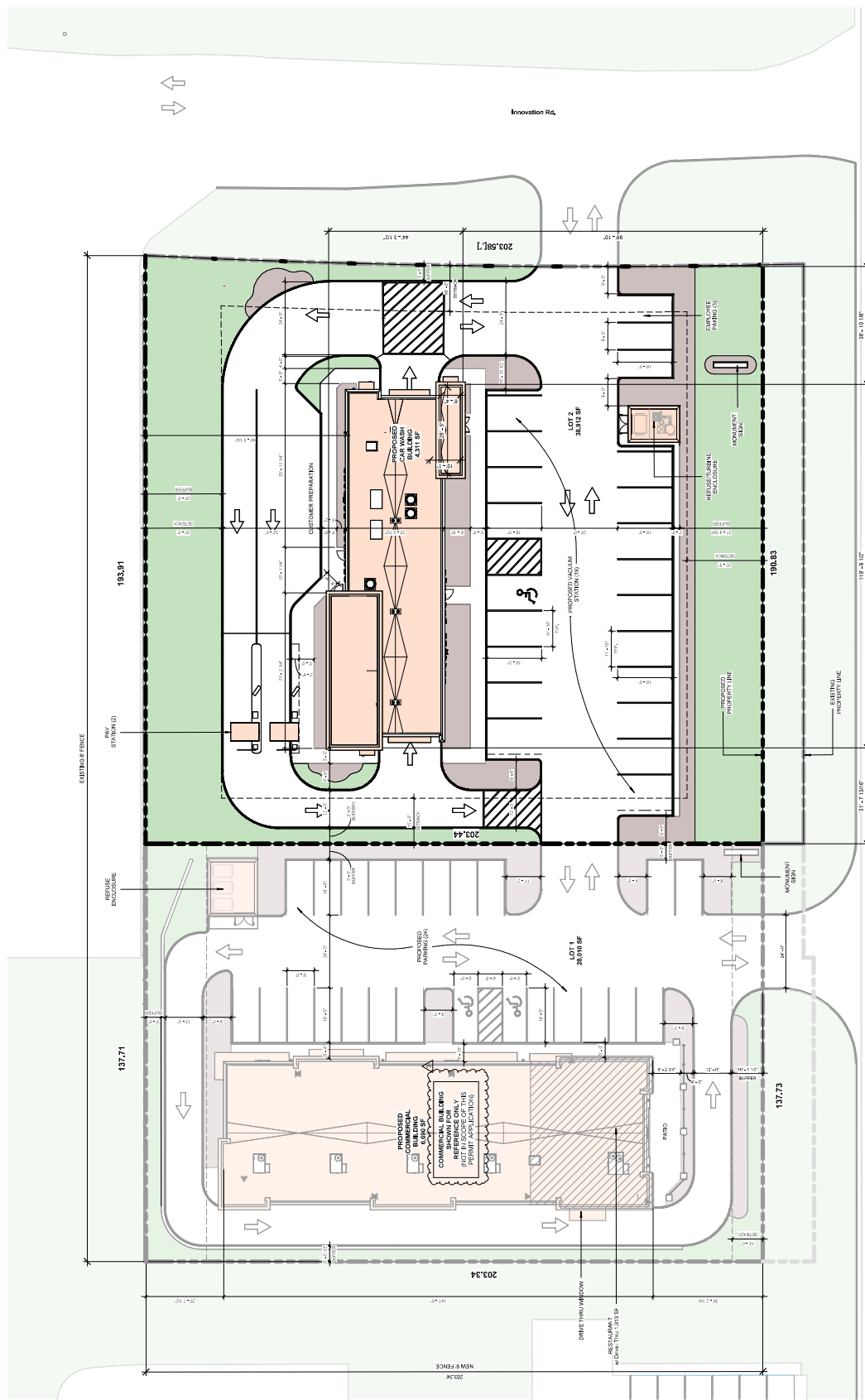
ACCESSIBILITY COMPLIANCE

STATEMENT OF COMPLIANCE
 I, the undersigned, being duly licensed and duly qualified, have prepared the attached plans and specifications and have read and approved the same. I am a duly licensed professional engineer in the State of Illinois. My license number is 01012341. I am a duly licensed professional engineer in the State of Illinois. My license number is 01012341.



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GENERAL CONTRACTOR & SUBCONTRACTOR NOTES:
 ALL CARWASH EQUIPMENT, PRODUCT DATA, SHEET, DRAWINGS, ETC. ARE TO BE REVIEWED AND COORDINATED BY THE GENERAL CONTRACTOR AND SUBCONTRACTORS.
 THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, MATERIALS, AND METHODS OF CONSTRUCTION.
 ALL DIMENSIONS AND SPECIFICATIONS RELATED TO THIS PROJECT PLEASE REVIEW ALL SHEETS PRIOR TO BEGINNING CONSTRUCTION.

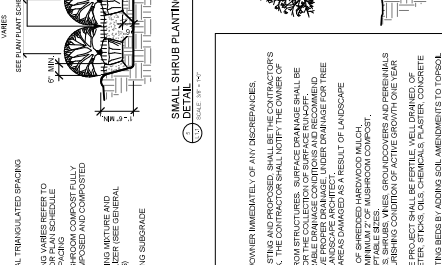
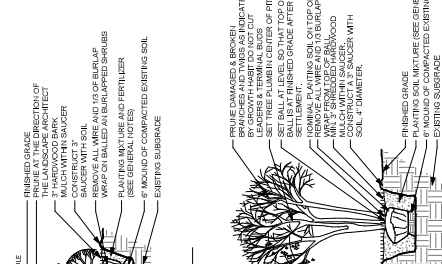
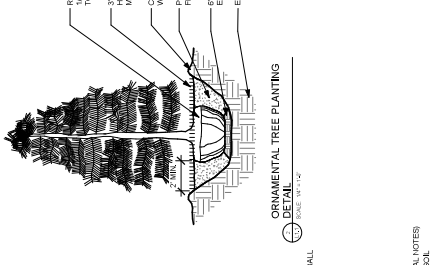
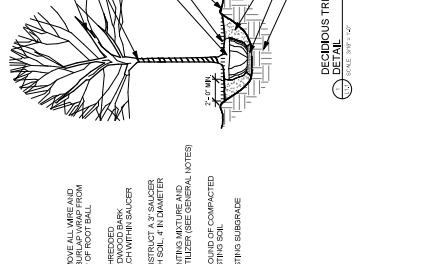
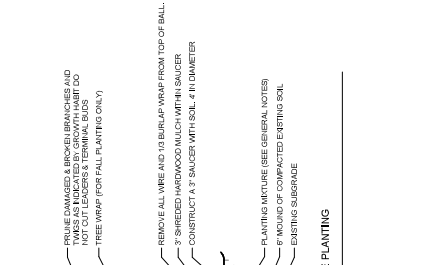
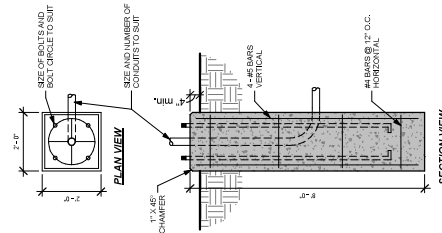
REVISIONS	DATE	DESCRIPTION
1	06/03/25	PERMIT REVISIONS
2	06/03/25	PERMIT REVISIONS
3	07/02/25	ISSUE FOR PERMIT
4	07/02/25	ZONING REVIEW

PERMIT REVIEW - NOT FOR CONSTRUCTION
 1212 BUTTERFIELD RD.
 MUNDLEIN, IL
NEW AUTOMATED CARWASH FACILITY



DATE: 06/03/25
 PROJECT # 25014

NERI ARCHITECTS
 6400 N NORTHWEST HWY
 SUITE 4
 CHICAGO, IL 60631
 TEL 847 825 9400



GENERAL NOTES:
 1. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES, VARIATIONS OF DIMENSIONS AND GRADES, AND PROPOSED CHANGES TO THE LANDSCAPE ARCHITECT'S ARCHITECTURAL PLAN.
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 17. ALL GRASS AREAS SHALL BE FINISHED TO TOPSOIL AND KENTUCKY BLUEGRASS SOLO.

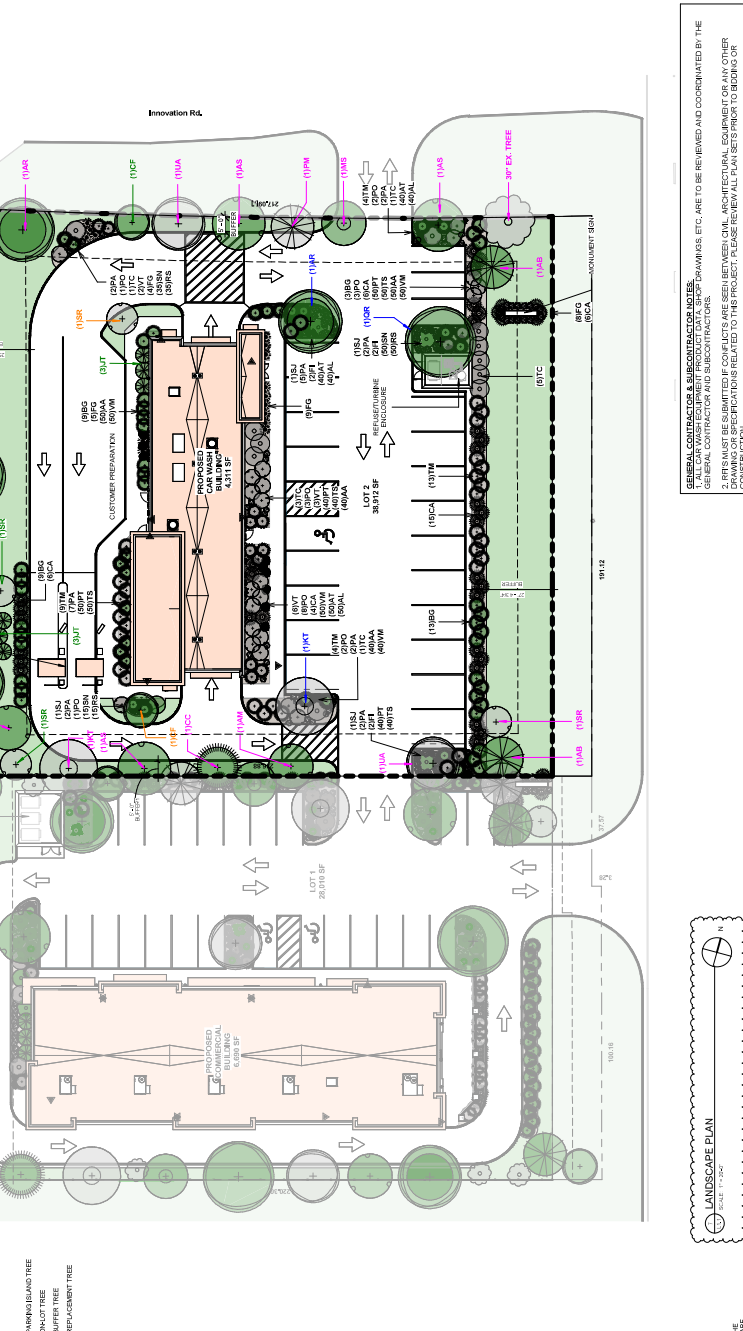
ORIENTAL TREE PLANTING DETAIL
 SCALE: 1/4" = 1'-0"
 REMOVE ALL WIRE AND 10 BURLAP WRAP FROM TOP OF ROOF BALL.
 3" SHREDDED HARDWOOD MULCH WITH 1/4" SAUCER WITH SOIL, 4" IN DIAMETER.
 PLANTING MIXTURE AND FERTILIZER (SEE GENERAL NOTES).
 EXISTING SUBGRADE.
 REMOVE ALL WIRE AND 10 BURLAP WRAP FROM TOP OF ROOF BALL.

DECIDUOUS TREE PLANTING DETAIL
 SCALE: 1/4" = 1'-0"
 REMOVE ALL WIRE AND 10 BURLAP WRAP FROM TOP OF ROOF BALL.
 3" SHREDDED HARDWOOD MULCH WITH 1/4" SAUCER WITH SOIL, 4" IN DIAMETER.
 PLANTING MIXTURE (SEE GENERAL NOTES).
 EXISTING SUBGRADE.
 REMOVE ALL WIRE AND 10 BURLAP WRAP FROM TOP OF ROOF BALL.

LARGE SHRUB PLANTING DETAIL
 SCALE: 1/4" = 1'-0"
 REMOVE ALL WIRE AND 10 BURLAP WRAP FROM TOP OF ROOF BALL.
 3" SHREDDED HARDWOOD MULCH WITH 1/4" SAUCER WITH SOIL, 4" IN DIAMETER.
 PLANTING MIXTURE AND FERTILIZER (SEE GENERAL NOTES).
 EXISTING SUBGRADE.
 REMOVE ALL WIRE AND 10 BURLAP WRAP FROM TOP OF ROOF BALL.

SMALL SHRUB PLANTING DETAIL
 SCALE: 1/4" = 1'-0"
 REMOVE ALL WIRE AND 10 BURLAP WRAP FROM TOP OF ROOF BALL.
 3" SHREDDED HARDWOOD MULCH WITH 1/4" SAUCER WITH SOIL, 4" IN DIAMETER.
 PLANTING MIXTURE AND FERTILIZER (SEE GENERAL NOTES).
 EXISTING SUBGRADE.
 REMOVE ALL WIRE AND 10 BURLAP WRAP FROM TOP OF ROOF BALL.

GROUND COVER PLANTING DETAIL
 SCALE: 1/4" = 1'-0"
 REMOVE ALL WIRE AND 10 BURLAP WRAP FROM TOP OF ROOF BALL.
 3" SHREDDED HARDWOOD MULCH WITH 1/4" SAUCER WITH SOIL, 4" IN DIAMETER.
 PLANTING MIXTURE AND FERTILIZER (SEE GENERAL NOTES).
 EXISTING SUBGRADE.
 REMOVE ALL WIRE AND 10 BURLAP WRAP FROM TOP OF ROOF BALL.



Planting Schedule (LOT 2)

SYMBOL	QUANTITY	ITEM NAME	COMMON NAME	MR. SPEC.	NOTES
1018R	1	Red Oak	Quercus rubra	1" - 1 1/2" DBH	1" - 1 1/2" DBH
1018M	1	Maple	Acer sp.	1" - 1 1/2" DBH	1" - 1 1/2" DBH
1018A	1	Aspen	Populus sp.	1" - 1 1/2" DBH	1" - 1 1/2" DBH
1018B	1	Birch	Betula sp.	1" - 1 1/2" DBH	1" - 1 1/2" DBH
1018C	1	Cherry	Prunus sp.	1" - 1 1/2" DBH	1" - 1 1/2" DBH
1018D	1	Dogwood	Cornus sp.	1" - 1 1/2" DBH	1" - 1 1/2" DBH
1018E	1	Flowering Dogwood	Flowering Dogwood	1" - 1 1/2" DBH	1" - 1 1/2" DBH
1018F	1	Hydrangea	Hydrangea sp.	1" - 1 1/2" DBH	1" - 1 1/2" DBH
1018G	1	Japanese Maple	Japanese Maple	1" - 1 1/2" DBH	1" - 1 1/2" DBH
1018H	1	Japanese Maple	Japanese Maple	1" - 1 1/2" DBH	1" - 1 1/2" DBH
1018I	1	Japanese Maple	Japanese Maple	1" - 1 1/2" DBH	1" - 1 1/2" DBH
1018J	1	Japanese Maple	Japanese Maple	1" - 1 1/2" DBH	1" - 1 1/2" DBH
1018K	1	Japanese Maple	Japanese Maple	1" - 1 1/2" DBH	1" - 1 1/2" DBH
1018L	1	Japanese Maple	Japanese Maple	1" - 1 1/2" DBH	1" - 1 1/2" DBH
1018M	1	Japanese Maple	Japanese Maple	1" - 1 1/2" DBH	1" - 1 1/2" DBH
1018N	1	Japanese Maple	Japanese Maple	1" - 1 1/2" DBH	1" - 1 1/2" DBH
1018O	1	Japanese Maple	Japanese Maple	1" - 1 1/2" DBH	1" - 1 1/2" DBH
1018P	1	Japanese Maple	Japanese Maple	1" - 1 1/2" DBH	1" - 1 1/2" DBH
1018Q	1	Japanese Maple	Japanese Maple	1" - 1 1/2" DBH	1" - 1 1/2" DBH
1018R	1	Japanese Maple	Japanese Maple	1" - 1 1/2" DBH	1" - 1 1/2" DBH
1018S	1	Japanese Maple	Japanese Maple	1" - 1 1/2" DBH	1" - 1 1/2" DBH
1018T	1	Japanese Maple	Japanese Maple	1" - 1 1/2" DBH	1" - 1 1/2" DBH
1018U	1	Japanese Maple	Japanese Maple	1" - 1 1/2" DBH	1" - 1 1/2" DBH
1018V	1	Japanese Maple	Japanese Maple	1" - 1 1/2" DBH	1" - 1 1/2" DBH
1018W	1	Japanese Maple	Japanese Maple	1" - 1 1/2" DBH	1" - 1 1/2" DBH
1018X	1	Japanese Maple	Japanese Maple	1" - 1 1/2" DBH	1" - 1 1/2" DBH
1018Y	1	Japanese Maple	Japanese Maple	1" - 1 1/2" DBH	1" - 1 1/2" DBH
1018Z	1	Japanese Maple	Japanese Maple	1" - 1 1/2" DBH	1" - 1 1/2" DBH

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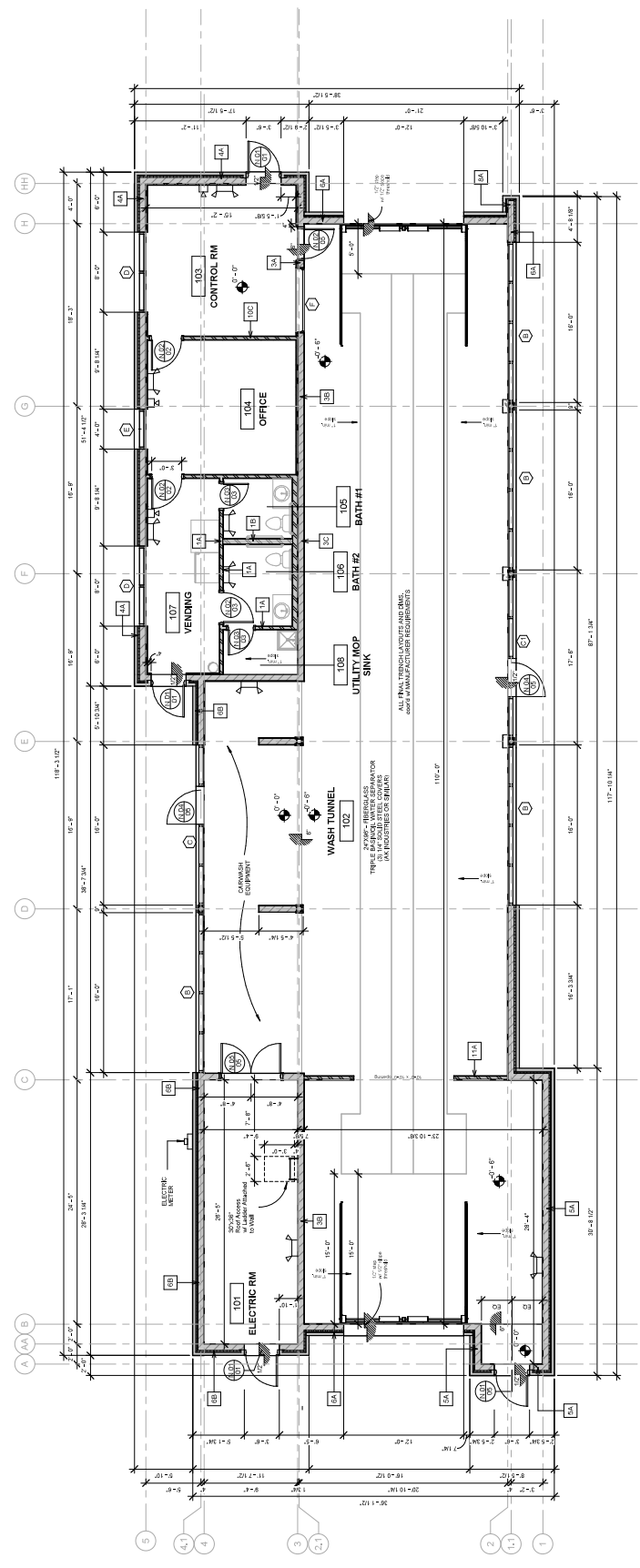
GENERAL CONTRACTOR'S SUBCONTRACTOR NOTES:
 ALL CARWASH EQUIPMENT PRODUCT DATA SHEET, MANUALE, ETC. ARE TO BE REVIEWED AND COORDINATED BY THE GENERAL CONTRACTOR AND SUBCONTRACTORS.
 ALL CARWASH EQUIPMENT SHALL BE INSTALLED AND OPERATED IN ACCORDANCE WITH THE MANUFACTURER'S DRAWINGS AND SPECIFICATIONS RELATED TO THE PROJECT. PLEASE REVIEW ALL SETS PRIOR TO BEGGIN CONSTRUCTION.

LANDSCAPE PLAN
 SCALE: 1/4" = 1'-0"

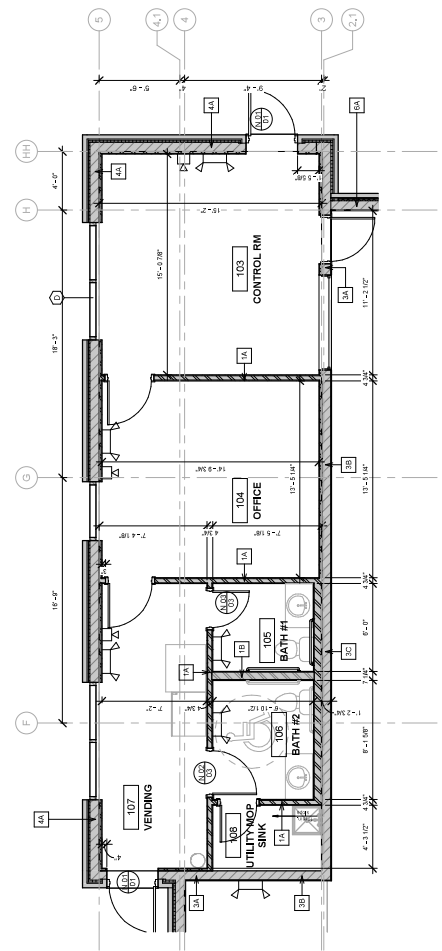
LANDSCAPE PLAN
 SCALE: 1/4" = 1'-0"

REVISIONS	DATE	DESCRIPTION
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SHEET NO. **A-2.1**
 DESCRIPTION: FLOOR PLAN



FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"



BLOW UP
 SCALE: 1/8" = 1'-0"

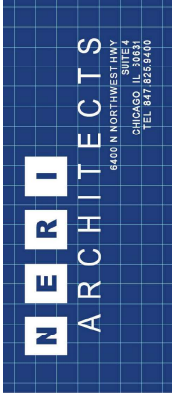
GENERAL CONTRACTOR & SUBCONTRACTOR NOTES:
 ALL CARWASH EQUIPMENT PRODUCT DATA SHEET, PAVEMENT, ETC. ARE TO BE REVIEWED AND COORDINATED BY THE GENERAL CONTRACTOR AND SUBCONTRACTORS.
 THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, MATERIALS, AND FINISHES WITH THE ARCHITECT PRIOR TO BEGINNING CONSTRUCTION.
 ANY CHANGES OR SPECIFICATIONS RELATED TO THIS PROJECT PLEASE REVIEW ALL PLANS PRIOR TO BEGINNING CONSTRUCTION.



1 VIEW LOOKING SOUTHEAST

Z-9 SCALE: 1/12" = 1'-0"

2514
07.10.25
Z-9





1 VIEW LOOKING NORTHEAST

SCALE: 1/16" = 1'-0"



2514

07.10.25

Z-10

N E R I
ARCHITECTS
8400 N. NORTHWEST HWY
SUITE 4
CHICAGO, IL 60631
TEL: 847.838.8400

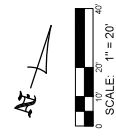
NO.	REVISION	DATE
1	ISSUE FOR PERMIT	11/15/2024
2	ISSUE FOR PERMIT	11/15/2024

FINAL ENGINEERING
FOR
COMMERCIAL DEVELOPMENT
AT
**1212 BUTTERFIELD RD,
MUNDELEIN, IL 60060**

DESIGNED BY:	K.A.K.
DRAWN BY:	K.A.K.
CHECKED BY:	K.A.K.
DATE:	11/15/2024
PROJECT #:	1144
SHEET TITLE:	

GEOMETRIC PLAN

C-4
SHEET NUMBER



PROPOSED IMPROVEMENTS COVERAGES

LOT #1 COMMERCIAL	
TOTAL AREA = 0.65 AC	
IMPERVIOUS AREA = 0.52 AC (80.0%)	
PERVIOUS AREA = 0.13 AC (20.0%)	
LOT #2 CAR WASH	
TOTAL AREA = 0.94 AC	
IMPERVIOUS AREA = 0.59 AC (62.8%)	
PERVIOUS AREA = 0.35 AC (37.2%)	

VEHICLE PARKING SUMMARY

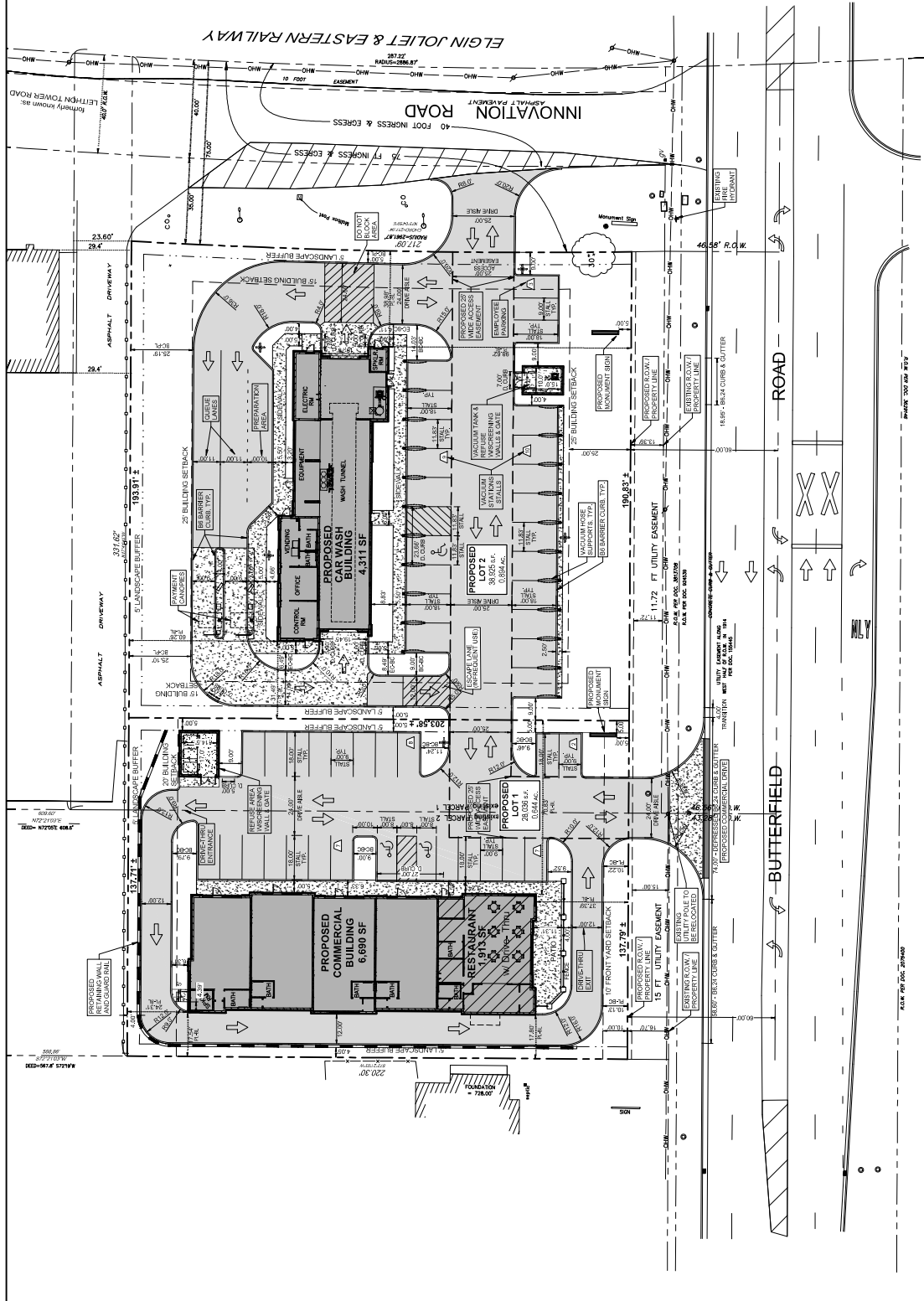
LOT #1 COMMERCIAL	
STALLS	22
ADA STALLS	2
TOTAL STALLS PROVIDED	24
LOT #2 CAR WASH	
ADA/VACUUM STALLS	1
VACUUM STALLS	18
TOTAL STALLS PROVIDED	19

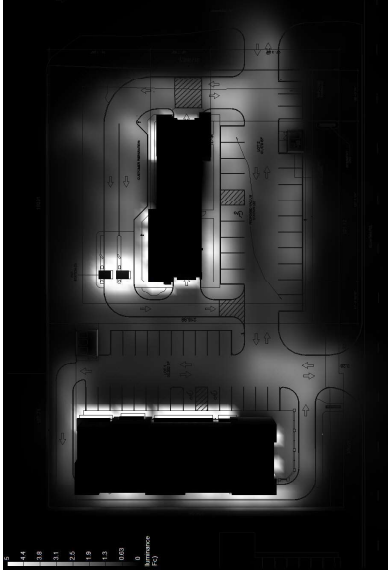
GENERAL NOTES:

- ALL DIMENSIONS ARE FROM CENTER OF STRIPE, UNLESS OTHERWISE NOTED.
- PAVEMENT FINISH DIMENSIONS ARE FROM CENTER OF STRIPE.
- ABREVIATIONS:
 - BB - BACK OF CURB
 - BL - BACK OF LOT
 - CL - CENTER OF LOT
 - EL - EDGE OF LOT
 - EC - EDGE OF CONCRETE
 - EP - EDGE OF PAVEMENT
 - FC - FACE OF CURB
 - GC - CENTERLINE
 - PC - POINT OF CURVATURE
 - PT - POINT OF TANGENCY
 - TS - TYPICAL

LEGEND

- PARKING STALLS IN EACH ROW
- PAVED ACCESSIBILITY SYMBOL
- PROPOSED 6" CONCRETE BARRIER CURB
- DIRECTIONAL TRAFFIC ARROW
- PROPOSED BITUMINOUS PAVEMENT
- PROPOSED CONCRETE
- PROPOSED REINFORCED CONCRETE (REFER TO ARCHITECTURE PLANS)





NOTES

PG ENLIGHTEN IS NEITHER LICENSED NOR INSURED TO DETERMINE CODE COMPLIANCE. CODE COMPLIANCE REVIEW BY OTHERS.

ANY VARIANCE FROM REFLECTANCE VALUES, OBSTRUCTIONS, LIGHT LOSS FACTORS OR DIMENSIONAL DATA WILL AFFECT THE ACTUAL LIGHT LEVELS OBTAINED.

THIS ANALYSIS IS A MATHEMATICAL MODEL AND CAN BE ONLY AS ACCURATE AS IS PERMITTED BY THE THIRD-PARTY SOFTWARE AND THE IES STANDARDS USED.

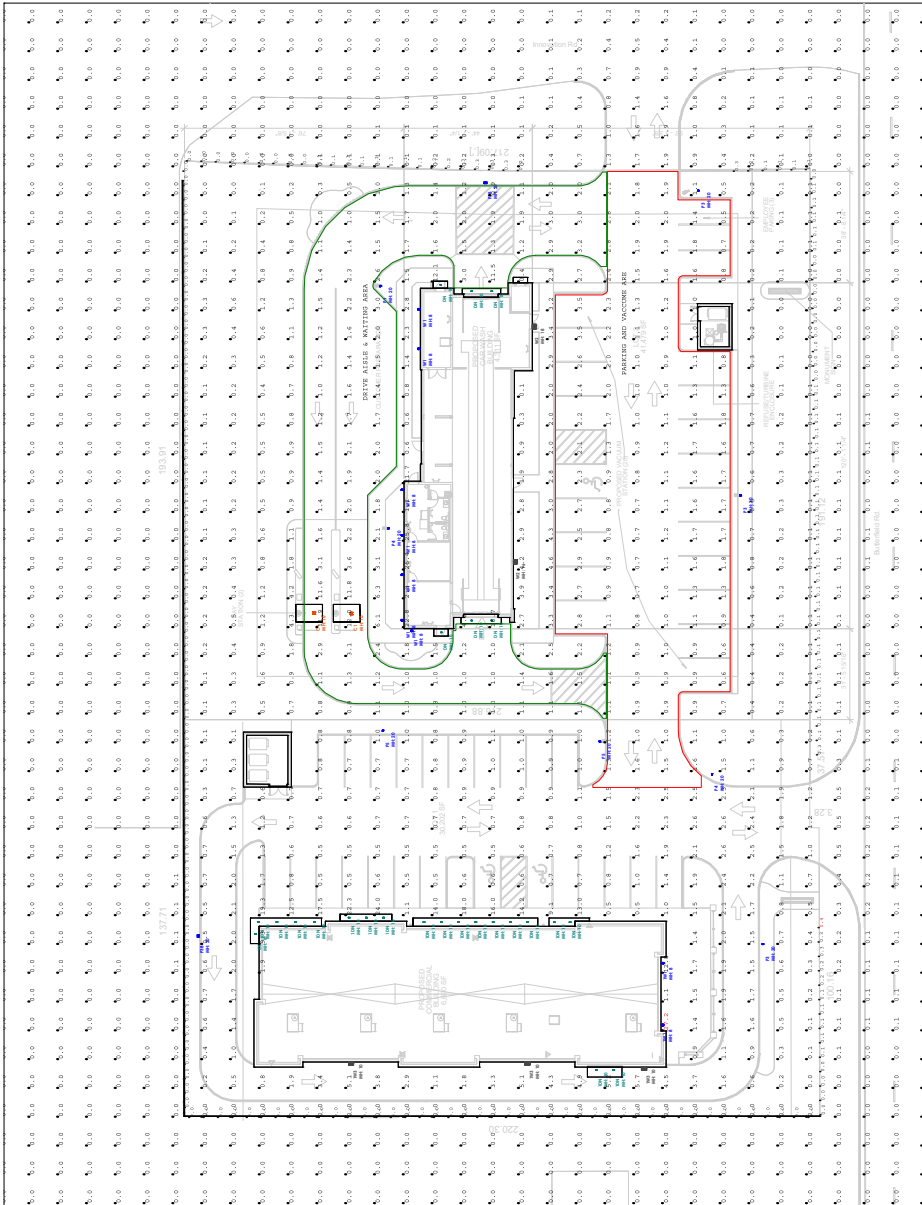
FIXTURE TYPES AND QUANTITIES MAY CHANGE BASED ON UNKNOWN OBSTRUCTIONS OR FIELD CONDITIONS. THESE CHANGES MAY RESULT IN AN INCREASED QUANTITY OF FIXTURES. REFERENCE ONLY: TYPES AND QUANTITIES MAY CHANGE WITH FUTURE REVISIONS.

CALCULATION GRID VALUES 10'-0" O.C.

APPLICATION AND TASK	MAINTAINED HORIZONTAL		MAINTAINED VERTICAL		MAXIMUM AVG. (FC) IMAXMIN
	AVERAGE (FC)	RANGE (FC)	AVERAGE (FC)	RANGE (FC)	
PARKING (UNCOVERED) ZONE 3 (URBAN)	1.5	0.75-3	0.8	0.4-1.6	41 1.51
SAFETY (BUILDING EXTERIOR)	1	0.5-2	0.6	0.3-1.2	41 1.51

FOR SECURITY ISSUES, PLEASE AVG. 10-3

INDIVIDUAL APPLICATIONS WILL DETERMINE SPECIFIC RECOMMENDATIONS. PLEASE REFER TO THE MOST RECENT HANDBOOK FOR A MORE DETAILED EVALUATION AND ADDITIONAL APPLICATIONS. THESE RECOMMENDATIONS DO NOT SUPERSEDE ANY APPLICABLE CODES.



Label	Qty	Tag	Manufacturer	Description	Units	Avg	Max	Min	Max/Min	Avg/Min
FULL AREA CALC PLANNER	2	1W1	DALS	LEDWALL-A	FC	0.45	27.2	0.0	N.A.	N.A.
PROPERTY LINE	1	W3	EXO	TRP2-24L-30-4K7-3	FC	0.04	0.4	0.0	N.A.	N.A.
DRIVE AISLE & WAITING AREA	1	C1	BEACON	V5H-30-4K7 UNV	FC	2.55	16.7	0.9	18.56	2.83
PARKING AND VACUUM ARE	1	DN	RGR4-CC-XX	996	FC	1.43	3.5	0.5	7.00	2.86

Symbol	Qty	Tag	Manufacturer	Description	Arrangement	Luminaire Lumens	Luminaire Watts
⊕	19	IDN	DALS Lighting Inc.	RGR4-CC-XX	Single	996	14.4
⊕	2	W1	DALS	ADEN-LEDWALL-A	Single	2138	27.3
⊕	3	W3	EXO	TRP2-24L-30-4K7-3	Single	3747	27.9
⊕	2	C1	BEACON	V5H-30-4K7 UNV	Single	4450	30.405
⊕	6	DN	DALS Lighting Inc.	RGR4-CC-XX	Single	996	14.4
⊕	1	P1	BEACON	ASL1-80L-50-4K7-4F	Single	6401	50
⊕	3	P3	EXO	ASL1-80L-50-4K7-3-PC	Single	6329	49.7
⊕	2	P3B	EXO	ASL1-80L-50-4K7-3-PC	Single	4369	49.8
⊕	2	P4	EXO	ASL1-80L-50-4K7-4W	Single	6212	49.7
⊕	2	P5	EXO	ASL1-80L-50-4K7-5GW	Single	6560	49.7
⊕	7	W1	DALS	ADEN-LEDWALL-A	Single	2138	27.3
⊕	2	W2	EXO	TRP2-32L-70-4K7-3	Single	7927	67



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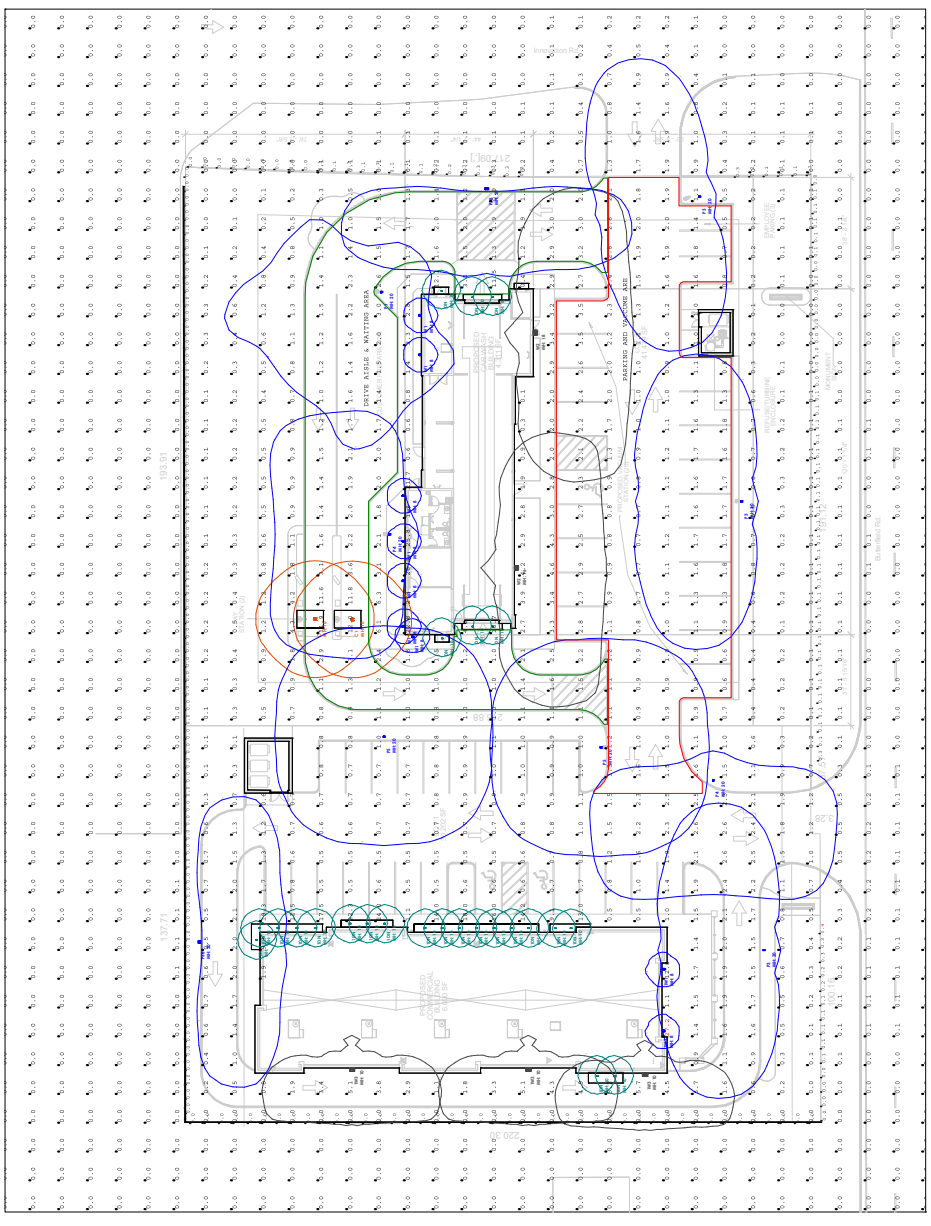
CALCULATION GRID VALUES 10'-0" O.C.

PARKING LOT DESIGN GUIDE

APPLICATION AND TASK	MAINTAINED HORIZONTAL AVERAGE [FC]	RANGE [FC]	MAINTAINED VERTICAL AVERAGE [FC]	RANGE [FC]	MAXIMUM AVERAGE [MAXAVG]	MAXIMUM [MAXMIN]
PARKING (UNCOVERED) ZONE 3 (URBAN)	1.5	0.75-3	0.8	0.4-1.6	41	1.51
SAFETY (BUILDING EXTERIOR)	1	0.5-2	0.6	0.3-1.2	41	1.51

FOR SECURITY ISSUES, PLEASE AVG. 10-3

INDIVIDUAL APPLICATIONS WILL DETERMINE SPECIFIC RECOMMENDATIONS. PLEASE REFER TO THE MOST RECENT HANDBOOK FOR A MORE DETAILED EVALUATION AND ADDITIONAL APPLICATIONS. THESE RECOMMENDATIONS DO NOT SUPERSEDE ANY APPLICABLE CODES.



Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Max/Min	Avg/Min
FULL AREA CALC PLANNER	Illuminance	FC	0.45	27.2	0.0	N.A.	N.A.
PROPERTY LINE	Illuminance	FC	0.04	0.4	0.0	N.A.	N.A.
DRIVE AISLE & WAITING AREA	Illuminance	FC	2.55	16.7	0.9	18.56	2.83
PARKING AND VACUUM ARE	Illuminance	FC	1.43	3.5	0.5	7.00	2.86

Luminaire Schedule - Part numbers are provided by the manufacturer and are only intended to be used as a reference to output and optics used.

Symbol	Qty	Tag	Manufacturer	Description	Arrangement	Luminaire Lumens	Luminaire Watts
⊕	19	IDN	DALS Lighting Inc.	RGR4-CC-XX	Single	996	0.900
⊕	2	IW1	DALS	ADEN-LEDWALL-A	Single	2138	0.900
⊕	3	IW3	EXO	TRP2-24L-30-4K7-3	Single	3747	0.900
⊕	2	C1	BEACON	V5H-30-4K7 UNV	Single	4450	0.900
⊕	6	DN	DALS Lighting Inc.	RGR4-CC-XX	Single	996	0.900
⊕	1	P1	BEACON	ASL1-80L-50-4K7-4F	Single	6401	0.900
⊕	3	P3B	EXO	ASL1-80L-50-4K7-3-PC	Single	6329	0.900
⊕	2	P4	EXO	ASL1-80L-50-4K7-3-PC	Single	4369	0.900
⊕	2	P5	EXO	ASL1-80L-50-4K7-4W	Single	6212	0.900
⊕	7	W1	DALS	ADEN-LEDWALL-A	Single	6560	0.900
⊕	2	W2	EXO	TRP2-32L-70-4K7-3	Single	7927	0.900

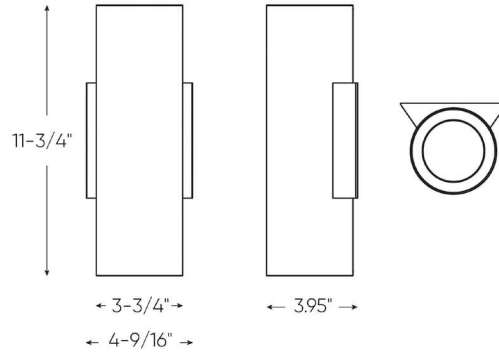
MODEL NAME **LEDWALL-A
ADEN**

Round Cylinder With Multiple Lighting Options

The key design element of our new LED cylinder is the removable lens. This feature allows for three distinctive styles during installation.



PROJECT:	TYPE:
DATE:	QTY:
NOTES:	

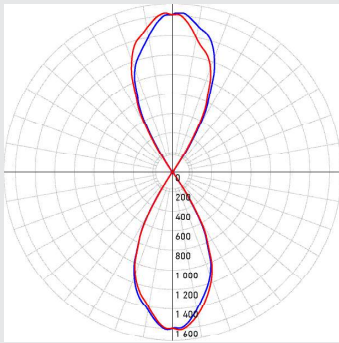


QUICK SPECS

SIZE	WATTS	DELIVERED LUMENS*	COLOR °T 5CCT	CRI	VOLTAGE	BEAM ANGLE	LIGHT DIRECTION	FINISH
4"	29W	2100lm	3000K	90	120V-277V	45° or 115°	Up and down	<input checked="" type="radio"/> Black <input type="radio"/> White <input type="radio"/> Silver grey

*Lumen output measured at 3000K

LIGHT DISTRIBUTION



CONSTRUCTION

Lens Clear or frosted	Finish type Powder coated	Type of LED COB
Lens material Glass	Housing material Aluminum	Mounting Octo Jbox

RATINGS

Placement Indoor/outdoor	Lifespan 50,000 hrs.	IP rating IP65
Location Wet	Certifications ETL, JA8, ES, ADA	Operating temperature -30° to 40° C

WHAT'S IN THE BOX

- LED wall sconce fixture
- Mounting bracket
- Mounting hardware
- Wire nuts
- Instruction sheet

ACCESSORIES

-

ADAPTERS

-



**ELECTRICAL
DETAILS**

Input voltage
120-277V

Output current
700mA

Power factor
90%

Driver type
Constant current

Output voltage
24-42V

LED model #
COB

**THD harmonic
distortion**
<20%

Binning type
3 SCDM

FEATURES

Cylinder comes with 3 optical options:
• Bright aluminum reflector that provides a 45° beam spread
• Frosted glass lens

to allow a wider beam spread
• Die-cast aluminum cap to allow a down light only version

Cylindrical housing made of extruded aluminum

The LED board is sealed with a clear tempered

glass lens to ensure weatherproof operation

Driver installs in junction box

Not compatible with shallow junction boxes

WARRANTY

DALS offers a 5-year warranty from the date of purchase which covers repairs or replacement of defective parts of the housing, optics, and electronics. To contact DALS customer service call 1-877-430-1818 or send an e-mail to info@dals.com.

RECOMMENDED DIMMER LIST*

BRAND	MODEL #	DIMMER SPECS	GRADE	DIMMING RANGE (%)		MAX LOAD
				MIN	MAX	
Lutron	DVELV-300P-WH	300W electronic low voltage dimmer	Compatible	7	100	10
Lutron	MA-PRO-WH	ELV, 250W LED/CFL	Compatible	1	100	9
Lutron	Caseta PD-5NE-WH-C	ELV, LED—up to 250 W	Compatible	3	100	9
Control 4	C4-APD120-WH	ELV, 120W LED	Compatible	0	100	4
Lutron	DVSTV (0-10 V Controls)	960W, 8 A, 120-277V	Compatible	12	93	33

* Minimal buzzing noise may occur with some dimmers

MODEL RGR4HP-CC

NAME RGR

4in High power regressed recessed

When choosing a recessed fixture, eliminating glare is a priority. The unique positioning of the LED module in this series of downlights will meet that important need.



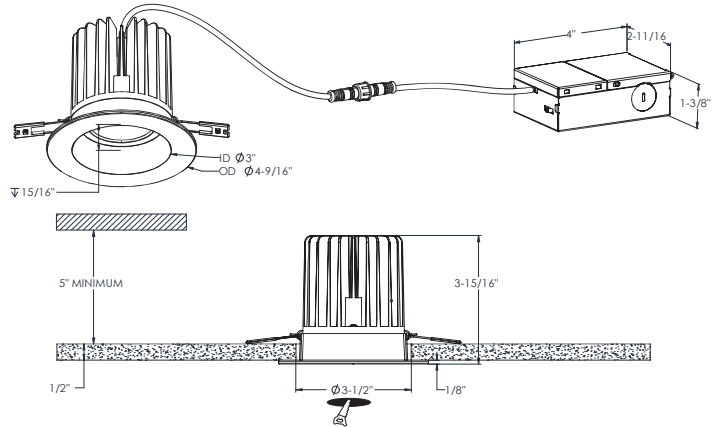
PROJECT

TYPE

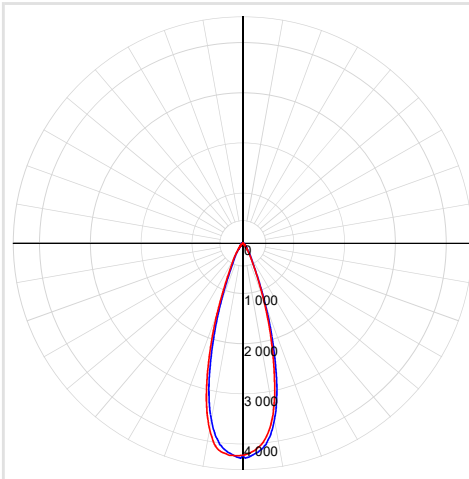
DATE

QTY

NOTES



LIGHT DISTRIBUTION



*Lumen output measured at 3000K

QUICK SPECS

Size	4"
Watts (W)	20
Delivered lumens*	1560
CRI	90
Voltage (v)	120
Beam angle (deg)	40
Cut hole size (in)	3-1/2"
Lifespan (hrs)	50000
FT rating	FT6
Binning	3 SDCM
LED model	COB
Color temperature	2700K/3000K/3500K/4000K/5000K

ELECTRICAL DETAILS

Environment	Wet
Location	Indoor/Outdoor
Operating temp. (° C)	-20 to 40
IP rating	IP44
Input voltage (V)	120
Output voltage (V)	32-48VDC
Output current (mA)	470mA
Power factor	99
Driver type	Constant current
THD	0
Certifications	ETL, FCC, ICES, T24/JA8
	IC, ASTM E283-04

ORDERING GUIDE

RGR4HP-CC	-	Voltage	-	Finish
		BLANK - 120v Triac dimming		WH - White ○
		V - 120-277-347V 0-10v dimming		BK - Black ●

CONSTRUCTION

Lens material	Acrylic
Optic type	Optical lens
Finish type	Matte
Housing material	Aluminum

WHAT'S IN THE BOX

LED recessed fixture
 Junction box
 3x Push-in wire connectors
 Mounting hardware
 Instruction sheet

ACCESSORIES

[RFP-35](#)
 Drilling plate

ADAPTORS

[REC-CC-EXT8FT](#)
 96" extension cord for recessed fixtures

[REC-CC-EXT20FT](#)
 240" extension cord for recessed fixtures

RECOMMENDED DIMMER LIST*

BRAND	MODEL	DIMMER SPECS	GRADE	MIN	MAX	MAX LOAD
Dals	SM-DIMSW Smart Dimmer*	Triac, 250W LED/CFL	Compatible	5	100	13
Lutron	DVCL-153PR-WH-C*	Triac, 150 W Dimmable CFL/LED	Compatible	6	100	8
Lutron	CTCL-153PDH-WH-C*	Triac, 150 W Dimmable CFL/LED	Compatible	6	100	8
Lutron	STCL-153PH-WH-C*	Triac, 150 W Dimmable CFL/LED	Compatible	1	100	8
Lutron	MACL-153MRHW-WHC*	Triac, 150 W Dimmable CFL/LED	Compatible	0	100	8
Lutron	DVELV-300P-WH	300W electronic low voltage dimmer	Compatible	7	98	15
Lutron	MA-PRO-WH*	ELV, 250W LED/CFL	Compatible	1	100	13
Lutron	Caseta PD-6WCL-WH-R-C*	Triac, 300W Dimmable CFL/LED	Compatible	0	100	15
Lutron	Caseta PD-5NE-WH-C*	ELV, LED—up to 250 W	Compatible	3	100	13
Lutron	Caseta PD-10NXD-WH*	Triac, LED—up to 250 W	Compatible	0	100	13
Leviton	6674*	Triac, 150 W Dimmable CFL/LED	Compatible	9	100	8
Leviton	¶PL06-10Z*	Triac, 150 W Dimmable CFL/LED	Compatible	8	100	8
Leviton	DSL06-1LZ*	Triac, 150 W Dimmable CFL/LED	Compatible	7	100	8
Leviton	D26HD-742-1RW*	Triac, 300W LED/CFL	Compatible	9	100	15
Legrand	RHCL453PNICCV4*	Triac, 450W Dimmable CFL/LED	Compatible	10	100	23
Legrand	ADTP703TUM4*	Triac, 450W Dimmable CFL/LED	Compatible	11	100	23
Control 4	C4-APD120-WH	ELV, 120W LED	Compatible	0	100	6
tp-link	HS220*	Triac, 150 W, Dimmable LED (MLV)	Compatible	3	100	8

*With Low-End Adjustment Feature

Minimal buzzing noise may occur with some dimmers

WARRANTY

DALS offers a 5-year warranty from the date of purchase which covers repairs or replacement of defective parts of the housing, optics, and electronics. To contact DALS customer service call 1-877-430-1818 or send an e-mail to info@dals.com.

SLING Micro Strike

AREA/SITE/ROAD LIGHTER

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

FEATURES

- Compact sleek design with multiple LED configurations and simple installation
- The SLING includes a square mounting block for easy pole installation or mast arm option for 2-3/8 ft OD roadway brackets
- Capable of replacing up to 1000w HID luminaires
- Micro Strike optical distributions of Type 2, 3, 4F, 4W or 5QW
- Tool-less entry option for easy installation and maintenance
- 1.5G rated for high vibration applications including bridges and overpasses



CONTROL TECHNOLOGY



SERVICE PROGRAMS



SPECIFICATIONS

CONSTRUCTION

- Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with powder coat paint finish
- Separate optical and electrical compartment for improved thermal management and optimum component operation
- TGIC thermoset polyester powder paint finish applied at nominal 2.5 mil thickness

OPTICS

- Entire optical aperture illuminates to create a larger luminous surface area resulting in a low glare appearance without sacrificing optical performance
- Premium engineered individual acrylic lenses deliver IES Type 2, 3, 4F, 4W and 5QW distributions
- Lens distributions are field rotatable (in 90° increments) or exchangeable for job site fine-tuning
- 3000K, 4000K or 5000K (70 CRI) CCT
- 80, 160 or 320 midpower LEDs
- 3000K, 4000K or 5000K (70 CRI) CCT
- Zero uplight at 0 degrees of tilt
- Field rotatable optics

INSTALLATION

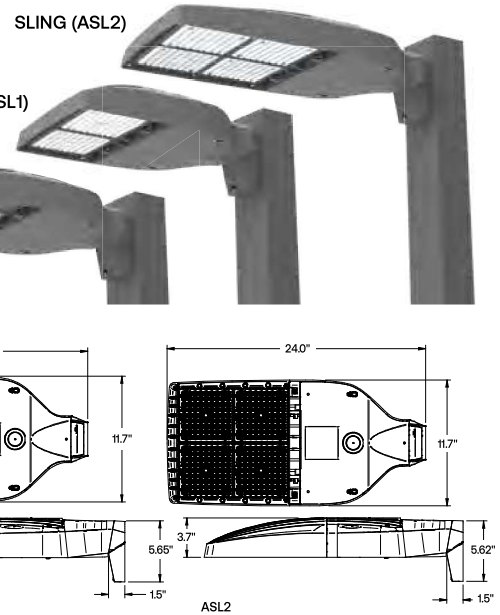
- Tool-less entry to wiring/driver compartment optional
- Arm mounting works with S2 drill pattern
- Fixture ships with square mounting block for ease of installation
- Mast arm fitter accessory or option available for 2-3/8" OD brackets with vertical tilt of +3°, 0° or -3°

ELECTRICAL

- Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz
- Ambient operating temperature -40° C to 40° C
- Drivers have greater than 90% power factor and less than 20% THD
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- Standard 6kV surge protection with optional field replaceable surge protection device provides 20KA and 10KV protection meeting ANSI/IEEE C62.41.2 Category C High and Surge Location Category C3; Automatically takes fixture off-line for protection when device is consumed

CONTROLS

- Photo control, occupancy sensor and Zigbee wireless available for complete on/off and dimming control
- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules (control accessories sold separately)
- Dimming Drivers are standard and dimming leads are extended out of the luminaire unless control options require connection to the dimming leads. Must specify if wiring leads are to be greater than the 6
- Please consult brand or sales representative when combining control and electrical options as some combinations may not operate as anticipated depending on your application



	Weight lbs. (kg)	EPA
ASL1	14.47 (6.56)	.46ft ² 0.43m ²
ASL2	17.47 (7.92)	.56ft ² 0.52m ²

CERTIFICATIONS

- Listed to UL1598 and CSA C22.2#2500-24 for wet locations and 40°C ambient temperatures
- DLC® (DesignLights Consortium Qualified), with some Premium Qualified configurations. Not all product variations on this page are DLC Qualified. Refer to <http://www.designlights.org/> for the most up-to-date list.
- 1.5G rated for ANSI C136.31 high vibration applications
- IP65 optical assembly
- Meets IDA recommendations using 3K CCT configuration at 0 degrees of tilt
- This product meets federal procurement law requirements under the Buy American Act (FAR 52.225-9) and Trade Agreements Act (FAR 52.225-11). See Buy America(n) Solutions (link to <https://www.currentlighting.com/resources/america-solutions>)

WARRANTY

- 5 Year warranty

SLING Micro Strike

AREA/SITE/ROAD LIGHTER

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

Gray Shading = Service Program Limit of 15 luminaires **QS10**

ORDERING GUIDE

Example: ASL1-80L-50-3K7-2-UNV-ASQU-BLT-7PRMD-40F

CATALOG #

ORDERING INFORMATION

Series	# LEDs	CCT/CRI	Distribution	Voltage	Mounting
ASL1 ASL Microstrike Series	80L-25	3,000 lm	2 Type II	UNV Universal 120-277V	A Arm for Square poles with S2 drill pattern
	80L-39	4,500 lm	3 Type III	120 120V	A3 Square Arm with 3.25"-3.75" OD RPA3 Adapter
	80L-50	6,000 lm	4F Type 4F	208 208V	A4 Square Arm with 3.875"-4.5" OD RPA4 Adapter
	160L-70	9,000 lm	4W Type 4W	240 240V	A5 Square Arm with 5" OD RPA5 Adapter
	160L-100	12,000 lm	5QW Type 5QW	277 277V	MAF Mast Arm Fitter for 2-3/8" OD
	160L-115	15,000 lm		347 347V	
	160L-135	18,000 lm		480 480V	
ASL2 ASL Microstrike Series	320L-145	21,000 lm			
	320L-170	24,000 lm			
	320L-185	27,000 lm			
	320L-210	30,000 lm			
	320L-235	33,000 lm			
	320L-255	35,000 lm			

Network Control Options	Options	Color
NXWS16F NX Networked Wireless Enabled Integral NX SMP2-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming ^{1,3,4}	F Fusing	BLT Black Matte Textured
NXWS40F NX Networked Wireless Enabled Integral NX SMP2-HMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming ^{1,3,4}	BC Backlight Control	BLS Black Gloss Smooth
NXW NX Networked Wireless Radio Module NXRM2 and Bluetooth Programming, without Sensor ^{3,4}	SP 20kA & 10kV Surge Protector	DBT Dark Bronze Matte Textured
Stand Alone Sensors		DBS Dark Bronze Gloss Smooth
7PR 7 Pin Receptacle		GTT Graphite Matte Textured
7PR-SC 7 Pin Receptacle with shorting cap		LGS Light Grey Gloss Smooth
7PR-MD8F 7 pin receptacle with low voltage sensor at 8' mounting for external control accessory		LGT Light Grey Matte Textured
7PR-MD40F 7 pin receptacle with low voltage sensor at 40' mounting for external control accessory		PSS Platinum Silver Smooth
7PR-TL 7 Pin Receptacle with Photocontrol		WHT White Matte Textured
Sensors		WHS White Gloss Smooth
BTS_F Bluetooth Programmable, PIR Occupancy/Daylight Sensor, 360° lens ²		VG Verde Green Textured
BTSO_F Bluetooth Programmable, PIR Occupancy/Daylight Sensor, 360° lens, up to 12' mounting height ³		Color Option
		CC Custom Color

Notes:

- 1 Must specify Voltage
- 2 Replace "-" with "14" for up to 14' mounting height, "40F" for 15-40' mounting height
- 3 Replace "-" with "12" for up to 12' mounting height

SLING Micro Strike

AREA/SITE/ROAD LIGHTER

OUTDOOR LIGHTING CONTROLS OPTIONS

CONTROLS FUNCTIONALITY



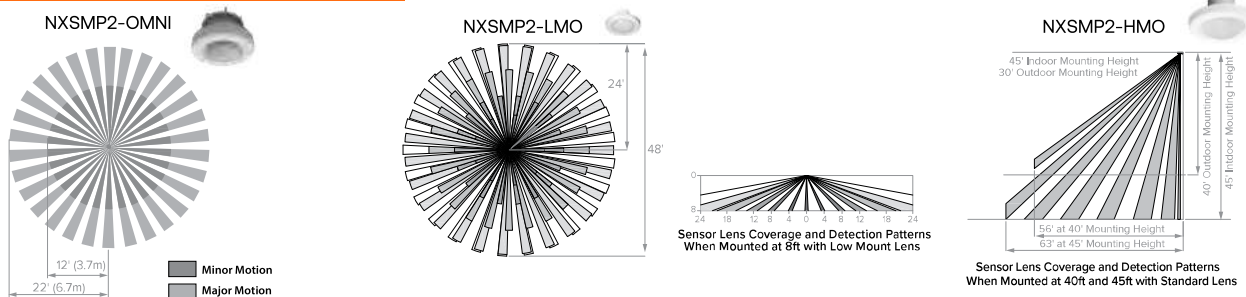
	Control Option Ordering Logic & Description	Control Option Functionality									Control Option Components	
		Networkable	Grouping	Scheduling	Occupancy/Motion	Daylight Harvesting	0-10V Dimming	On/Off Control	Bluetooth App Programming	Sensor Height		
NX Wireless	NXW	✓	✓	✓	-	-	✓	✓	✓	-		NXRM2-H
	NXWS12F	✓	✓	✓	✓	✓	✓	✓	✓	12ft		NXSMP2-OMNI-O
	NXWS16F	✓	✓	✓	✓	✓	✓	✓	✓	16ft		NXSMP2-LMO
	NXWS40F	✓	✓	✓	✓	✓	✓	✓	✓	40ft		NXSMP2-HMO
Independent	BTSO-12F	-	-	-	✓	✓	✓	✓	✓	12ft		BTSMP-OMNI-O
	BTS-14F	-	-	-	✓	✓	✓	✓	✓	14ft		BTSMP-LMO
	BTS-40F	-	-	-	✓	✓	✓	✓	✓	40ft		BTSMP-HMO

DEFAULT SETTINGS

NX Wireless	Occupancy Sensor	Enabled
	Occupancy Sensor Sensitivity	7
	Occupancy Sensor Timeout	15 Minutes
	Occupied Dim Level	100%
	Unoccupied Dim Level	0%
	Daylight Sensor	Disabled
	Bluetooth	Enabled
	2.4GHz Wireless Mesh	On
	"Passcode Factory Passcode: HubbN3T!"	Enabled

Stand Alone	Occupancy Sensor	Enabled
	Occupancy Sensor Sensitivity	7
	Occupancy Sensor Timeout	8 Minutes
	Occupied Dim Level	100%
	Unoccupied Dim Level	50%
	Daylight Sensor	Disabled

NX WIRELESS COVERAGE PATTERNS



NX LIGHTING CONTROLS FREE APP

CONTROLS TECH SUPPORT 800-888-8006 (7:00 AM - 7:00 PM)



The NX Lighting Controls App is free to use mobile application for programming both NX Lighting Controls System or Standalone Bluetooth Sensors. The mobile app allows you to configure devices, discover and setup wireless enable luminaires and program NX system settings.

Apple App: <https://apps.apple.com/us/app/nx-lighting-controls/id962112904>

Google Play: https://play.google.com/store/apps/details?id=io.cordova.NXBTR&hl=en_US&q=US



Apple App






Google Play

SLING Micro Strike

AREA/SITE/ROAD LIGHTER

OUTDOOR LIGHTING CONTROLS OPTIONS

CONTROLS FUNCTIONALITY

	Control Option Ordering Logic & Description		Control Option Functionality									Control Option Components
			Networkable	Grouping	Scheduling	Occupancy/Motion	Daylight Harvesting	0-10V Dimming	On/Off Control	Bluetooth App Programming	Sensor Height	
Independent	7PR	7-Pin Receptacle	-	-	Paired with external control	-	Paired with external control	-	Paired with external control	-	-	 7PR
	7PR-SC	7-Pin Receptacle with shorting cap	-	-	-	-	-	-	-	-	-	 7PR-SC
	7PR-TL	7-Pin with photocontrol	-	-	-	-	✓	-	✓	-	-	 7PR-TL

SLING Micro Strike

AREA/SITE/ROAD LIGHTER

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

ACCESSORIES (ORDERED SEPARATELY)

Catalog Number	Description
<input type="checkbox"/> ASL1-HSS-90-B-XXX ¹	House Side Shield Back 90 deg
<input type="checkbox"/> ASL1-HSS-90-F-XXX ¹	House Side Shield Front 90 deg
<input type="checkbox"/> ASL1-HSS-90-S-XXX ¹	House Side Shield Side 90 deg
<input type="checkbox"/> ASL1-HSS-270-BSS-XXX ¹	House Side Shield Back, Side & Side 270 deg
<input type="checkbox"/> ASL1-HSS-270-FSS-XXX ¹	House Side Shield Front, Side & Side 270 deg
<input type="checkbox"/> ASL1-HSS-270-FSB-XXX ¹	House Side Shield Front, Side & Back 270 deg
<input type="checkbox"/> ASL1-HSS-360-XXX ¹	House Side Shield 360 deg
<input type="checkbox"/> ASL2-HSS-90-B-XXX ¹	House Side Shield Back 90 deg
<input type="checkbox"/> ASL2-HSS-90-F-XXX ¹	House Side Shield Front 90 deg
<input type="checkbox"/> ASL2-HSS-90-S-XXX ¹	House Side Shield Side 90 deg
<input type="checkbox"/> ASL2-HSS-270-BSS-XXX ¹	House Side Shield Back, Side & Side 270 deg
<input type="checkbox"/> ASL2-HSS-270-FSS-XXX ¹	House Side Shield Front, Side & Side 270 deg
<input type="checkbox"/> ASL2-HSS-270-FSB-XXX ¹	House Side Shield Front, Side & Back 270 deg
<input type="checkbox"/> ASL2-HSS-360-XXX ¹	House Side Shield 360 deg
<input type="checkbox"/> ASL-MAF	Mast arm kit with wildlife shield for mounting on 2 3/8" OD arms
<input type="checkbox"/> SETA2-XX ¹	Square pole tenon adapter (4 at 90 degrees) (2 3/8" OD tenon)
<input type="checkbox"/> RETA2-XX ¹	Round pole tenon adapter (4 at 90 degrees) (2 3/8" OD tenon), requires CLIS-RPA4-ACC-XX for each luminaire
<input type="checkbox"/> RARBC80L	Backlight Control 80L
<input type="checkbox"/> RARBC160L	Backlight Control 160L
<input type="checkbox"/> RARBC320L	Backlight Control 320L
<input type="checkbox"/> RARBC480L	Backlight Control 480L
<input type="checkbox"/> CLIS-RPA*-ACC-CC ¹	Round Pole Adapter (*denotes pole diameter 3=3.25"-3.75", 4=3.875"-4.5", 5=5" and paint color replaces CC
<input type="checkbox"/> ASL-ARMMTG-XX ¹	Arm mounting kit for side of pole attachment
<input type="checkbox"/> WB-AREA-XX ¹	Wall bracket, Compatible with standard arm mount option
<input type="checkbox"/> ASL-MAF	Mast arm kit with wildlife shield for mounting on 2 3/8" OD arms

¹ Replace XX or XXX with color choice, eg.: DB for Dark Bronze or BLT for Black Matte Textured

SLING Micro Strike

AREA/SITE/ROAD LIGHTER

DATE: _____ LOCATION: _____
 TYPE: _____ PROJECT: _____
 CATALOG #: _____

PERFORMANCE DATA

Description	Nominal Wattage	System Watts	Dist. Type	5K (5000K NOMINAL 70 CRI)					4K (4000K NOMINAL 70 CRI)					3K (3000K NOMINAL 70 CRI)				
				Lumens	LPW ¹	B	U	G	Lumens	LPW ¹	B	U	G	Lumens	LPW ¹	B	U	G
ASL1	25	25.4	2	3430	135	2	0	2	3413	134	2	0	2	3225	127	2	0	2
			3	3465	136	2	0	2	3448	136	2	0	2	3259	128	2	0	2
			4F	3204	126	1	0	1	3201	126	1	0	1	3127	123	1	0	1
			4W	3401	134	2	0	3	3384	133	2	0	3	3198	126	2	0	3
			5QW	3483	137	4	0	2	3466	136	4	0	2	3274	129	4	0	2
	39	38.0	4F	5005	132	1	0	1	5000	132	1	0	1	4885	129	1	0	1
			2	5232	138	3	0	3	5206	137	3	0	3	4919	129	3	0	3
			3	5287	139	2	0	2	5260	138	2	0	2	4971	131	2	0	2
			4W	5188	137	2	0	3	5163	136	2	0	3	4879	128	2	0	3
	50	49.7	2	6295	127	2	0	2	6263	126	2	0	2	5918	119	2	0	2
			3	6361	128	2	0	2	6329	127	2	0	2	5981	120	2	0	2
			4F	6407	129	1	0	2	6401	129	1	0	2	6254	126	1	0	2
			4W	6243	126	2	0	3	6212	125	2	0	3	5870	118	2	0	3
	70	68.4	5QW	6392	129	4	0	2	6360	128	4	0	2	6009	121	4	0	2
			2	9460	138	3	0	3	9413	138	3	0	3	8895	130	3	0	3
			3	9559	140	2	0	2	9512	139	2	0	2	8989	131	2	0	2
			4F	8988	131	2	0	2	8979	131	2	0	2	8772	128	2	0	2
	100	88.0	4W	9382	137	2	0	3	9335	136	2	0	3	8822	129	2	0	3
			5QW	9610	140	4	0	2	9562	140	4	0	2	9034	132	4	0	2
			2	11939	136	2	0	2	11885	135	2	0	2	11232	128	2	0	2
			3	12064	138	2	0	2	12010	136	2	0	2	11349	129	2	0	2
	115	109.7	4F	12832	146	2	0	2	12819	146	2	0	2	12524	142	2	0	2
			4W	11840	135	2	0	3	11787	135	2	0	3	11138	127	2	0	3
			5QW	12132	138	4	0	2	12071	138	4	0	2	11404	130	4	0	2
			2	15651	143	2	0	2	15577	142	2	0	2	14977	137	2	0	2
	135	133.3	3	15487	141	2	0	2	15413	140	2	0	2	14820	135	2	0	2
			4F	14754	134	2	0	2	14740	134	2	0	2	14401	131	2	0	2
			4W	15305	140	2	0	3	15232	139	2	0	3	14646	134	2	0	3
			5QW	15731	143	4	0	2	15632	143	4	0	2	15031	137	4	0	2
			2	18089	136	3	0	3	17999	135	3	0	3	17275	130	3	0	3
ASL2	133.3	3	17863	134	2	0	2	17777	133	2	0	2	17094	128	2	0	2	
		4F	17317	130	3	0	3	17300	130	3	0	3	16902	127	2	0	3	
		4W	17653	133	2	0	3	17568	132	2	0	3	16893	127	2	0	3	
		5QW	18155	136	4	0	2	18030	135	4	0	2	17338	130	4	0	2	

ASL2 Performance Data on next page

¹ VAC input Lumen values are from photometric test performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations. Actual performance may differ as a result of end-user environment and application.

SLING Micro Strike

AREA/SITE/ROAD LIGHTER

PERFORMANCE DATA

Description	Nominal Wattage	System Watts	Dist. Type	5K (5000K NOMINAL 70 CRI)					4K (4000K NOMINAL 70 CRI)					3K (3000K NOMINAL 70 CRI)				
				Lumens	LPW ¹	B	U	G	Lumens	LPW ¹	B	U	G	Lumens	LPW ¹	B	U	G
ASL2	145	143.0	2	21007	147	3	0	4	20902	146	3	0	4	20061	140	3	0	4
			3	20842	146	3	0	4	20738	145	3	0	4	19904	139	3	0	4
			4F	19490	136	3	0	3	19471	136	3	0	3	19023	133	3	0	3
			4W	20595	144	3	0	5	20492	143	3	0	5	19669	138	3	0	5
			5QW	21130	148	5	0	4	21024	147	5	0	4	20179	141	5	0	4
	170	168.0	2	24452	146	3	0	4	24330	145	3	0	4	23351	139	3	0	4
			3	24260	144	3	0	4	24139	144	3	0	4	23168	138	3	0	4
			4F	22847	136	3	0	4	22824	136	3	0	4	22299	133	3	0	3
			4W	23972	143	3	0	5	23853	142	3	0	5	22895	136	3	0	5
			5QW	24596	146	5	0	4	24472	146	5	0	4	23488	140	5	0	4
	185	185.0	2	26658	144	4	0	5	26525	143	4	0	5	25457	138	4	0	5
			3	26449	143	3	0	4	26316	142	3	0	4	25258	137	3	0	4
			4F	24834	134	3	0	4	24809	134	3	0	4	24238	131	3	0	3
			4W	26135	141	4	0	5	26005	141	4	0	5	24961	135	4	0	5
			5QW	26814	145	5	0	5	26680	144	5	0	5	25607	138	5	0	5
	210	210.0	2	29872	142	3	0	4	29723	142	3	0	4	28536	136	3	0	4
			3	29638	141	3	0	4	29489	140	3	0	4	28303	135	3	0	4
			4F	30623	146	3	0	4	30592	146	3	0	4	20889	142	3	0	4
			4W	29286	139	3	0	5	29140	139	3	0	5	27970	133	3	0	5
			5QW	30047	143	5	0	4	29896	142	5	0	4	28694	137	5	0	4
	235	235.0	2	32960	140	3	0	4	32796	140	3	0	4	31475	134	3	0	4
			3	32701	139	3	0	4	32537	138	3	0	4	31229	133	3	0	4
			4F	31582	134	3	0	4	31550	134	3	0	4	30825	131	3	0	4
			4W	32313	138	3	0	5	32152	137	3	0	5	30861	131	3	0	5
			5QW	33153	141	5	0	4	32987	140	5	0	4	31660	135	5	0	4
255	261.2	2	36216	142	4	0	5	36035	141	4	0	5	34585	136	4	0	5	
		3	35932	141	3	0	4	35752	140	3	0	4	34314	135	3	0	4	
		4F	34254	131	3	0	4	34219	131	3	0	4	33432	128	3	0	4	
		4W	35505	139	4	0	5	35329	139	4	0	5	33910	133	4	0	5	
		5QW	36428	143	5	0	5	36246	142	5	0	5	34788	136	5	0	5	

¹ VAC input Lumen values are from photometric test performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations. Actual performance may differ as a result of end-user environment and application.

SLING Micro Strike

AREA/SITE/ROAD LIGHTER

DATE: _____ LOCATION: _____

TYPE: _____ PROJECT: _____

CATALOG #: _____

ELECTRICAL DATA

Family	Nominal Wattage	Input Voltage (Volts)	Current (AMPS)	System Power (Watts)
SLING (ASL1)	25	120	0.21	25.4
		208	0.12	
		240	0.11	
		277	0.09	
		347	0.07	
		480	0.05	
	39	120	0.32	38
		208	0.18	
		240	0.16	
		277	0.14	
		347	0.11	
		480	0.08	
	50	120	0.41	49.7
		208	0.24	
		240	0.21	
		277	0.18	
		347	0.14	
		480	0.10	
	70	120	0.57	68.4
		208	0.33	
		240	0.29	
		277	0.25	
		347	0.20	
		480	0.14	
	100	120	0.73	88
		208	0.42	
		240	0.37	
		277	0.32	
		347	0.25	
		480	0.18	
115	120	0.91	109.7	
	208	0.53		
	240	0.46		
	277	0.40		
	347	0.32		
	480	0.23		
135	120	1.11	133.3	
	208	0.64		
	240	0.56		
	277	0.48		
	347	0.38		
	480	0.28		

SLING (ASL2) Next Page

SLING Micro Strike

AREA/SITE/ROAD LIGHTER

ELECTRICAL DATA (CONT'D)

Family	Nominal Wattage	Input Voltage (Volts)	Current (AMPS)	System Power (Watts)
SLING (ASL2)	145	120	1.19	143.0
		208	0.69	
		240	0.60	
		277	0.52	
		347	0.41	
		480	0.30	
	170	120	1.40	168.0
		208	0.81	
		240	0.70	
		277	0.61	
		347	0.48	
		480	0.35	
	185	120	1.54	185.0
		208	0.89	
		240	0.77	
		277	0.67	
		347	0.53	
		480	0.39	
	210	120	1.75	210.0
		208	1.01	
		240	0.88	
		277	0.76	
		347	0.61	
		480	0.44	
	235	120	1.96	235.0
		208	1.13	
		240	0.98	
		277	0.85	
		347	0.68	
		480	0.49	
255	120	2.18	261.2	
	208	1.26		
	240	1.09		
	277	0.94		
	347	0.75		
	480	0.54		

SLING Micro Strike

AREA/SITE/ROAD LIGHTER

PROJECTED LUMEN MAINTENANCE

Ambient Temperature	OPERATING HOURS					
	0	25,000	TM-21-11' L96 60,000	50,000	100,000	L70 (Hours)
25°C / 77°F	1.00	0.97	0.96	0.95	0.91	408,000
40°C / 104°F	0.99	0.96	0.95	0.94	0.89	356,000

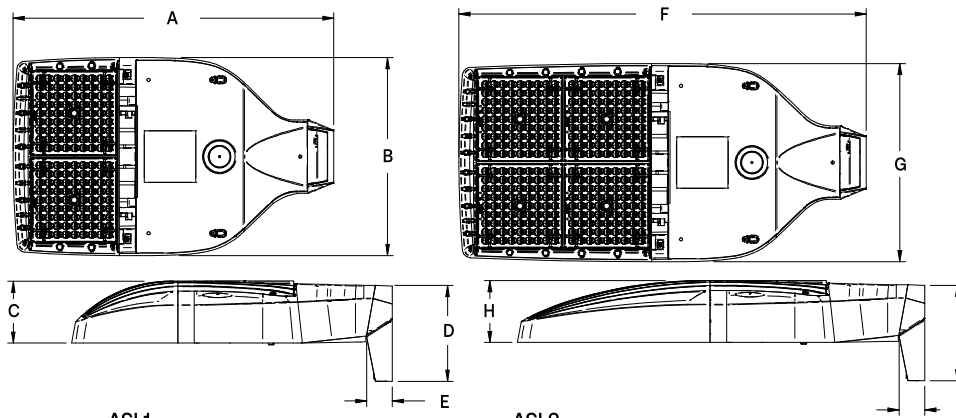
1. Projected per IESNA TM-21-11 (* Cree XP-L, 2100mA, 105°C Ts, 6,000hrs)

LUMINAIRE AMBIENT TEMPERATURE FACTOR (LATF)

Ambient Temperature		Lumen Multiplier
0° C	32° F	1.06
10° C	50° F	1.03
20° C	68° F	1.01
25° C	77° F	1.00
30° C	86° F	0.99
40° C	104° F	0.97

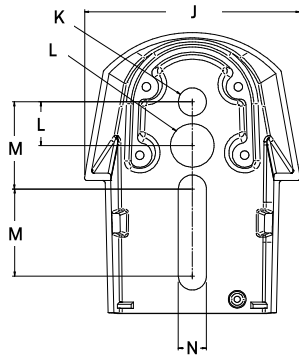
Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

DIMENSIONS



Weight	
ASL1	14.47 lbs (6.56 kgs)
ASL2	17.47 lbs (7.92 kgs)

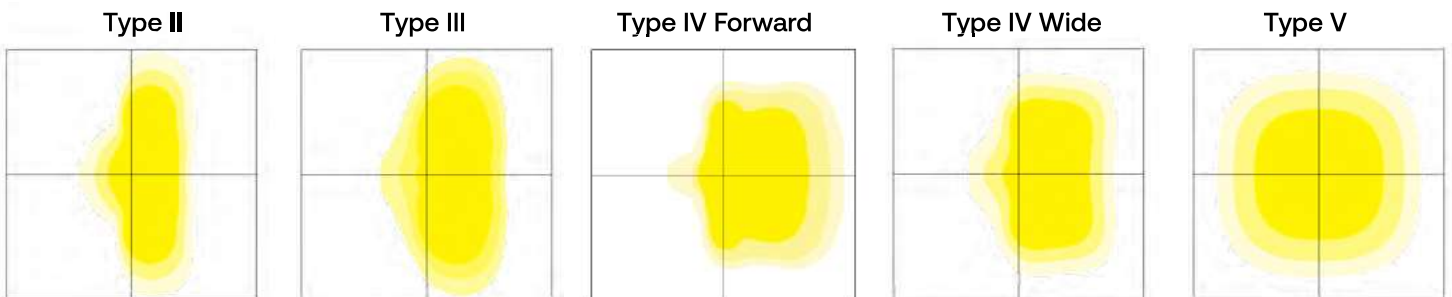
A	B	C	D	E	F	G	H	I	ASL1 EPA@0°	ASL2 EPA@0°	ASL1 w/ HSS	ASL2 w/ HSS
18.9"	11.7"	3.7"	5.65"	1.5"	24.0"	11.7"	3.7"	5.62"	.46 ft. ²	.56 ft. ²	.73 ft. ²	1.01 ft. ²
480mm	297mm	94mm	144mm	38mm	610mm	297mm	94mm	143mm	.043 m ²	.052 m ²	.068 m ²	.094 m ²



J	K	L	M	N
4.33"	.562"	.875"	1.75"	.562"
480mm	297mm	94mm	610mm	297mm

PHOTOMETRY

The following diagrams represent the general distribution options offered for this product. For detailed information on specific product configurations, see [website photometric test reports](#).



SLING Micro Strike

AREA/SITE/ROAD LIGHTER

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

ADDITIONAL INFORMATION (CONT'D)

OCCUPANCY SENSOR

- Individual fixture control
- Dims product when space is not occupied



7-PIN RECEPTACLE

- Compatible with 3-pin, 5-pin or 7-pin photocontrols
- Turns fixture on when sun sets, off when sun rises
- For use with a variety of control platforms



MOUNTING



Arm Mount – Fixture ships with integral arm for ease of installation. Compatible with Outdoor S2 drill pattern.

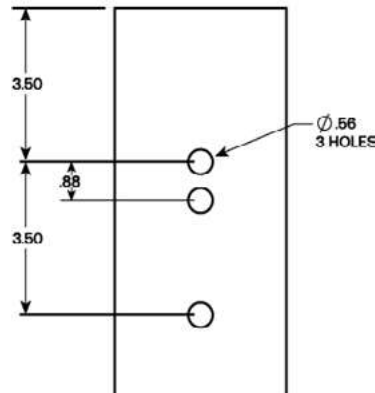


MAF – Fits 2-3/8" OD arms Roadway applications.



Wall Mount – Wall mount bracket designed for building mount applications.

DRILL PATTERN S2

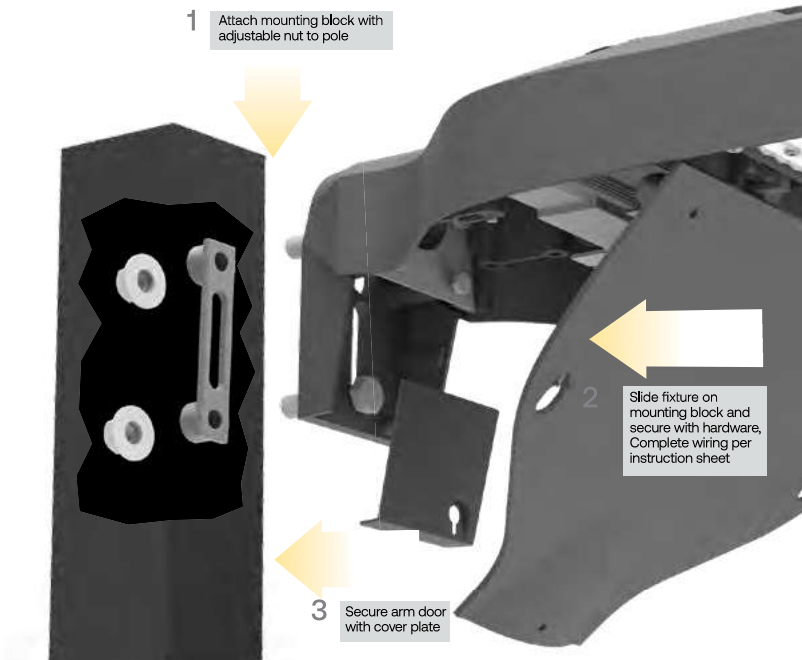


SLING Micro Strike

AREA/SITE/ROAD LIGHTER

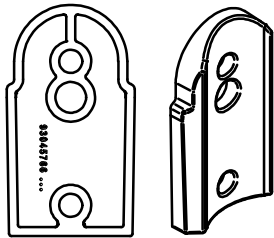
ADDITIONAL INFORMATION (CONT'D)

MOUNTING (CONT'D)



Square Arm Mounting Block –Arm mount block for ease of installation. Compatible with S2 drill patterns from 2.5" to 4.5"

ACCESSORY



ROUND POLE ADAPTER



WB-AREA-XX



SPOKE BRACKET (single arm shown)
Horizontal round arm tenon adapters for use with MAF mounting type or accessory kit. Reference SBH Spoke Pole Top Brackets for ordering information.

SLING Micro Strike

AREA/SITE/ROAD LIGHTER

DATE: _____ LOCATION: _____

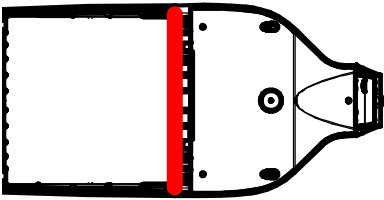
TYPE: _____ PROJECT: _____

CATALOG #: _____

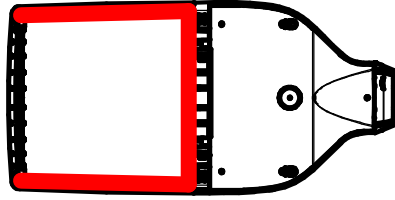
ADDITIONAL INFORMATION (CONT'D)

CONFIGURATIONS

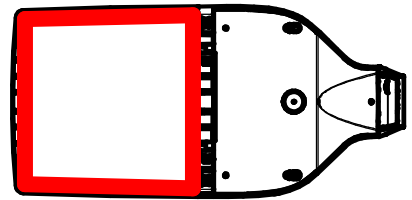
ASLx HSS-90-B-xx



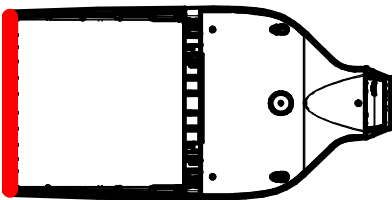
ASLx HSS-270-BSS-xx



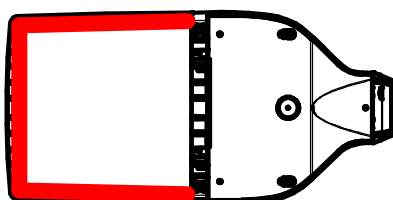
ASLx HSS-360-xx



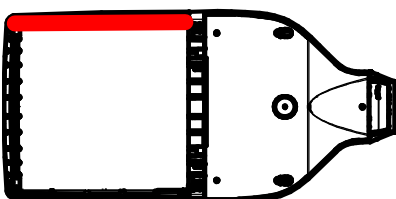
ASLx HSS-90-F-xx



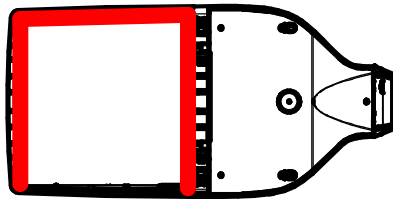
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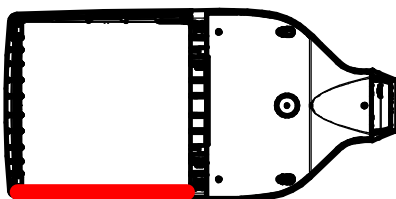
ASLx HSS-90-S-xx



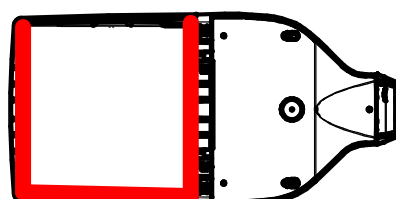
ASLx HSS-270-FSB-xx



ASLx HSS-90-S-xx



ASLx HSS-270-FSB-xx



SSS-H Series Poles

SQUARE STRAIGHT STEEL

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

SPECIFICATIONS

CONSTRUCTION

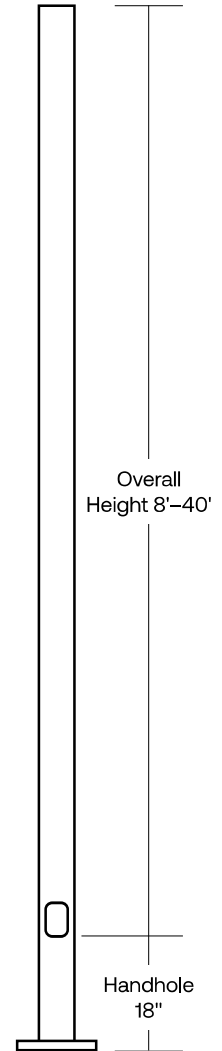
- Shaft: One-piece straight steel with square cross section, flat sides and minimum 0.23" radius on all corners; Minimum yield of 46,000 psi (ASTM-A500, Grade B); Longitudinal weld seam to appear flush with shaft side wall; Steel base plate with axial bolt circle slots welded to pole shaft having minimum yield of 36,000 psi (ASTM A36)
- Base cover: Two-piece square aluminum base cover included standard
- Pole cap: Pole shaft supplied with removable cover when applicable; Tenon and post-top configurations also available
- Hand hole: Rectangular 3x5 steel hand hole frame (2.38" x 4.38" opening); Mounting provisions for grounding lug located behind gasketed cover
- Anchor bolts: Four galvanized anchor bolts provided per pole with minimum yield of 55,000 psi (ASTM F1554). Galvanized hardware with two washers and two nuts per bolt for leveling
 - Anchor bolt part numbers: 3/4 x 30 x 3 — TAB-30-M38
1 x 36 x 4 — TAB-36-M38
- Durable thermoset polyester powder coat paint finish with nominal 3.0 mil thickness
- Powder paint prime applied over "white metal" steel substrate cleaned via mechanical shot blast method
- Decorative finish coat available in multiple standard colors; Custom colors available; RAL number preferable

INSTALLATION

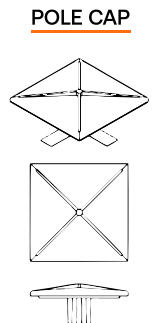
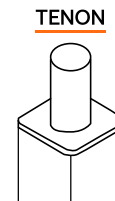
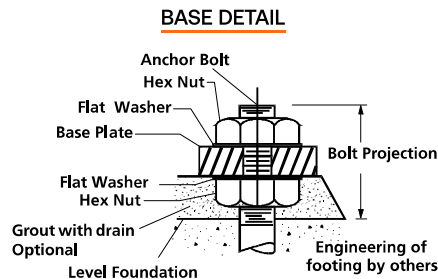
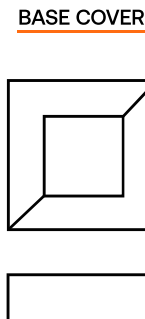
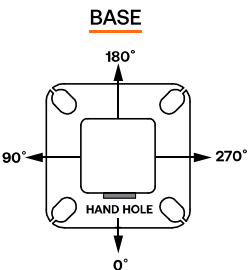
- Lighting installations for side and top mounting of luminaires with effective projected area (EPA) not exceeding maximum allowable loading of the specified pole in its installed geographic location

WAREHOUSE 'STOCKED' POLES:

- SSSH20-40A-4-HV-DBT-WPO and SSS-H25-40A-4HV-DB-WPO (Pole only, must order kit SSSHSTK4KIT for anchor bolts and cap)
- The HV designation in the above catalog numbers is a combination of the S2 pattern and the B3 pattern



SERVICE PROGRAMS



SSS-H Series Poles

SQUARE STRAIGHT STEEL

DATE: _____ LOCATION: _____
 TYPE: _____ PROJECT: _____
 CATALOG #: _____

Gray Shading = Service Program
 Limit of 15 poles **QS10**

ORDERING INFORMATION

Example: SSS-H-25-40-A-2L-S2-DBT-UL

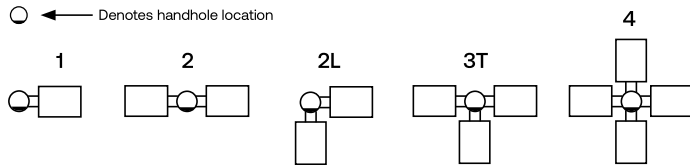
SSS-H Series	Height	Shaft	Thickness	Mounting	Drill Pattern	Finish	Options
SSS-H Square Straight Steel Pole EXO	Reference page 3 Ordering matrix	Reference page 3 Ordering matrix	Reference page 3 Ordering matrix A - .125" Wall B - .188" Wall C - .250" Wall	1 Single arm mount 2 Two fixtures at 180° 2L Two fixtures at 90° 3T Three fixtures at 90° 4 Four fixtures at 90° TA Tenon (2.38" OD x 4" Tall) TB Tenon (2.88" OD x 4" Tall) TC Tenon (3.5" OD x 6" Tall) TR ¹ Removable Tenon (2.38" x 4") OT Open Top (includes pole cap)	B3 2 bolt (2-1/2" spacing), Ratio S2 2 bolt (3-1/2" spacing) UDP Universal Drill Pattern	BLT Black Matte Textured BLS Black Gloss Smooth DBT Dark Bronze Matte Textured DBS Dark Bronze Gloss Smooth GTT Graphite Matte Textured LGT Light Grey Matte Textured LGS Light Grey Gloss Smooth PSS Platinum Silver Smooth WHT White Matte Textured WHS White Gloss Smooth VGT Verde Green Textured Color Option CC Custom Color ²	GF1 ³ 20 Amp GFCI Receptacle and Cover EHH ³ Extra Handhole C05 ³ .5" Coupling C07 ³ .75" Coupling C20 ³ 2" Coupling MPB ³ Mid-pole Luminaire Bracket VM1 ⁴ Mode vibration dampener VM2 ⁵ 2nd mode vibration dampener LAB Less Anchor Bolts UL UL Certified

Accessories (Order Separately)

<input type="checkbox"/>	VM2S08	Field-installed 2nd mode vibration dampener - 8 ft
<input type="checkbox"/>	VM2S12	Field-installed 2nd mode vibration dampener - 12 ft
<input type="checkbox"/>	VM2S16	Field-installed 2nd mode vibration dampener - 16 ft
<input type="checkbox"/>	VM2S20	Field-installed 2nd mode vibration dampener - 20 ft
<input type="checkbox"/>	VM2S25	Field-installed 2nd mode vibration dampener - 25 ft
<input type="checkbox"/>	SSSHSTK4KIT	Pole Cap and anchor bolt kit

- 1 Removable tenon used in conjunction with side arm mounting. First specify desired arm configuration followed by the "TR" notation. Example: SSS-H-25-40-A-1-S2-TR-DB.
- 2 Custom colors available; RAL number preferable
- 3 Specify option location using logic found on page 3 (Option Orientation).
- 4 VM1 recommended on poles 20' and taller with EPA of less than 1.
- 5 There will be a weld witness mark on the side of the pole with the Factory installed VM2

MOUNTING ORIENTATION



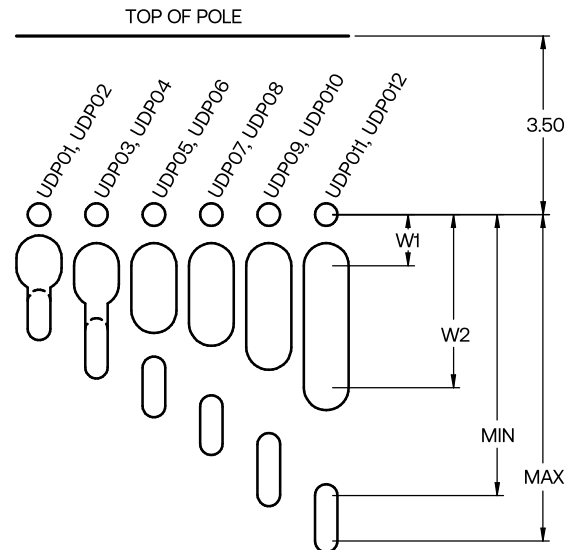
STOCKED POLE ORDERING LOGIC

Catalog #	Description
SSSH20-40A-4-HV-DB-WPO	Square Steel pole, 20', 4' square cross-section, 1/8" wall thickness, Dark Bronze Matte Textured paint. Pole only, no anchor bolts, base cover or pole cap included.
SSSH25-40A-4-HV-DB-WPO	Square Steel pole, 25', 4' square cross-section, 1/8" wall thickness, Dark Bronze Matte Textured paint. Pole only, no anchor bolts, base cover or pole cap included.
SSSHSTK4KIT	Stock kit includes anchor bolts, template, base cover and plastic pole cap. Must be ordered separately from pole.

Note: the HV drill pattern is a combination of the S2 pattern and B3 pattern.

DRILL PATTERNS

UNIVERSAL DRILL PATTERN (UDP)



Two Bolt Mounting with Center Wireway						
Mounting Hardware	Universal Mounting Patterns					
3/8" or less	UDP01	UDP03	UDP05	UDP07	UDP09	UDP011
7/8" to 1/2"	UDP02	UDP04	UDP06	UDP08	UDP10	UDP12
"Min" Attachment Dimension	1.69	2.25	3.00	3.76	4.50	5.50
"Max" Attachment Dimension	2.24	2.99	3.75	4.49	5.49	6.00
W1 (Wireway min)	0.85	1.00	1.00	1.00	1.00	1.00
W2 (Wireway max)	1.05	1.36	1.88	2.13	2.60	3.00

SSS-H Series Poles

SQUARE STRAIGHT STEEL

DATE: _____ LOCATION: _____
 TYPE: _____ PROJECT: _____
 CATALOG #: _____

Gray Shading = Service Program
 Limit of 15 poles **QS10**

ORDERING INFORMATION (CONTINUED)

CATALOG NUMBER	HEIGHT		NOMINAL SHAFT DIMENSIONS	WALL THICKNESS	BOLT CIRCLE (SUGGESTED)	BOLT CIRCLE (RANGE)	BASE PLATE SQUARE	ANCHOR BOLT SIZE	BOLT PROJECTION	POLE WEIGHT (LBS)
	FEET	METERS								
SSS-H-10-40-A-XX-XX	10	3.0	4" square	.0125"	9"	8" - 10"	9"	3/4" x 30" x 3"	3.5	77
SSS-H-12-40-A-XX-XX	12	3.7	4" square	.0125"	9"	8" - 10"	9"	3/4" x 30" x 3"	3.5	90
SSS-H-14-40-A-XX-XX	14	4.3	4" square	.0125"	9"	8" - 10"	9"	3/4" x 30" x 3"	3.5	103
SSS-H-16-40-A-XX-XX	16	4.9	4" square	.0125"	9"	8" - 10"	9"	3/4" x 30" x 3"	3.5	116
SSS-H-18-40-A-XX-XX	18	5.5	4" square	.0125"	9"	8" - 10"	9"	3/4" x 30" x 3"	3.5	129
SSS-H-20-40-A-XX-XX	20	6.1	4" square	.0125"	9"	8" - 10"	9"	3/4" x 30" x 3"	3.5	142
SSS-H-25-40-A-XX-XX	25	7.6	4" square	.0125"	9"	8" - 10"	9"	3/4" x 30" x 3"	3.5	175
SSS-H-14-40-B-XX-XX	14	4.3	4" square	.188"	11"	10" - 12"	10.50"	3/4" x 30" x 3"	3.5	152
SSS-H-16-40-B-XX-XX	16	4.9	4" square	.188"	11"	10" - 12"	10.50"	3/4" x 30" x 3"	3.5	171
SSS-H-18-40-B-XX-XX	18	5.5	4" square	.188"	11"	10" - 12"	10.50"	3/4" x 30" x 3"	3.5	190
SSS-H-20-40-B-XX-XX	20	6.1	4" square	.188"	11"	10" - 12"	10.50"	3/4" x 30" x 3"	3.5	209
SSS-H-25-40-B-XX-XX	25	7.6	4" square	.188"	11"	10" - 12"	10.50"	3/4" x 30" x 3"	3.5	257
SSS-H-30-40-B-XX-XX	30	9.1	4" square	.188"	11"	10" - 12"	10.50"	3/4" x 30" x 3"	3.5	304
SSS-H-16-50-B-XX-XX	16	4.9	5" square	.188"	11"	10.25" - 13.25"	11.50"	1" x 36" x 4"	4.5	219
SSS-H-18-50-B-XX-XX	18	5.5	5" square	.188"	11"	10.25" - 13.25"	11.50"	1" x 36" x 4"	4.5	243
SSS-H-20-50-B-XX-XX	20	6.1	5" square	.188"	11"	10.25" - 13.25"	11.50"	1" x 36" x 4"	4.5	267
SSS-H-25-50-B-XX-XX	25	7.6	5" square	.188"	11"	10.25" - 13.25"	11.50"	1" x 36" x 4"	4.5	327
SSS-H-30-50-B-XX-XX	30	9.1	5" square	.188"	11"	10.25" - 13.25"	11.50"	1" x 36" x 4"	4.5	387
SSS-H-25-50-C-XX-XX	25	7.6	5" square	.25"	11"	10.25" - 13.25"	11.50"	1" x 36" x 4"	4.5	427
SSS-H-30-50-C-XX-XX	30	9.1	5" square	.25"	11"	10.25" - 13.25"	11.50"	1" x 36" x 4"	4.5	507
SSS-H-20-60-B-XX-XX	20	6.1	6" square	.188"	12"	11.00" - 13.25"	12.25"	1" x 36" x 4"	5.0	329
SSS-H-25-60-B-XX-XX	25	7.6	6" square	.188"	12"	11.00" - 13.25"	12.25"	1" x 36" x 4"	5.0	404
SSS-H-30-60-B-XX-XX	30	9.1	6" square	.188"	12"	11.00" - 13.25"	12.25"	1" x 36" x 4"	5.0	479
SSS-H-35-60-B-XX-XX	35	10.7	6" square	.188"	12"	11.00" - 13.25"	12.25"	1" x 36" x 4"	5.0	554
SSS-H-40-60-B-XX-XX	40	12.2	6" square	.188"	12"	11.00" - 13.25"	12.25"	1" x 36" x 4"	5.0	629

- Notes:**
- Factory supplied template must be used when setting anchor bolts. Current will deny any claim for incorrect anchorage placement resulting from failure to use factory supplied template and anchor bolts.
 - For more information about pole vibration and vibration dampeners, please consult factory.
 - Unwrap poles immediately upon receipt to avoid condensation build up and possible corrosion.
- ¹ There will be a weld witness mark on the side of the pole with the Factory installed VM2.

<p>EHH Extra handhole</p> <p>Provision for Grounding</p>	<p>C05 / C07 / C20 Coupling</p> <p>2" -11.5 NPSG Threads 3/4" - 14 NPSG Threads 1/2" - 14 NPSG Threads</p>	<p>VM1 1st mode vibration dampener</p> <p>Field Installed Pole Top dampener designed to reduce pole top deflection or sway. VM1 is recommended for pole systems 25' and taller with a total EPA of 1.0 or less.</p>	<p>VM2¹ 2nd mode vibration dampener</p> <p>Factory installed, internal dampener designed to alter pole resonance to reduce movement and material fatigue caused by 2nd mode vibration.</p>	<p>VM2SXX Field-installed 2nd mode vibration dampener</p> <p>VM2S08 - 8' VM2S12 - 12' VM2S16 - 16' VM2S20 - 20' VM2S24 - 24'</p> <p>Field installed, internal dampener designed to alter pole resonance to reduce movement and material fatigue caused by 2nd mode vibration.</p>
<p>GFI 20 Amp GCFI Receptacle & Cover</p> <p>Square Steel Pole Standard hand hole frame Adapter plate Gasket 20 AMP GCFI Wet Locations In-use Cover</p>	<p>MPB Mid Pole Bracket</p> <p>Square Steel Pole Attachment stub, 5" long, welded to pole 2" pipe tenon, 4.25" tall Arm, 3" Sq. x 13.5" long (ships separately)</p>	<p>Option Orientation</p> <p>Follow the logic below when ordering location specific options. For each option, include its orientation (in degrees) and its height (in feet).</p> <p>Example: Option C05 should be ordered as: SSS-H-20-40-A-TA-DB-C05-0-15 (5" coupling on the handhole/arm side of pole, 15" up from the pole base) 1' spacing required between option. Consult factory for other configurations.</p> <p>180° 90° 270° 0° HAND HOLE Height of option in feet</p>		

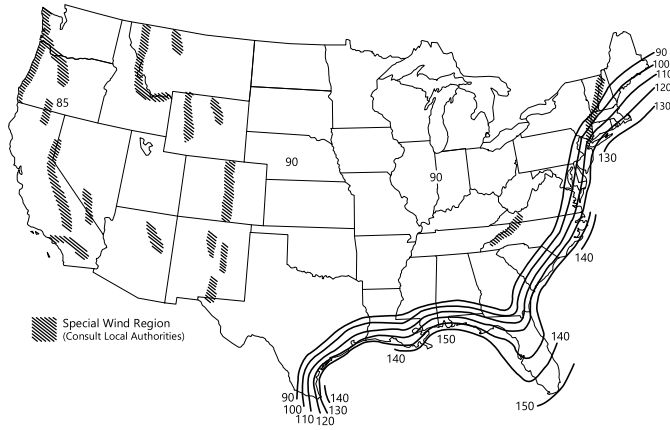
SSS-H Series Poles

SQUARE STRAIGHT STEEL

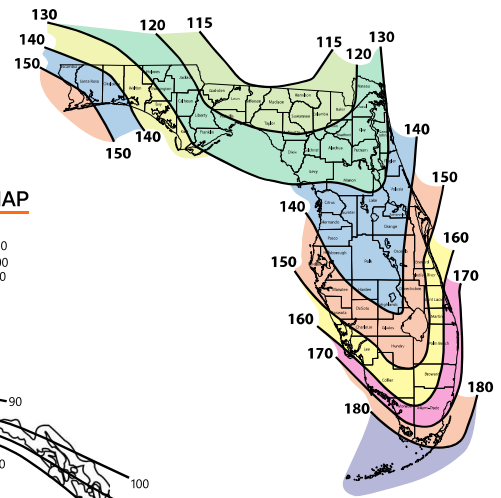
DATE: _____ LOCATION: _____
 TYPE: _____ PROJECT: _____
 CATALOG #: _____

WIND MAPS

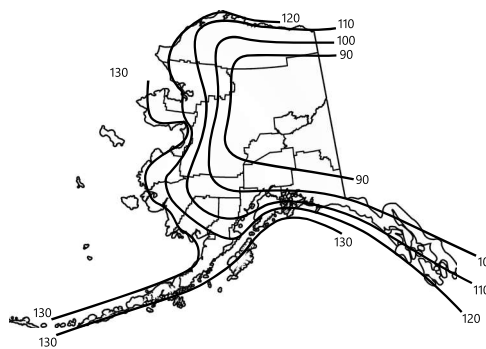
ASCE7-05 WIND MAP



FLORIDA REGION WIND MAP



ALASKA REGION WIND MAP



HAWAII – 105 mph
PUERTO RICO – 145 mph

*Printed with permission from ASCE

Florida region wind map above is based upon 3-second gust winds and the 2017 Florida Building Code.

ASCE 7-05 wind map EPA Load Rating - 3 second gust wind speeds (Use for all locations except Florida)

Catalog Number	85	90	100	105	110	120	130	140	145	150
SSS-H-10-40-A	25.0	25.0	25.0	22.8	20.6	17.0	14.2	11.9	11.0	10.1
SSS-H-12-40-A	25.0	25.0	20.0	18.0	16.1	13.2	10.8	8.9	8.1	7.4
SSS-H-14-40-A	23.1	20.4	16.1	14.3	12.8	10.2	8.2	6.6	5.9	5.3
SSS-H-16-40-A	19.0	16.7	13.0	11.5	10.1	7.9	6.2	4.7	4.1	3.6
SSS-H-18-40-A	15.6	13.6	10.0	9.0	7.8	5.9	4.4	3.1	2.6	2.1
SSS-H-20-40-A	12.7	10.9	7.9	6.9	5.9	4.2	2.8	1.7	1.3	0.9
SSS-H-25-40-A	7.3	5.9	3.8	2.9	2.1	0.8	NR	NR	NR	NR
SSS-H-14-40-B	25.0	25.0	23.3	20.8	18.6	15.1	12.3	10.2	9.2	8.4
SSS-H-16-40-B	25.0	24.9	19.4	17.3	15.4	12.3	9.9	8.0	7.2	6.4
SSS-H-18-40-B	24.0	20.8	16.1	14.2	12.5	9.8	7.7	6.1	5.3	4.7
SSS-H-20-40-B	20.2	17.5	13.2	11.6	10.1	7.7	5.9	4.4	3.8	3.2
SSS-H-25-40-B	12.8	11.0	7.9	6.7	5.5	3.7	2.3	1.2	0.7	NR
SSS-H-30-40-B	8.0	6.6	4.1	3.1	2.2	0.8	NR	NR	NR	NR
SSS-H-16-50-B	25.0	25.0	25.0	25.0	24.8	20.1	16.5	13.6	12.3	11.2
SSS-H-18-50-B	25.0	25.0	25.0	22.9	20.4	16.4	13.2	10.7	9.6	8.6
SSS-H-20-50-B	25.0	25.0	21.3	18.9	16.7	13.2	10.4	8.1	7.2	6.3
SSS-H-25-50-B	20.7	17.8	13.3	11.5	9.8	7.2	5.0	3.3	2.6	1.9
SSS-H-30-50-B	13.5	11.3	7.7	6.2	4.9	2.8	1.1	NR	NR	NR
SSS-H-25-50-C	25.0	25.0	19.4	17.1	15.1	11.7	9.0	6.9	6.0	5.1
SSS-H-30-50-C	20.1	17.3	12.7	10.9	9.3	6.6	4.5	2.8	2.1	1.4
SSS-H-20-60-B	25.0	25.0	25.0	25.0	25.0	20.2	16.1	12.9	11.5	10.3
SSS-H-25-60-B	25.0	25.0	20.6	18.0	15.6	11.8	8.7	6.2	5.2	4.2
SSS-H-30-60-B	21.4	18.1	12.9	10.7	8.8	5.7	3.3	1.3	NR	NR
SSS-H-35-60-B	14.0	11.3	6.9	5.2	3.6	1.0	NR	NR	NR	NR
SSS-H-40-60-B	8.1	5.8	2.2	nr	NR	NR	NR	NR	NR	NR

Florida Building Code 2017 EPA Load Rating - 3 second gust wind speeds (Use for Florida only)

Catalog Number	115	120	130	140	150	160	170	180
SSS-H-10-40-A	25.0	25.0	25.0	25.0	21.4	18.4	15.9	13.9
SSS-H-12-40-A	25.0	25.0	23.6	19.8	16.7	14.2	12.1	10.4
SSS-H-14-40-A	25.0	23.1	19.0	15.7	13.1	10.9	9.1	7.6
SSS-H-16-40-A	20.8	18.7	15.2	12.3	10.1	8.2	6.7	5.4
SSS-H-18-40-A	16.8	15.0	11.9	9.4	7.5	5.9	4.5	3.4
SSS-H-20-40-A	13.6	11.9	9.2	7.1	5.3	3.9	2.7	1.7
SSS-H-25-40-A	7.4	6.2	4.1	2.5	1.1	NR	NR	NR
SSS-H-14-40-B	25.0	23.6	19.4	16.1	13.4	11.2	9.4	7.8
SSS-H-16-40-B	21.4	19.2	15.6	12.7	10.4	8.5	6.9	5.6
SSS-H-18-40-B	17.2	15.4	12.2	9.7	7.7	6.1	4.7	3.6
SSS-H-20-40-B	13.9	12.3	9.5	7.3	5.5	4.1	2.9	1.9
SSS-H-25-40-B	7.7	6.4	4.3	2.6	1.3	NR	NR	NR
SSS-H-30-40-B	3.2	2.1	NR	NR	NR	NR	NR	NR
SSS-H-16-50-B	25.0	25.0	25.0	25.0	25.0	21.4	18.2	15.5
SSS-H-18-50-B	25.0	25.0	25.0	24.4	20.4	17.0	14.2	11.9
SSS-H-20-50-B	25.0	25.0	24.4	19.9	16.3	13.4	11.0	8.9
SSS-H-25-50-B	21.8	19.3	15.0	11.5	8.8	6.5	4.7	3.1
SSS-H-30-50-B	13.7	11.7	8.2	5.5	3.3	1.5	NR	NR
SSS-H-25-50-C	21.8	19.3	15.0	11.5	8.8	6.5	4.7	3.1
SSS-H-30-50-C	13.7	11.7	8.2	5.5	3.3	1.5	NR	NR
SSS-H-20-60-B	25.0	25.0	25.0	21.9	17.8	14.5	11.7	9.4
SSS-H-25-60-B	23.8	20.9	16.1	12.3	9.2	6.6	4.5	2.8
SSS-H-30-60-B	14.6	12.3	8.4	5.3	2.8	0.8	NR	NR
SSS-H-35-60-B	7.5	5.6	2.4	NR	NR	NR	NR	NR
SSS-H-40-60-B	1.8	NR	NR	NR	NR	NR	NR	NR

SSS-H Series Poles

SQUARE STRAIGHT STEEL

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

NOTES

Wind-speed Website disclaimer:

Current has no connection to the linked website and makes no representations as to its accuracy. While the information presented on this third party website provides a useful starting point for analyzing wind conditions, Current has not verified any of the information on this third party website and assumes no responsibility or liability for its accuracy. The material presented in the windspeed website should not be used or relied upon for any specific application without competent examination and verification of its accuracy, suitability and applicability by engineers or other licensed professionals. Current does not intend that the use of this information replace the sound judgment of such competent professionals, having experience and knowledge in the field of practice, nor to substitute for the standard of care required of such professionals in interpreting and applying the results of the windspeed report provided by this website. Users of the information from this third party website assume all liability arising from such use. Use of the output of these referenced websites do not imply approval by the governing building code bodies responsible for building code approval and interpretation for the building site described by latitude/longitude location in the windspeed report. <http://windspeed.atcouncil.org>

- Allowable EPA, to determine max pole loading weight, multiply allowable EPA by 30 lbs.
- The tables for allowable pole EPA are based on the ASCE 7-05 Wind Map or the Florida Region Wind Map for the 2010 Florida Building Code. The Wind Maps are intended only as a general guide and cannot be used in conjunction with other maps. Always consult local authorities to determine maximum wind velocities, gusting and unique wind conditions for each specific application
- Allowable pole EPA for jobsite wind conditions must be equal to or greater than the total EPA for fixtures, arms, and accessories to be assembled to the pole. Responsibility lies with the specifier for correct pole selection. Installation of poles without luminaires or attachment of any unauthorized accessories to poles is discouraged and shall void the manufacturer's warranty
- Wind speeds and listed EPAs are for ground mounted installations. Poles mounted on structures (such as bridges and buildings) must consider vibration and coefficient of height factors beyond this general guide; Consult local and federal standards
- Wind Induced Vibration brought on by steady, unidirectional winds and other unpredictable aerodynamic forces are not included in wind velocity ratings. Consult Current Lighting's Pole Vibration Application Guide for environmental risk factors and design considerations.
- Extreme Wind Events like, Hurricanes, Typhoons, Cyclones, or Tornadoes may expose poles to flying debris, wind shear or other detrimental effects not included in wind velocity ratings

FINDINGS OF FACT – MAP AMENDMENT

CASE NUMBER	PZ2025-0031
PUBLIC HEARING DATE	February 4, 2026
Map Amendment	Rezone from M-1 General Manufacturing to C-2 General Commercial
On February 4, 2026, the Planning and Zoning Commission voted 4-0 for approval of a Map Amendment to rezone 1250 Butterfield Road from M-1 General Manufacturing to C-2 General Commercial zoning district.	
<i>No variation from the provisions of this Ordinance shall be granted unless the Zoning Administrator, Planning & Zoning Commission, and Village Board makes specific written findings based on the standards imposed by this section. These standards are as follows:</i>	
1. The existing use and zoning of nearby property;	
The Commission finds that the surrounding properties within the Village of Mundelein are located in M-1 General Manufacturing and C-2 General Commercial. If the amendment is approved, this property would continue the C-2 zoning district directly south of this property. The proposed development meets the C-2 General Commercial Bulk and Yard requirements.	
2. The extent to which property values of the subject property are diminished by the existing zoning;	
The Commission finds that the current zoning limits the permitted uses on the property. C-2 zoning district will improve the property values in the area by allowing different types of uses in one property.	
3. The extent to which the proposed amendment promotes the public health, safety, and welfare of the Village;	
The Commission finds that the proposed map amendment promotes the public health, safety, and welfare of the Village by enabling future commercial development. The property would yield higher taxes in the form of sales tax as a commercial property.	
4. The relative gain to the public, as compared to the hardship imposed upon the applicant;	
The Commission finds that the proposed rezoning offers opportunities for future growth within the commercial district. Without rezoning, the property may remain non-conforming, and underutilized.	
5. The suitability of the property for the purposes for which it is presently zoned, i.e. the feasibility of developing the property in question for 1 or more uses permitted under the existing zoning classification;	
The Commission finds that the topography of the site, the proximity to office/business parks, and the close proximity to other commercial shopping centers, this site is well suited for more commercial development.	
6. The length of time that a property in question has been vacant, as presently zoned, considered in the context of development in the area where the property is located;	
The Commission finds that the Subject Property has remained non-conforming under the M-1 zoning district for many years. Development opportunities are not viable under the present zoning.	
7. The evidence, or lack of evidence, of community need for the use proposed by the applicant;	
The Commission finds that there is ample evidence to support the community's need for the proposed use by the Petitioner. Given that there is significant lack of new development in the general vicinity, there appears to be a need to revitalize this area.	
8. The consistency of the proposed amendment with the Comprehensive Plan;	
The Comprehensive Plan identifies the Subject Property as "Office/Business Park." C-2 zoning district will facilitate future development of a variety of new commercial development.	
9. That the proposed amendment will benefit the residents of the Village as a whole, and not just the applicant, property owner(s), neighbors of any property under consideration, or other special interest groups, and the extent to which the proposed use would be in the public interest and would not serve solely on the interest of the applicant;	
The Commission finds that the proposed amendment will expand potential retail uses, restaurants, and services not allowed in the current M-1 zoning district that can benefit the uses in the immediate area.	
10. The extent to which the proposed amendment creates nonconformities;	
The Commission finds the proposed amendment will not create new nonconformities.	
11. The trend of development, if any, in the general area of the property in question; and	
The Commission finds the proposed amendment is in line with the overall trend of commercial development in the surrounding area.	
12. Whether adequate public facilities are available including, but not limited to, schools, parks, police and fire protection, roads, sanitary sewers, storm sewers, and water lines, or are reasonably capable of being provided prior to the development of the uses, which would be permitted on the subject property if the amendment were adopted.	
The Commission finds that the public facilities, including water and sewer lines, police and fire protection, and road are adequate to support the development.	

FINDINGS OF FACT – VARIATION 1

CASE NUMBER	PZ2025-0031
PUBLIC HEARING DATE	February 4, 2026
VARIATION	Waiver for the required public entrance from the sidewalk along the primary street frontage.
On February 4, 2026, the Planning and Zoning Commission voted 4-0 for approval of a variation from Section 20.32.040 (A) (4) of the Zoning Ordinance to waive the required entrance from the sidewalk along the primary street frontage at 1250 S. Butterfield Road.	
<i>No variation from the provisions of this Ordinance shall be granted unless the Zoning Administrator, Planning & Zoning Commission, and Village Board makes specific written findings based on the standards imposed by this section. These standards are as follows:</i>	
1. The strict application of the terms of this Ordinance will result in undue hardship;	
The strict enforcement of this Ordinance would impose undue hardship on the Petitioner, as there is no public sidewalk along Butterfield Road. The sidewalk would lead to nowhere and welcome people to walk towards busy traffic.	
2. The plight of the owner is due to unique circumstances;	
The property is subject to unique circumstances, as the Zoning Ordinance does not account for all potential circumstances, particularly those arising from factors beyond the control of the Petitioner and Property Owner. Butterfield Road is a County Road and therefore the Village cannot mandate a public sidewalk along the road.	
3. The variation, if granted, will not alter the essential character of the locality;	
The requested variation will not alter the essential character of the locality, as proper lighting and entrances will still be included in the development for safety of the users.	
<i>The Zoning Administrator, Planning & Zoning Commission, and Village Board, in making its findings, may inquire into the following evidentiary issues, as well as any others deemed appropriate.</i>	
1. Because of the particular physical surroundings, shape or topographical conditions of the specific property involved, a particular hardship or difficulty to the owner would result, as distinguished from a mere inconvenience, if the strict letter of the regulations were to be carried out.	
The shape and size of the Subject Property, as well as the characteristics of the surrounding area, impose a hardship on the property owner, distinguishing it from a mere inconvenience if the regulations are strictly enforced.	
2. The alleged difficulty or hardship has not been created by any person presently having a proprietary interest in the property in question.	
The Commission finds that the Petitioner has successfully demonstrated that the requested variation was not caused by any person currently holding a proprietary interest in the Subject Property.	
3. The granting of the variation will not be detrimental to the public welfare in the neighborhood in which the property is located.	
The Commission finds that the granting of the requested variation will not be detrimental to the public welfare in which the property is located.	
4. The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, endanger the public safety, or impair property values within the neighborhood.	
The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, endanger the public safety, or impair property values within the neighborhood. Parking lot lighting is proposed but will accommodate full cut off shields to achieve the 0.0fc light levels along the property lines while maintaining security light levels within the parking lots.	
5. The proposed variation is consistent with the spirit and intent of this Ordinance and Village land use policies.	
The Commission finds that the proposed variation is consistent with the spirit and intent of this Ordinance and Village land use policies.	
6. The value of the property in question will be substantially reduced if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located.	
The value of the property in question will be substantially reduced if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located.	

FINDINGS OF FACT – VARIATION 2

CASE NUMBER	PZ2025-0031
PUBLIC HEARING DATE	February 4, 2026
VARIATION	Waiver from the requirement of a zero (0) footcandle light level at any property line or public right-of-way line.
On February 4, 2026, the Planning and Zoning Commission voted 4-0 for approval of a variation from Section 20.52.040(A)(1) of the Zoning Ordinance to waive the requirement of a zero (0) footcandle light level at any property line or public right-of-way line at 1212 and 1250 S. Butterfield Road.	
<i>No variation from the provisions of this Ordinance shall be granted unless the Zoning Administrator, Planning & Zoning Commission, and Village Board makes specific written findings based on the standards imposed by this section. These standards are as follows:</i>	
1. The strict application of the terms of this Ordinance will result in undue hardship;	
Strict enforcement of this Ordinance would impose an undue hardship on the Petitioner, as there is no existing roadway lighting along Butterfield Road. To provide safe vehicular movement entering and exiting the site, the development proposes light levels greater than zero (0) throughout the property, particularly at the site entrances.	
2. The plight of the owner is due to unique circumstances;	
The property is subject to unique circumstances, as the Zoning Ordinance does not account for all potential conditions, particularly those arising from factors beyond the control of the Petitioner and Property Owner. Butterfield Road is a County roadway; therefore, the Village cannot require the installation of roadway lighting along the road. The lighting standards in the Zoning Ordinance predate many modern lighting practices and requirements.	
3. The variation, if granted, will not alter the essential character of the locality;	
The requested variation will not alter the essential character of the locality, as the development will continue to provide appropriate lighting and safe, clearly defined entrances for users.	
<i>The Zoning Administrator, Planning & Zoning Commission, and Village Board, in making its findings, may inquire into the following evidentiary issues, as well as any others deemed appropriate.</i>	
1. Because of the particular physical surroundings, shape or topographical conditions of the specific property involved, a particular hardship or difficulty to the owner would result, as distinguished from a mere inconvenience, if the strict letter of the regulations were to be carried out.	
The shape and size of the Subject Property, along with the characteristics of the surrounding area, impose a hardship on the property owner that goes beyond a mere inconvenience if the regulations are strictly enforced. There is currently no roadway lighting along Butterfield Road, and the development has been designed to offer safe light levels throughout the property.	
2. The alleged difficulty or hardship has not been created by any person presently having a proprietary interest in the property in question.	
The Commission finds that the Petitioner has successfully demonstrated that the requested variation was not caused by any person currently holding a proprietary interest in the Subject Property. The lighting standards in the Zoning Ordinance predate many modern lighting practices and requirements.	
3. The granting of the variation will not be detrimental to the public welfare in the neighborhood in which the property is located.	
The Commission finds that the granting of the requested variation will not be detrimental to the public welfare in which the property is located.	
4. The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, endanger the public safety, or impair property values within the neighborhood.	
The proposed variation will not impair an adequate supply of light and air to adjacent properties, substantially increase congestion on public streets, increase the danger of fire, endanger public safety, or impair property values within the neighborhood. Appropriate lighting and vehicular access will remain part of the development.	
5. The proposed variation is consistent with the spirit and intent of this Ordinance and Village land use policies.	
The Commission finds that the proposed variation is consistent with the spirit and intent of this Ordinance and Village land use policies.	
6. The value of the property in question will be substantially reduced if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located.	
The value of the property in question will be substantially reduced if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located.	

CALL TO ORDER

The Regular Meeting of the Planning and Zoning Commission of the Village of Mundelein was held on February 4, 2026 at 300 Plaza Circle, Mundelein. Commissioner K. Garesche called the meeting to order at 7:01 PM.

PLEDGE OF ALLEGIANCE

Commissioner K. Garesche led the Pledge of Allegiance.

ATTENDANCE

Commissioner K. Garesche took the roll call. It indicated as follows:

Board Attendance

PRESENT: K. Anderson, K. Garesche, J. Holden, K. Teehan

ABSENT: T. Roswick, S. Petti, T. Wilson

Village Attendance

PRESENT: I. Guadarrama, Senior Planner; E. Swanson, Recording Secretary

MINUTES APPROVAL

Approve the Planning and Zoning Commission Regular meeting minutes from January 21, 2026

J. Holden moved, seconded by K. Anderson, a **Motion** to approve the Planning and Zoning Commission Meeting Minutes from January 21, 2026. Motion passed 4-0.

RESULT:	Passed [Yes 4, No 0, Abstained 0]
MOVER:	Commissioner J. Holden
SECONDER:	Commissioner K. Anderson
AYES:	K. Anderson, K. Garesche, J. Holden, K. Teehan
NAYS:	None
ABSTAIN:	None

PUBLIC COMMENTARY

K. Garesche opened the floor to general public commentary.

There was no public commentary.

K. Garesche closed the floor to general public commentary.

OLD PZC BUSINESS

There was no old PZC business.

NEW PZC BUSINESS

PZ2025-0030 - 1212 and 1250 S. Butterfield Road - Preliminary and Final Plat of Subdivision

It was decided that the Commission will review both the Plat item and the Zoning Requests simultaneously.

Public Hearing - PZ2025-0031 - 1212 and 1250 S. Butterfield Road - Map Amendment and Variations

Open Public Hearing

K. Anderson moved, seconded by J. Holden, a **Motion** to open Public Hearing PZ2025-0031. Motion Passed 4-0.

RESULT:	Passed [Yes 4, No 0, Abstained 0]
MOVER:	Commissioner K. Anderson
SECONDER:	Commissioner J. Holden
AYES:	K. Anderson, K. Garesche, J. Holden, K. Teehan
NAYS:	None
ABSTAIN:	None

Staff Presentation

Preliminary and Final Plat

I. Guadarrama gave the attached presentation and reviewed the Preliminary and Final Plat with the Commission.

Map Amendment and Variations

I. Guadarrama presented the history on the property and the requests for the Map Amendment and Variations. The petitioner is requesting a map amendment from Industrial to Commercial zoning and variations from connecting to a sidewalk in the

Right of Way, and a Photometric variation from zero foot candles at the property line.

Petitioner Presentation

Preliminary and Final Plat

Michi Mho of Neri Architects was sworn in to speak on behalf of the applicant, Adam Ahmad. The petitioner is proposing to construct a car wash on the North portion of the lot and a Commercial retail building on the south end of the lot. In order to allow for both zoning districts, the applicant would need to re-subdivide the existing lots.

Map Amendment and Variations

Mr. Mho reviewed the plans for the commercial building to be rented out to commercial businesses. He elaborated on the photometric variation request and lack of feasibility to meet zero footcandles at the lot line due to there not being any streetlights in that area. He also reviewed the code requirement to bring a sidewalk from the commercial building to the public right-of-way. However, there is no current sidewalk on the public right-of-way to connect to.

Public Commentary

K. Garesche opened the floor to Public Commentary.

There was no public commentary.

K. Garesche closed the floor to Public Commentary.

Commission Discussion

K. Anderson asked if there was any concerns with property setbacks or transparency code. I. Guadarrama confirmed that they meet all other codes other than the photometric and sidewalk connecting to the County Right of Way.

The Commission asked if the plans have been reviewed by the other departments. I. Guadarrama stated that it had not yet, as the photometric variance would need to be approved before going to the permitting review stage. It went through a general review and there were no comments.

The Commission requested clarification on the landscaping and curbs planned around the drive-through portion of the planned commercial building. J. Holden asked about the median location and entrance/exit traffic flow.

K. Teehan inquired as to if this is the final design, or if the petitioner will need to come back for stylistic reviews. I. Guadarrama stated that the building proposed complies with the code, so after final approval from the Village Board it could progress to permitting.

Request for approval of the Preliminary and Final Plat of Subdivision

J. Holden moved, seconded by K. Anderson, a **Motion** to recommend Approval of the preliminary and final plat of subdivision for the properties located at 1212 and 1250 S Butterfield Road. Motion passed 4-0.

RESULT:	Passed [Yes 4, No 0, Abstained 0]
MOVER:	Commissioner J. Holden
SECONDER:	Commissioner K. Anderson
AYES:	K. Anderson, K. Garesche, J. Holden, K. Teehan
NAYS:	None
ABSTAIN:	None

Request for a Map Amendment

J. Holden moved, seconded by K. Anderson, a **Motion** to to recommend Approval of a map amendment to rezone the property located at 1250 S. Butterfield Road from M-1 General Manufacturing to C-2 General Commercial Zoning District, including the Findings of Fact as presented. Motion passed 4-0.

RESULT:	Passed [Yes 4, No 0, Abstained 0]
MOVER:	Commissioner J. Holden
SECONDER:	Commissioner K. Anderson
AYES:	K. Anderson, K. Garesche, J. Holden, K. Teehan
NAYS:	None
ABSTAIN:	None

Request of a Variation to Section 20.32.040(A)(4)

J. Holden moved, seconded by K. Anderson, a **Motion** to recommend Approval of a variation to Section 20.32.040(A)(4) for the property located at 1250 S Butterfield Road, including the Findings of Fact with the requested changes. Motion passed 4-0.

RESULT:	Passed [Yes 4, No 0, Abstained 0]
MOVER:	Commissioner Jennifer Holden
SECONDER:	Commissioner Kevin Anderson
AYES:	Kevin Anderson, Kerry Garesche, Jennifer Holden, Kevin Teehan
NAYS:	None
ABSTAIN:	None

Request of a Variation to Section 20.52.040(A)(1)

J. Holden moved, seconded by K. Teehan, a **Motion** to recommend Approval of a variation to Section 20.52.040(A)(1) for the property located at 1212 and 1250 S Butterfield Road, including the Findings of Fact with the requested changes. Motion passed 4-0.

RESULT:	Passed [Yes 4, No 0, Abstained 0]
MOVER:	Commissioner J. Holden
SECONDER:	Commissioner K. Teehan
AYES:	K. Anderson, K. Garesche, J. Holden, K. Teehan
NAYS:	None
ABSTAIN:	None

Close Public Hearing

J. Holden moved, seconded by K. Teehan, a **Motion** to close Public Hearing PZ2025-0031. Motion passed 4-0.

RESULT:	Passed [Yes 4, No 0, Abstained 0]
MOVER:	Commissioner J. Holden
SECONDER:	Commissioner K. Teehan
AYES:	K. Anderson, K. Garesche, J. Holden, K. Teehan
NAYS:	None
ABSTAIN:	None

QUESTIONS AND COMMENTS

There were no further questions or comments.

ADJOURNMENT

Adjourn the Planning and Zoning Commission Meeting

J. Holden moved, seconded by K. Anderson, a **Motion** to adjourn the Planning and Zoning Commission meeting of February 4, 2026. Motion passed 4-0

RESULT:	Passed [Yes 4, No 0, Abstained 0]
MOVER:	Commissioner J. Holden

SECONDER: Commissioner K. Anderson
AYES: K. Anderson, K. Garesche, J. Holden, K. Teehan
NAYS: None
ABSTAIN: None

Meeting was adjourned at 7:51 PM

Erin Swanson, Recording Secretary

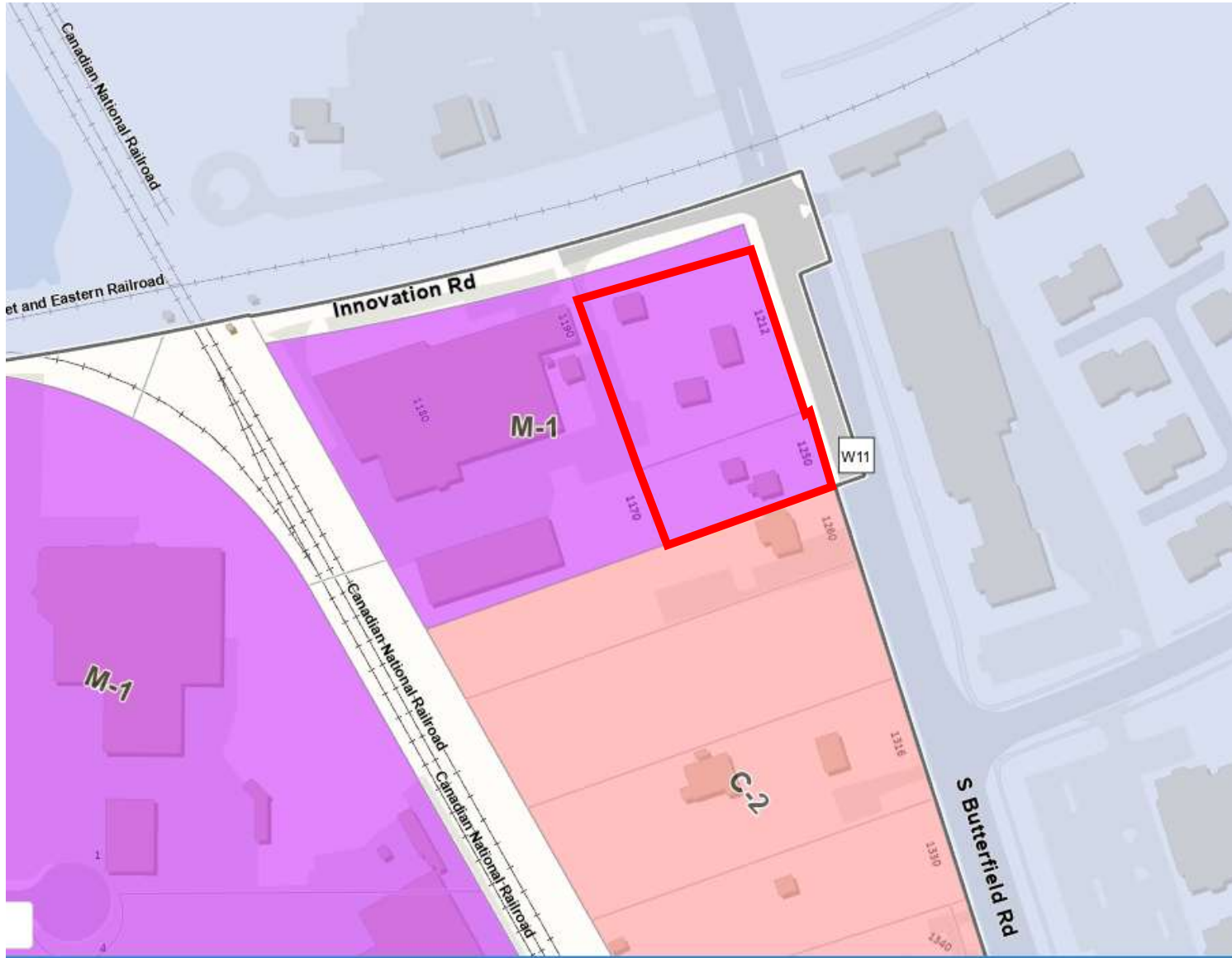


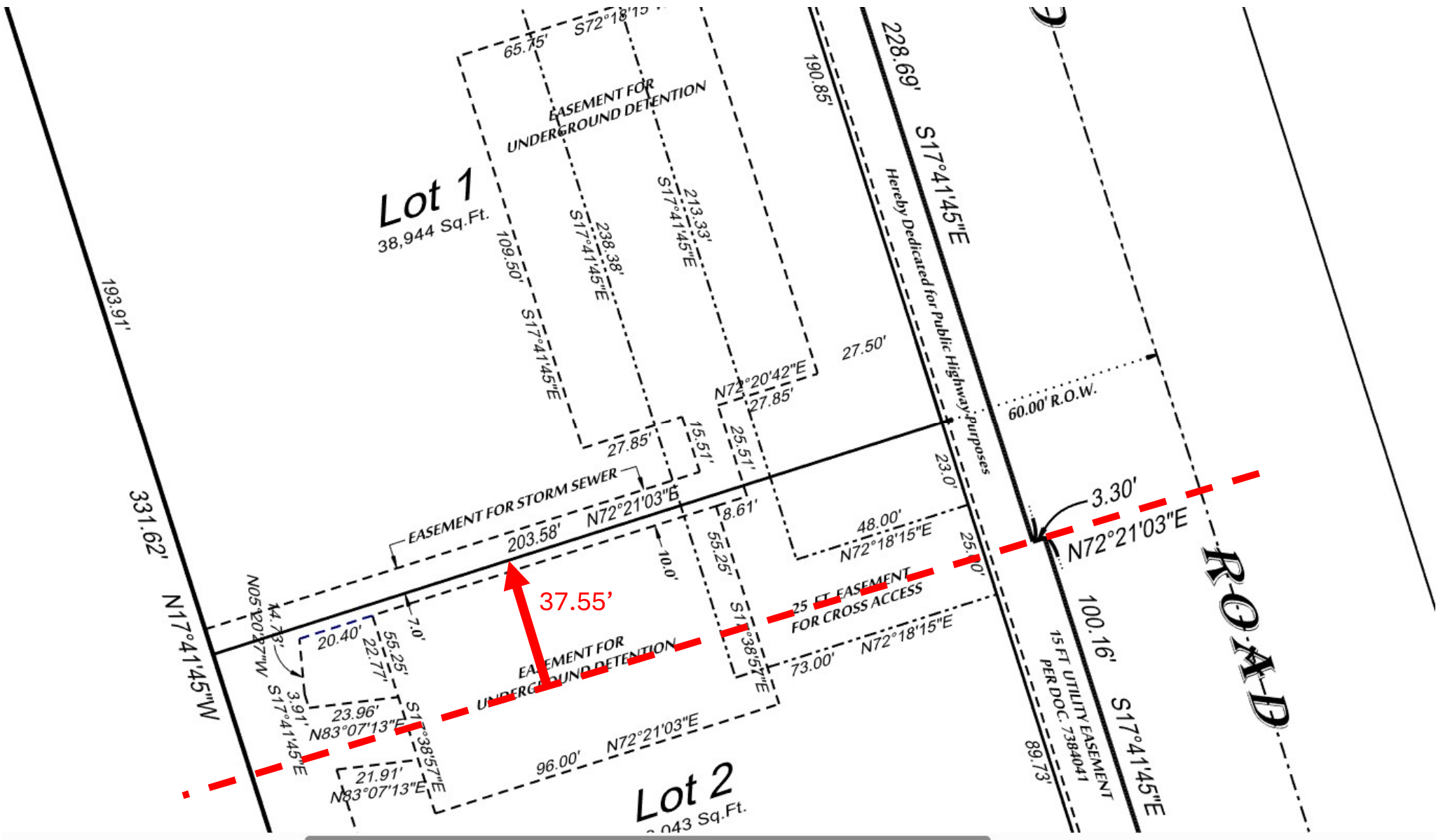
Sign-In Sheet

NAME/COMPANY	ADDRESS	PHONE/EMAIL
Name: <i>MICHI MHD</i>	<i>222 S. PROSPECT AVE</i>	Phone: <i>847-825-9400</i>
Company: <i>NERI ARCHITECTS</i>	<i>PARK RIDGE IL 60068</i>	Email: <i>m.mhd@neriarchitects.com</i>
Name: <i>Adam Ahmad</i>	<i>1845 Haven Ln, 60048</i>	Phone: <i>847-371-1847</i>
Company: <i>Exalted Ventures</i>		Email: <i>mr.adam.ahmad@gmail.com</i>
Name: <i>MICHAEL ELLIOTT</i>		Phone: <i>847-698-6400</i>
Company: <i>TERRA CONSULTING</i>	<i>600 BUSSE HWY</i>	Email:
Name:		Phone:
Company:		Email:
Name:		Phone:
Company:		Email:
Name:		Phone:
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Preliminary and Final Plat of
Subdivision
1212 & 1250 Butterfield Rd.

PZ2025-0030

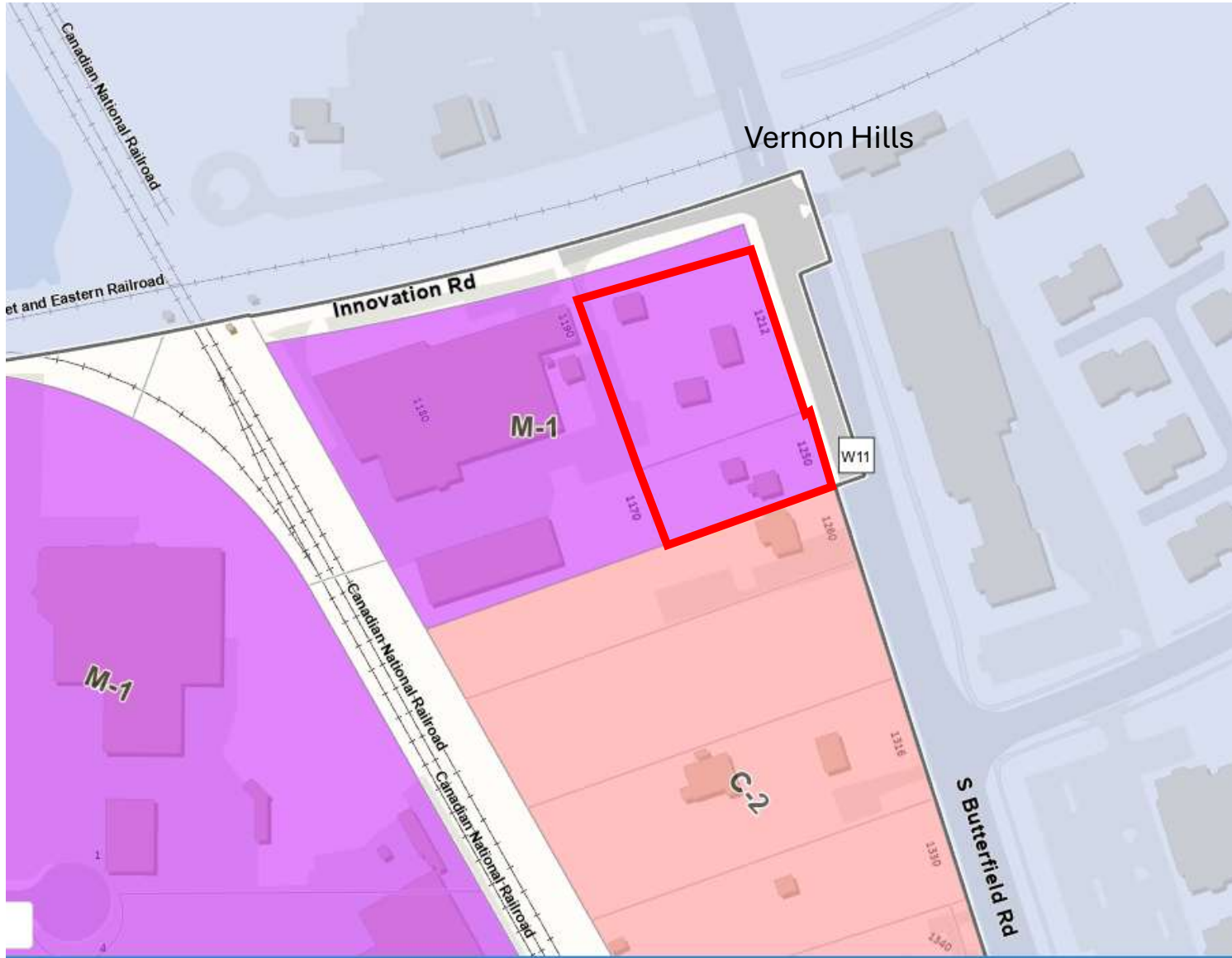




M-1	Requirement	Proposed
Min. Lot Area	10,000 sq. ft.	41,490.24 sq. ft.
Min. Lot Width	100 ft.	191.12 ft.
C-2	Requirement	Proposed
Min. Lot Area	None	30,213.43 sq. ft.
Min. Lot Width	None	137.73 ft.

Map Amendment and Variations 1212 & 1250 Butterfield Rd.

PZ2025-0031





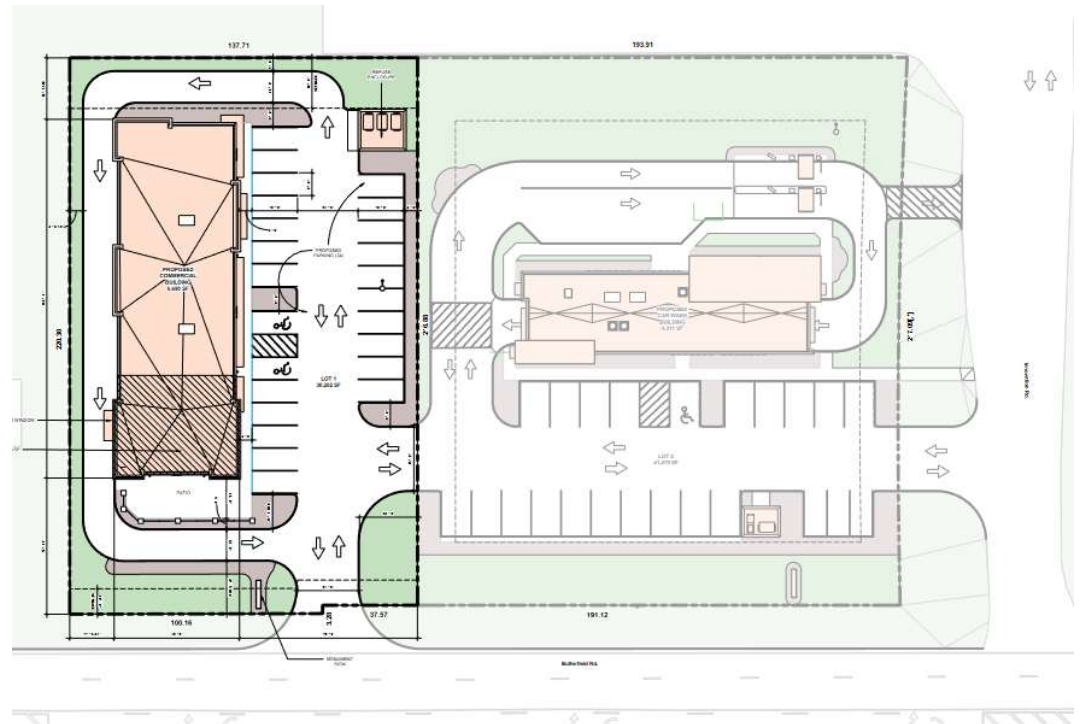
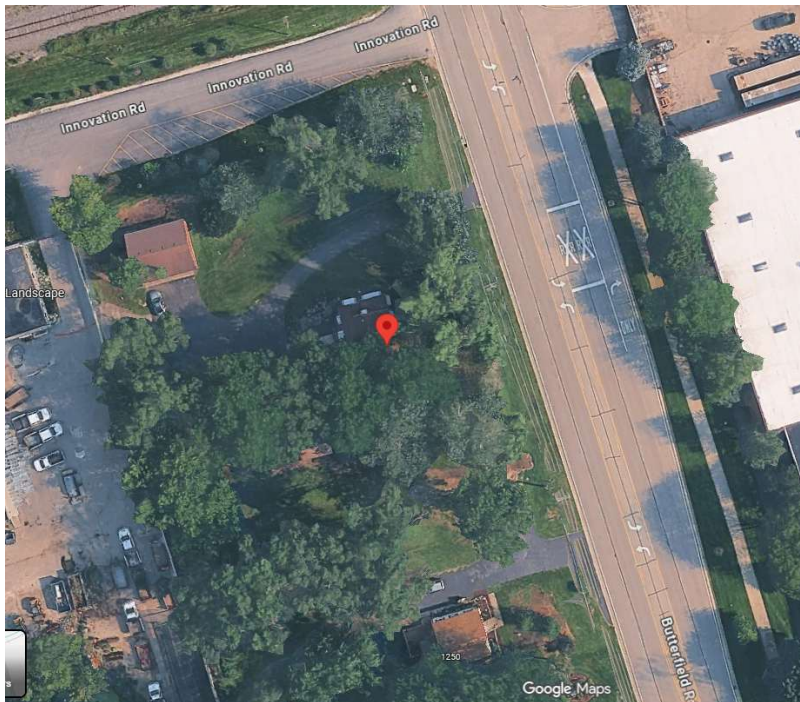
1212 Butterfield Rd.



1250 Butterfield Rd.

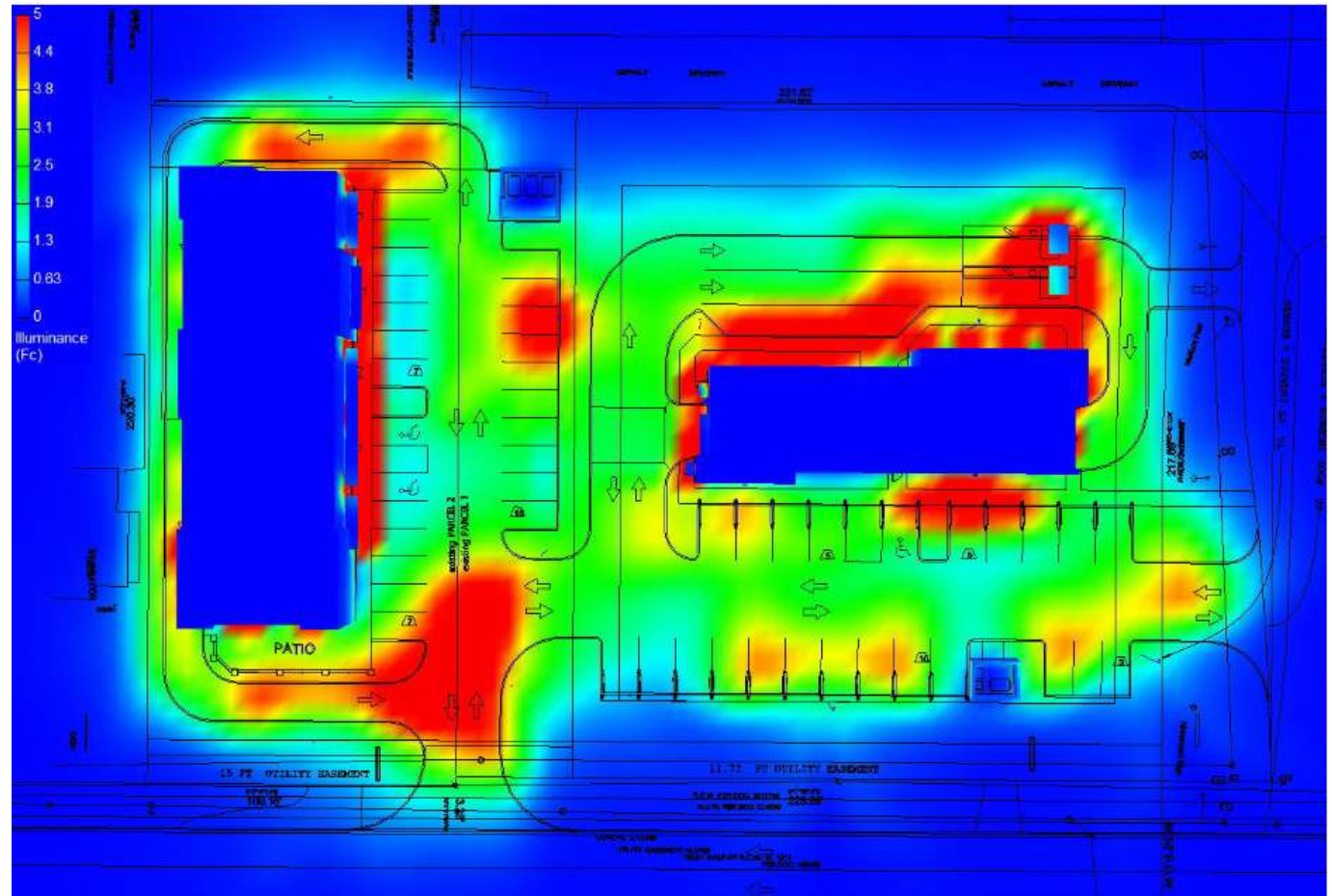
Variance #1 - Section 20.32.040(A)(4)

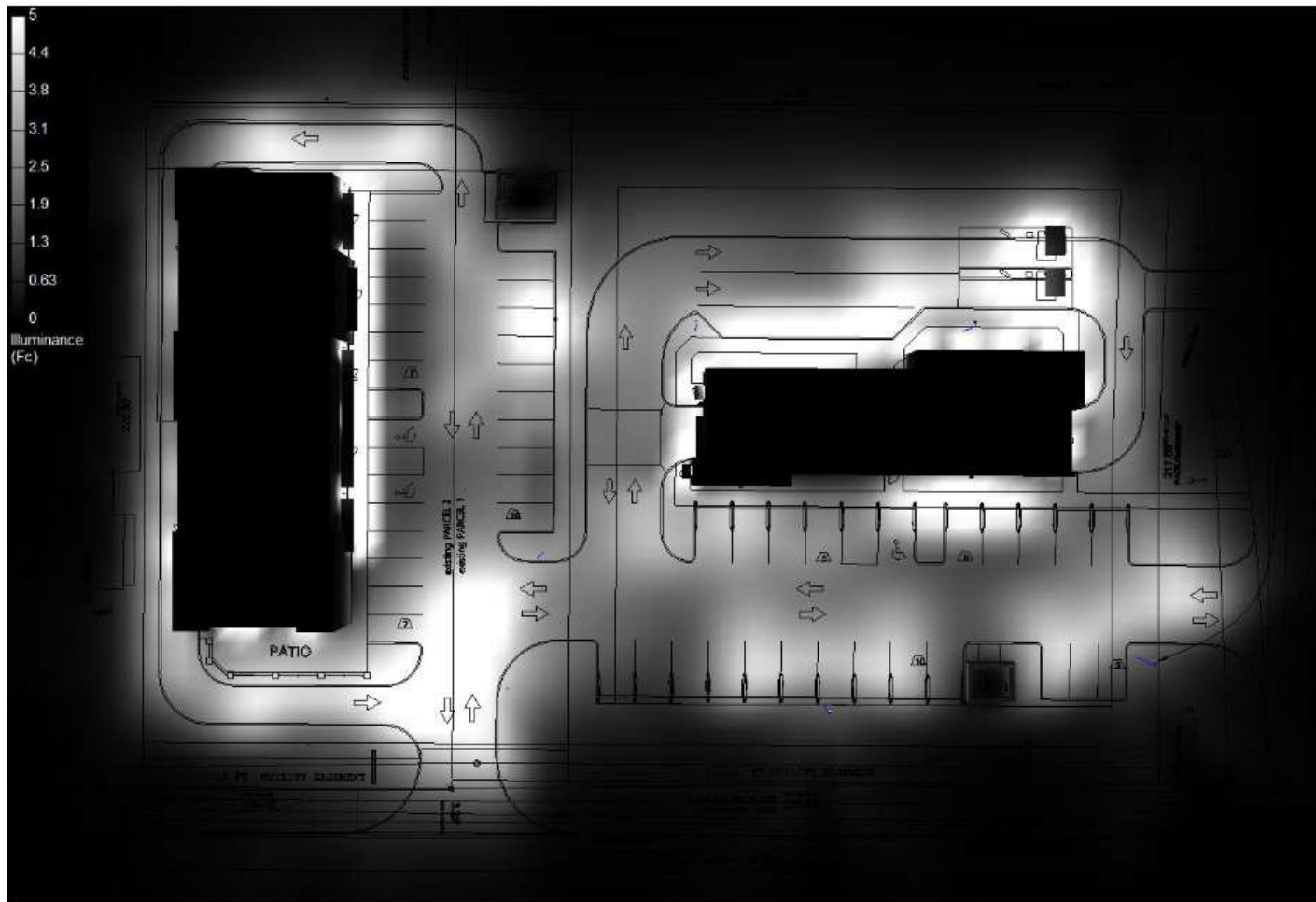
- Provide a public entrance from the sidewalk along the primary street frontage at 1250 Butterfield Rd.



Variance #2 - Section 20.52.040(A)(1)

- Exterior lighting levels not exceed zero foot candles at any property line or public right-of-way at 1212 & 1250 Butterfield Rd.





FINDINGS OF FACT – MAP AMENDMENT

CASE NUMBER	PZ2025-0031
PUBLIC HEARING DATE	February 4, 2026
Map Amendment	Rezone from M-1 General Manufacturing to C-2 General Commercial
On February 4, 2026, the Planning and Zoning Commission voted 4-0 for approval of a Map Amendment to rezone 1250 Butterfield Road from M-1 General Manufacturing to C-2 General Commercial zoning district.	
<i>No variation from the provisions of this Ordinance shall be granted unless the Zoning Administrator, Planning & Zoning Commission, and Village Board makes specific written findings based on the standards imposed by this section. These standards are as follows:</i>	
1. The existing use and zoning of nearby property;	
The Commission finds that the surrounding properties within the Village of Mundelein are located in M-1 General Manufacturing and C-2 General Commercial. If the amendment is approved, this property would continue the C-2 zoning district directly south of this property. The proposed development meets the C-2 General Commercial Bulk and Yard requirements.	
2. The extent to which property values of the subject property are diminished by the existing zoning;	
The Commission finds that the current zoning limits the permitted uses on the property. C-2 zoning district will improve the property values in the area by allowing different types of uses in one property.	
3. The extent to which the proposed amendment promotes the public health, safety, and welfare of the Village;	
The Commission finds that the proposed map amendment promotes the public health, safety, and welfare of the Village by enabling future commercial development. The property would yield higher taxes in the form of sales tax as a commercial property.	
4. The relative gain to the public, as compared to the hardship imposed upon the applicant;	
The Commission finds that the proposed rezoning offers opportunities for future growth within the commercial district. Without rezoning, the property may remain non-conforming, and underutilized.	
5. The suitability of the property for the purposes for which it is presently zoned, i.e. the feasibility of developing the property in question for 1 or more uses permitted under the existing zoning classification;	
The Commission finds that the topography of the site, the proximity to office/business parks, and the close proximity to other commercial shopping centers, this site is well suited for more commercial development.	
6. The length of time that a property in question has been vacant, as presently zoned, considered in the context of development in the area where the property is located;	
The Commission finds that the Subject Property has remained non-conforming under the M-1 zoning district for many years. Development opportunities are not viable under the present zoning.	
7. The evidence, or lack of evidence, of community need for the use proposed by the applicant;	
The Commission finds that there is ample evidence to support the community's need for the proposed use by the Petitioner. Given that there is significant lack of new development in the general vicinity, there appears to be a need to revitalize this area.	
8. The consistency of the proposed amendment with the Comprehensive Plan;	
The Comprehensive Plan identifies the Subject Property as "Office/Business Park." C-2 zoning district will facilitate future development of a variety of new commercial development.	
9. That the proposed amendment will benefit the residents of the Village as a whole, and not just the applicant, property owner(s), neighbors of any property under consideration, or other special interest groups, and the extent to which the proposed use would be in the public interest and would not serve solely on the interest of the applicant;	
The Commission finds that the proposed amendment will expand potential retail uses, restaurants, and services not allowed in the current M-1 zoning district that can benefit the uses in the immediate area.	
10. The extent to which the proposed amendment creates nonconformities;	
The Commission finds the proposed amendment will not create new nonconformities.	
11. The trend of development, if any, in the general area of the property in question; and	
The Commission finds the proposed amendment is in line with the overall trend of commercial development in the surrounding area.	
12. Whether adequate public facilities are available including, but not limited to, schools, parks, police and fire protection, roads, sanitary sewers, storm sewers, and water lines, or are reasonably capable of being provided prior to the development of the uses, which would be permitted on the subject property if the amendment were adopted.	
The Commission finds that the public facilities, including water and sewer lines, police and fire protection, and road are adequate to support the development.	

FINDINGS OF FACT – VARIATION 1

CASE NUMBER	PZ2025-0031
PUBLIC HEARING DATE	February 4, 2026
VARIATION	Waiver for the required public entrance from the sidewalk along the primary street frontage.
On February 4, 2026, the Planning and Zoning Commission voted 4-0 for approval of a variation from Section 20.32.040 (A) (4) of the Zoning Ordinance to waive the required entrance from the sidewalk along the primary street frontage at 1250 S. Butterfield Road.	
<i>No variation from the provisions of this Ordinance shall be granted unless the Zoning Administrator, Planning & Zoning Commission, and Village Board makes specific written findings based on the standards imposed by this section. These standards are as follows:</i>	
1. The strict application of the terms of this Ordinance will result in undue hardship;	
The strict enforcement of this Ordinance would impose undue hardship on the Petitioner, as there is no public sidewalk along Butterfield Road. The sidewalk would lead to nowhere and welcome people to walk towards busy traffic.	
2. The plight of the owner is due to unique circumstances;	
The property is subject to unique circumstances, as the Zoning Ordinance does not account for all potential circumstances, particularly those arising from factors beyond the control of the Petitioner and Property Owner. Butterfield Road is a County Road and therefore the Village cannot mandate a public sidewalk along the road.	
3. The variation, if granted, will not alter the essential character of the locality;	
The requested variation will not alter the essential character of the locality, as proper lighting and entrances will still be included in the development for safety of the users.	
<i>The Zoning Administrator, Planning & Zoning Commission, and Village Board, in making its findings, may inquire into the following evidentiary issues, as well as any others deemed appropriate.</i>	
1. Because of the particular physical surroundings, shape or topographical conditions of the specific property involved, a particular hardship or difficulty to the owner would result, as distinguished from a mere inconvenience, if the strict letter of the regulations were to be carried out.	
The shape and size of the Subject Property, as well as the characteristics of the surrounding area, impose a hardship on the property owner, distinguishing it from a mere inconvenience if the regulations are strictly enforced.	
2. The alleged difficulty or hardship has not been created by any person presently having a proprietary interest in the property in question.	
The Commission finds that the Petitioner has successfully demonstrated that the requested variation was not caused by any person currently holding a proprietary interest in the Subject Property.	
3. The granting of the variation will not be detrimental to the public welfare in the neighborhood in which the property is located.	
The Commission finds that the granting of the requested variation will not be detrimental to the public welfare in which the property is located.	
4. The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, endanger the public safety, or impair property values within the neighborhood.	
The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, endanger the public safety, or impair property values within the neighborhood. Parking lot lighting is proposed but will accommodate full cut off shields to achieve the 0.0fc light levels along the property lines while maintaining security light levels within the parking lots.	
5. The proposed variation is consistent with the spirit and intent of this Ordinance and Village land use policies.	
The Commission finds that the proposed variation is consistent with the spirit and intent of this Ordinance and Village land use policies.	
6. The value of the property in question will be substantially reduced if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located.	
The value of the property in question will be substantially reduced if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located.	

FINDINGS OF FACT – VARIATION 2

CASE NUMBER	PZ2025-0031
PUBLIC HEARING DATE	February 4, 2026
VARIATION	Waiver from the requirement of a zero (0) footcandle light level at any property line or public right-of-way line.
On February 4, 2026, the Planning and Zoning Commission voted 4-0 for approval of a variation from Section 20.52.040(A)(1) of the Zoning Ordinance to waive the requirement of a zero (0) footcandle light level at any property line or public right-of-way line at 1212 and 1250 S. Butterfield Road.	
<i>No variation from the provisions of this Ordinance shall be granted unless the Zoning Administrator, Planning & Zoning Commission, and Village Board makes specific written findings based on the standards imposed by this section. These standards are as follows:</i>	
1. The strict application of the terms of this Ordinance will result in undue hardship;	
Strict enforcement of this Ordinance would impose an undue hardship on the Petitioner, as there is no existing roadway lighting along Butterfield Road. To provide safe vehicular movement entering and exiting the site, the development proposes light levels greater than zero (0) throughout the property, particularly at the site entrances.	
2. The plight of the owner is due to unique circumstances;	
The property is subject to unique circumstances, as the Zoning Ordinance does not account for all potential conditions, particularly those arising from factors beyond the control of the Petitioner and Property Owner. Butterfield Road is a County roadway; therefore, the Village cannot require the installation of roadway lighting along the road. The lighting standards in the Zoning Ordinance predate many modern lighting practices and requirements.	
3. The variation, if granted, will not alter the essential character of the locality;	
The requested variation will not alter the essential character of the locality, as the development will continue to provide appropriate lighting and safe, clearly defined entrances for users.	
<i>The Zoning Administrator, Planning & Zoning Commission, and Village Board, in making its findings, may inquire into the following evidentiary issues, as well as any others deemed appropriate.</i>	
1. Because of the particular physical surroundings, shape or topographical conditions of the specific property involved, a particular hardship or difficulty to the owner would result, as distinguished from a mere inconvenience, if the strict letter of the regulations were to be carried out.	
The shape and size of the Subject Property, along with the characteristics of the surrounding area, impose a hardship on the property owner that goes beyond a mere inconvenience if the regulations are strictly enforced. There is currently no roadway lighting along Butterfield Road, and the development has been designed to offer safe light levels throughout the property.	
2. The alleged difficulty or hardship has not been created by any person presently having a proprietary interest in the property in question.	
The Commission finds that the Petitioner has successfully demonstrated that the requested variation was not caused by any person currently holding a proprietary interest in the Subject Property. The lighting standards in the Zoning Ordinance predate many modern lighting practices and requirements.	
3. The granting of the variation will not be detrimental to the public welfare in the neighborhood in which the property is located.	
The Commission finds that the granting of the requested variation will not be detrimental to the public welfare in which the property is located.	
4. The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, endanger the public safety, or impair property values within the neighborhood.	
The proposed variation will not impair an adequate supply of light and air to adjacent properties, substantially increase congestion on public streets, increase the danger of fire, endanger public safety, or impair property values within the neighborhood. Appropriate lighting and vehicular access will remain part of the development.	
5. The proposed variation is consistent with the spirit and intent of this Ordinance and Village land use policies.	
The Commission finds that the proposed variation is consistent with the spirit and intent of this Ordinance and Village land use policies.	
6. The value of the property in question will be substantially reduced if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located.	
The value of the property in question will be substantially reduced if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located.	

To: Mayor and Board of Trustees

From: Kelsey Langelier, Business Services Manager

For: Village Board Meeting of February 23, 2026

Subject: Intergovernmental Agreement between the Lake County Stormwater Commission and the Village of Mundelein for the Wellington Avenue Drainage Improvements Project

Financial Impact:

Attachments:

1. IGA - SIRF Wellington Avenue

Background:

The Lake County Stormwater Management Commission (SMC) approved a Stormwater Infrastructure Repair Fund (SIRF) grant for the Wellington Avenue Drainage Improvement project. The project includes adding a .35 ac.-ft. of stormwater detention basin at 101 Wellington Avenue, as well as an additional upsized sewer. The estimated project cost is \$133,000. SMC will reimburse the Village for 50% (\$65,000) of the project expenditures, formalized by the intergovernmental agreement. Funds for the project were included in the FY27 budget request.

Recommendation:

Motion to authorize the Mayor to sign an Intergovernmental Agreement between the Lake County Stormwater Commission and the Village of Mundelein for the Wellington Avenue Drainage Improvement Project.

INTERGOVERNMENTAL AGREEMENT
between the
LAKE COUNTY
STORMWATER MANAGEMENT COMMISSION
and the
VILLAGE OF MUNDELEIN
for the
WELLINGTON AVENUE DRAINAGE IMPROVEMENTS PROJECT

THIS IS AN AGREEMENT by and between the LAKE COUNTY STORMWATER MANAGEMENT COMMISSION, 500 W. Winchester Rd., Libertyville, Illinois 60048 (hereinafter called SMC) and the VILLAGE OF MUNDELEIN 300 Plaza Circle, Mundelein, Illinois 60060 (hereinafter called VILLAGE).

PROJECT DESCRIPTION

This project is located in the Cameron Park Subdivision in the Village of Mundelein. The project includes the design, permitting, and construction of an approximately 0.35 acre-foot naturalized detention basin, 250 linear feet of 12-inch storm sewer, and three storm sewer structures at Property Index Number (PIN) 1024416020. This project will prevent structural flooding at 31 Wellington Avenue, and 102 Wellington Avenue up to the 10-year critical duration storm event. The project will also reduce roadway flooding at Wellington Avenue.

This work is hereinafter called the PROJECT.

SCOPE OF WORK

1. The VILLAGE will complete the PROJECT as described above and as further detailed in the PROJECT WORK PLAN, which is described below.
2. The VILLAGE will hire all consultants and/or contractors and procure all materials and/or equipment necessary to complete the PROJECT.
3. Upon request, SMC will provide limited technical assistance to the VILLAGE during the PROJECT. This may include review of design documents, permit applications, and/or the methods, materials, and equipment to be used during construction.
4. The VILLAGE will prepare and submit to SMC a detailed PROJECT WORK PLAN, describing the tasks to be completed, expected project results, and methods that will be used to evaluate the project results, and including a detailed schedule for the PROJECT.

5. The VILLAGE or its technical representative shall develop an Operation and Maintenance Plan (O&M Plan) to ensure the long-term viability of the PROJECT. The O&M Plan shall include at a minimum, annual inspections and appropriate maintenance activities. The VILLAGE shall identify the financial resources for the implementation of the O&M Plan and include that information in the O&M Plan.
6. For work performed within a public road right-of-way (ROW), easement documentation is not required. However, except when the jurisdictional road authority is performing the work, no work within public road rights-of-way shall be performed without appropriate permits or authorization from the jurisdictional road authority. Evidence of such land rights shall be provided to the SMC prior to construction.
7. For in-the-ground construction outside the road ROW, the VILLAGE shall, **prior to construction**, provide SMC with evidence of all land rights necessary to complete and maintain the PROJECT improvements, including Owner-authorized land access and/or land rights or evidence of possessory interest, in the form of previously recorded documentation or written authorization, **from all property owners affected**. Upon request, SMC staff may provide limited assistance. Land rights for each parcel shall include the following:
 - a) A recordable permanent easement for the PROJECT land area where the stormwater infrastructure (e.g., drainageway, storage area, swale, permeable parking area, etc.) is located.
 - b) If necessary, a temporary construction easement, or other right of access, to access the PROJECT area.
 - c) If necessary, a recordable permanent ingress and egress access path or access point for the purpose of accessing the permanent easement premises to maintain the PROJECT.

Instruments for documentation or authorization may include recorded permanent easements; land covenants, deed-restricted areas, or prescriptive easement (with the Owner's authorization or evidence of possessory interest); or other Owner-approved and SMC-accepted legal instruments (i.e., owner-executed license agreement). The VILLAGE shall provide SMC with evidence of such land rights prior to construction.

8. The PROJECT will comply with or be consistent with all applicable regulations, laws, and statutes. The VILLAGE will obtain all permits necessary to complete the PROJECT, including, but not limited to, if necessary, a wetland permit from the US Army Corps of Engineers (USACE), a Watershed Development Permit from SMC or the appropriate certified community (as applicable), a construction stormwater permit from the Illinois Environmental Protection Agency (IEPA), and a consultation with the Illinois Department of Natural Resources (IDNR) regarding state listed threatened and endangered species. Please note that permit fees are the responsibility of the VILLAGE

and are not reimbursable under this AGREEMENT; however, such fees may count toward the VILLAGE's share of the total PROJECT cost.

9. During the PROJECT, the VILLAGE will prepare and submit to SMC a brief one- to two-page written progress report and, upon completion of the PROJECT, a brief one to two page written final report. Photographic documentation of before, during, and after construction must be included.

SCHEDULE

1. The VILLAGE shall submit a PROJECT WORK PLAN to SMC prior to construction and no later than March 1, 2026.
2. The VILLAGE shall submit a brief written progress report on the PROJECT to SMC on or before July 31, 2026.
3. The VILLAGE shall complete the PROJECT on or before November 30, 2026. If necessary, the VILLAGE may request an extension from SMC (in writing) prior to November 1, 2026.
4. The VILLAGE shall submit a written final report on the PROJECT to SMC on or before November 30, 2026. If necessary, the VILLAGE may request an extension from SMC (in writing) prior to November 1, 2026.
5. The VILLAGE shall submit the O&M Plan concurrently with the project final report and should include annual inspections and appropriate maintenance activities.
6. The VILLAGE shall submit a written request for reimbursement of eligible PROJECT expenditures to SMC on or before November 30, 2026. If necessary, the VILLAGE may request an extension from SMC (in writing) prior to that date. Requests for reimbursement submitted after the deadline will not be honored unless the SMC granted an extension prior to that date.

COMPENSATION

1. The total cost of the PROJECT is approximately \$133,000.
2. SMC will reimburse the VILLAGE for 50% of eligible PROJECT expenditures made after execution of this AGREEMENT by SMC, or \$65,000, whichever is less.
3. Operation and maintenance costs that are not identified in the SCOPE OF WORK, or that occur after the terms of this Agreement, are not eligible for reimbursement.
4. Final payment of reimbursable expenditures shall become due and payable by SMC after successful completion of the PROJECT and the receipt of a written request for

reimbursement from the VILLAGE to SMC along with an invoice for the requested reimbursement amount and adequate documentation of the PROJECT expenditures (e.g., invoices, proof of payment, etc.), including in-kind services.

TERMS AND CONDITIONS

1. The terms of this AGREEMENT are valid until November 30, 2026.
2. The VILLAGE agrees to be responsible for the long-term operation and maintenance of the PROJECT.
3. Either party may terminate this AGREEMENT upon 30 days written notice to the other party. In the event of such termination occurring prior to project completion, SMC shall reimburse the VILLAGE for 50% of eligible PROJECT expenditures made up to the date of termination, up to a maximum of \$32,500.
4. All adjustments, additions, and/or deletions to this AGREEMENT, including substantive changes to the PROJECT description and/or scope of work, are subject to the written approval of both parties.
5. The VILLAGE will encourage property owners benefitting from the PROJECT to contribute to the PROJECT in the form of cash, in-kind services, and/or the value of land rights granted to the VILLAGE. Any costs associated with acquiring land rights from property owners benefitting from the PROJECT are the responsibility of the VILLAGE and are not reimbursable under this AGREEMENT; however, such costs may count toward the VILLAGE's share of the total PROJECT cost.
6. The VILLAGE will include in any PROJECT-related publications created for general external circulation (e.g., brochures, newsletters, and website and presentation materials) the following phrase: *"Funding for this project was provided in part by the Lake County Stormwater Management Commission."*
7. This AGREEMENT shall be governed by and construed according to the laws of the State of Illinois.
8. This AGREEMENT supersedes any and all other agreements, oral or written, between the parties hereto with respect to the subject matter hereof.

IN WITNESS WHEREOF, the parties have caused this AGREEMENT to be executed, as evidenced by the signatures of their duly authorized representative as affixed below.

**LAKE COUNTY STORMWATER
MANAGEMENT COMMISSION:**

VILLAGE OF MUNDELEIN:

Kurt A. Woolford
Executive Director

Robin Meier
Mayor

Date:

Date:

To: Mayor and Board of Trustees

From: Kelsey Langelier, Business Services Manager

For: Village Board Meeting of February 23, 2026

Subject: NIMEC Electricity Bid - Large and Medium Accounts

Financial Impact:

N/A

Attachments:

None

Background:

The Village's electricity contract expires in December. The contract is typically bid through a consortium managed by the Northern Illinois Municipal Electric Collaborative (NIMEC). A tentative bid date is set for March 11, 2026. Due to the nature of the bidding process, the contract must be approved immediately upon receipt. Accordingly, authorization is requested for the Village Administrator to approve an electricity contract with the lowest-cost provider upon bid receipt.

Recommendation:

Motion to adopt a Resolution authorizing Mundelein to participate in the Northern Illinois Municipal Electric Collaborative (NIMEC) bid process and authorizing the Village Administrator to approve a contract with the lowest cost electricity provider.

I hereby certify that the attached is an original of

Resolution No. R-26-02-9

that said Resolution was adopted on **February 23, 2026**,

that it was posted in the Village Hall commencing on

4/23/2024 and for at least 10 days

thereafter. Copies are available for public inspection

upon request of the Village Clerk.

Village Clerk

RESOLUTION NO. R-26-02-9

RESOLUTION AUTHORIZING THE VILLAGE OF MUNDELEIN TO PARTICIPATE IN THE NORTHERN ILLINOIS MUNICIPAL ELECTRIC COLLABORATIVE (NIMEC) ELECTRICITY BID PROCESS AND AUTHORIZING THE VILLAGE ADMINISTRATOR TO APPROVE AN ELECTRICITY CONTRACT WITH THE LOWEST COST ELECTRICITY PROVIDER

WHEREAS the Village of Mundelein ("The Village") is a municipality in accordance with the Constitution of the State of Illinois of 1970; and

WHEREAS, on January 2, 2007, the State of Illinois implemented a plan to deregulate Commonwealth Edison; and

WHEREAS, as a result of deregulation, electricity may be purchased based on market price, with competitive market forces dictating the price of electricity; and

WHEREAS, the Village of Mundelein has selected the Northern Illinois Municipal Electric Collaborative (NIMEC) to serve as the Village's broker for the acquisition of electrical energy for large accounts; and

WHEREAS, NIMEC's compensation is included in the electricity price, so there is no direct payment made to NIMEC by the Village; and

WHEREAS the Village has been working with NIMEC since 2008; and

WHEREAS, the Village desires to purchase electricity for its large accounts on the competitive market; and

WHEREAS, the Village has contracts for each of its large accounts expiring after the December 2026 billing cycle ; and

WHEREAS, NIMEC has tentatively set a bid date for electricity pricing of March 11, 2026; and

WHEREAS, due to the nature of the electricity supply market, bids must be accepted on the day of the bid, which requires advance approval by the Village Board to authorize prompt execution of the contract after the bids are received; and

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES FOR THE VILLAGE OF MUNDELEIN, LAKE COUNTY, ILLINOIS, AS FOLLOWS:

Section I. The Northern Illinois Municipal Electric Collaborative (NIMEC) is appointed as the broker for the Village of Mundelein for purposes of obtaining an electricity supply contract for the Village's large and medium-sized electrical accounts.

Section II. The Village Administrator, or his designee, is authorized to negotiate energy rates directly with suppliers in an effort to secure lower energy costs.

Section III. On the day bids are received by NIMEC, the Village Administrator, or his designee, is hereby

authorized to sign the contract with the lowest responsive and responsible bidder for the term which he determines best meets the needs of the Village.

RESULT: []
MOVER: None
SECONDER: None
AYES: None
NAYS: None
ABSTAIN: None

President

ADOPTED: Monday, February 23, 2026

APPROVED: Monday, February 23, 2026

ATTEST: _____

Village Clerk

To: Mayor and Board of Trustees

From: Kelsey Langelier, Business Services Manager

For: Village Board Meeting of February 23, 2026

Subject: PW&E Gate Repair

Financial Impact:

\$33,150 - 100-000-34670 - INS REINBURSEMENTS

Attachments:

1. R-26-02-10 - Exhibit A - Proposal

Background:

In early February, the main gate at the Public Works & Engineering facility was significantly damaged and remains inoperable. Staff obtained three quotes to repair the work, which included replacing the gate, the gate controller, and installing bollards. Of the three quotes received, Action Fence Contractors, Inc. provided the lowest, responsive price. Furthermore, Action Fence originally installed the fencing and gate system when the facility was built in 2020. Action Fence is most familiar with the existing layout and infrastructure. Their prior experience positions them to complete the project efficiently while minimizing potential compatibility issues or delays. Therefore, staff recommends waiving the competitive bidding requirement and accepting the proposal from Action Fence Contractors, Inc., of Mundelein, Illinois, in the amount of \$33,150. These funds are reimbursed by IRMA.

Recommendation:

Motion to adopt a Resolution waiving bids, accepting a proposal from Action Fence Contractors, of Mundelein, IL, and approving purchase order number 26-00854 in the amount of \$33,150 for repairs to the Public Works & Engineering gate.

I hereby certify that the attached is an original of

Resolution No. R-26-02-10

that said Resolution was adopted on **February 23, 2026**,

that it was posted in the Village Hall commencing on

2/24/2026 and for at least 10 days

thereafter. Copies are available for public inspection

upon request of the Village Clerk.

Village Clerk

RESOLUTION NO. R-26-02-10

RESOLUTION WAIVING BIDS, ACCEPTING A PROPOSAL FROM ACTION FENCE CONTRACTORS, MUNDELEIN, IL, AND APPROVING PURCHASE ORDER NUMBER 26-00854 FOR REPAIRS TO THE PUBLIC WORKS & ENGINEERING GATE IN THE AMOUNT OF \$33,150.

WHEREAS, the Village of Mundelein is an Illinois municipal corporation (the “Village”) with home rule authority and the adoption of this resolution is being done through its home rule powers; and

WHEREAS, Section 3.04.020 of the Mundelein Municipal Code provides that a contract in which the expense to be incurred by the Village exceeds \$20,000 may be entered into without advertising for bids if authorized by a vote of two-thirds (2/3) of all Trustees then holding office; and

WHEREAS, the Public Works and Engineering main gate was significantly damaged; and

WHEREAS, Action Fence Contractors, Inc., of Mundelein, IL, has provided a proposal for the repairs in the amount of \$33,150; and

WHEREAS, of the quotes received, Action Fence Contractors had the lowest, responsive price; and

WHEREAS, accepting a proposal and authorizing a purchase order to Action Fence Contractors, Inc. for the repairs to the gate provides the most efficient and cost-effective project; and

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF MUNDELEIN, COUNTY OF LAKE, STATE OF ILLINOIS, as follows:

SECTION I. The formal competitive bidding process provided in Section 3.04.020 of the Mundelein Municipal Code, and the Illinois Compiled Statutes 65 ILCS 5/8-9-1, is hereby waived for the replacement of lead services.

SECTION II. The proposal submitted by Action Fence Contractors, Inc., of Mundelein, IL, in the cumulative amount not to exceed \$33,150, attached as **Exhibit A**, is hereby approved.

SECTION III. Purchase order #26-00854 in the amount of \$33,150 is hereby approved.

XXX this 24th day of February 2026, by roll call vote:

RESULT:	[]
MOVER:	None
SECONDER:	None
AYES:	None
NAYS:	None
ABSTAIN:	None

President

ADOPTED: Monday, February 23, 2026

APPROVED: Monday, February 23, 2026

ATTEST: _____

Village Clerk



ACTION FENCE CONTRACTORS, INC.

945 TOWER ROAD
MUNDELEIN, ILLINOIS 60060-3811

Phone (847) 949-6690
Fax (847) 949-6499
www.actionfence.com

Date January 27, 2026

PROPOSAL

Name: **Mundelein Public Works**
801 Allanson Rd.
Mundelein, IL 60060
Attn: John Lopez

Ship to:

We propose, subject to acceptance, to furnish and install:

Gate Replacement

Remove and replace :

- (1) 8' x 30' opening cantilever Slide Gate
- (2) 6" sq posts
- (3) 3" sq posts
- (2) 8' tall x 8' wide fence panels

\$25,350.00

Gate Operator

- (1) photo eye with cover
- (1) hood reflector
- (1) # 40 - 50' roll nickel plated chain

\$4,850.00

Optional Add

Furnish and install

- (2) 6 5/8" o.d. SCH40 galvanized steel concrete filled bollards with yellow covers

\$2,950.00

RECOMMENDED BY: **Andrew Ziegler**

PURCHASER:

ACCEPTED: **ACTION FENCE CONTRACTORS, INC.**

BY _____ DATE

BY _____ this _____ day of _____, 20 _____

Make Remittances Payable to Action Fence Contractors, Inc.

This contract is subject to terms, covenants, and conditions on the reverse side hereof, and is not binding upon Action Fence Contractors, until accepted.

To: Mayor and Board of Trustees

From: Vanna Jankowski, Finance Clerk
Linda Miller, Finance Director

For: Village Board Meeting of February 23, 2026

Subject: Governing Body

Financial Impact:

\$1,846,390.08

Attachments:

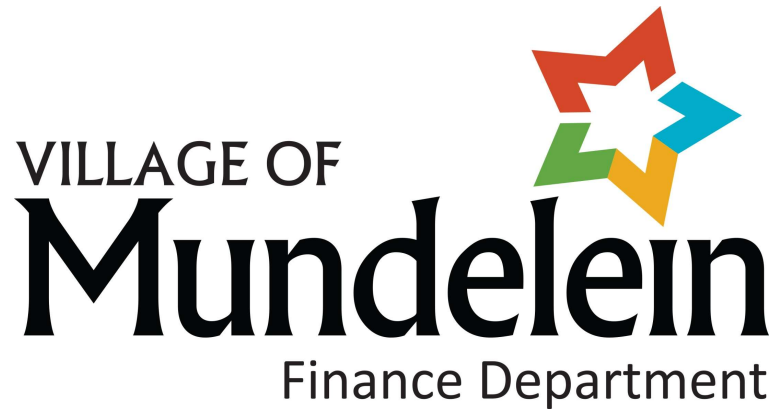
1. Governing Body

Background:

The Village's Bill Approval Policy requires bill approval at each board meeting. Board approval is respectfully requested. The full Governing Body Report has been posted on the Village's internet.

Recommendation:

Motion to approve the payment of bills, as indicated in the Governing Body Report for the period between February 10, 2026 and ending February 23, 2026 in the amount of \$1,846,390.08.



GOVERNING BODY

DISBURSEMENTS REPORT

February 23, 2026

INVOICE REGISTER FOR VILLAGE OF MUNDELEIN

POST DATES 02/10/2026 - 02/23/2026

POSTED
PAID

Invoice Number

Inv Ref #	Vendor Description GL Distribution	Invoice Date Entered By	Due Date	Invoice Amount	Amount Due	Status	Posted Post Date	PO Number
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Pay By Check Type: EFT Transfer CREDIT CARD JANUARY 2026

CC JAN 2026

0000028698	BANKCARD PROCESSING CTR CREDIT CARD JANUARY 2026 100-000-25100.000	01/29/2026 VJANKOWSKI CREDIT CARD PAYABLE		8,271.67	0.00	Paid	Y 02/18/2026	
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6603806 0000028164	HOME DEPOT CREDIT SVCS. TOOL COMPATRMENTS FOR ENGINES 100-323-47070.000	01/10/2026 VJANKOWSKI TOOLS/SUPPLIES		139.88	0.00	Paid	Y 02/19/2026	
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5556721 0000028165	HOME DEPOT CREDIT SVCS. SMALL TOOLS FOR ENGINES 100-323-47070.000	01/11/2026 VJANKOWSKI TOOLS/SUPPLIES		125.94	0.00	Paid	Y 02/19/2026	
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7011660 0000028166	HOME DEPOT CREDIT SVCS. MATERIALS FOR MAKING MAILBOX REPLACEMENT 100-420-47510.000	12/30/2025 VJANKOWSKI MT MTLs BLDGS & GROUNDS		387.88	0.00	Paid	Y 02/19/2026	
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1022610 0000028167	HOME DEPOT CREDIT SVCS. MATERIAL 500-462-47599.000	01/05/2026 VJANKOWSKI MISC MAINT MATERIALS		31.92	0.00	Paid	Y 02/19/2026	
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1022612 0000028168	HOME DEPOT CREDIT SVCS. MATERIAL 500-462-47599.000	01/05/2026 VJANKOWSKI MISC MAINT MATERIALS		96.38	0.00	Paid	Y 02/19/2026	
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8022759 0000028169	HOME DEPOT CREDIT SVCS. FOR VAN 110 500-462-47527.000	01/08/2026 VJANKOWSKI MT MTLs UTILITY VANS		136.93	0.00	Paid	Y 02/19/2026	
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4512191 0000028420	HOME DEPOT CREDIT SVCS. WWTP SUPPLIES 500-453-47510.000	01/22/2026 VJANKOWSKI MT MTLs BLDGS & GROUNDS		39.94	0.00	Paid	Y 02/19/2026	
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INVOICE REGISTER FOR VILLAGE OF MUNDELEIN

POST DATES 02/10/2026 - 02/23/2026

POSTED
PAID

Invoice Number

Inv Ref #	Vendor Description GL Distribution	Invoice Date Entered By	Due Date	Invoice Amount	Amount Due	Status	Posted Post Date	PO Number
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Pay By Check Type: EFT Transfer WWTP SUPPLIES

3904167

0000028421	HOME DEPOT CREDIT SVCS. WWTP SUPPLIES 500-453-47510.000	01/23/2026 VJANKOWSKI MT MTLs BLDGS & GROUNDS		41.94 41.94	0.00	Paid	Y 02/19/2026	
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Total Pay By Check Type EFT Transfer:

9,272.48 0.00

Pay By Check Type: Paper Check CURB SHOES

0224911-IN

0000027678	BONNELL INDUSTRIES, INC. CURB SHOES 100-430-47526.000	12/16/2025 RPETERSON MT MTLs DUMP TRUCKS		934.43 934.43	0.00	Paid	Y 02/23/2026	
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112P333482

0000027748	CIT TRUCKS LLC REAR BRAKES FOR QUINT 334 100-430-47523.000	12/19/2025 VJANKOWSKI MT MTLs FIRE APPARATUS		2,003.98 2,003.98	0.00	Paid	Y 02/23/2026	26-00814
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715328

0000027918	MEADE, INC. TRAFFIC SIGNAL MAINTENANCE 100-441-46671.000	12/31/2025 VJANKOWSKI MT TRAFFIC SIGNALS		385.66 385.66	0.00	Paid	Y 02/23/2026	
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1LYW-P66D-C9PK

0000027928	AMAZON CAPITAL SERVICES, INC. OFFICE SUPPLIES 100-410-47015.000 500-463-47015.000	01/05/2026 VJANKOWSKI OFFICE SUPPLIES OFFICE SUPPLIES		104.97 75.27 29.70	0.00	Paid	Y 02/23/2026	
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1WYK-WRD9-C7JR

0000028065	AMAZON CAPITAL SERVICES, INC. SUPPLIES FOR GYM AT PW 100-420-46620.000	01/07/2026 VJANKOWSKI MT BUILDING & GROUNDS		137.91 137.91	0.00	Paid	Y 02/23/2026	
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I0017066

0000028210	SIEVERT CRANE & HOIST ANNUAL CRANE AND HOIST INSPECTIONS FOR A 100-420-46620.000	12/30/2025 VJANKOWSKI MT BUILDING & GROUNDS		4,200.00 4,200.00	0.00	Paid	Y 02/23/2026	26-00811
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INVOICE REGISTER FOR VILLAGE OF MUNDELEIN

POST DATES 02/10/2026 - 02/23/2026

POSTED
PAID

Invoice Number Inv Ref #	Vendor Description GL Distribution	Invoice Date Entered By	Due Date	Invoice Amount	Amount Due	Status	Posted Post Date	PO Number
Pay By Check Type: Paper Check SUPPLIES FOR PW								
1GTF-NDVT-H9WR								
0000028221	AMAZON CAPITAL SERVICES, INC. SUPPLIES FOR PW 100-420-46620.000	01/20/2026 VJANKOWSKI MT BUILDING & GROUNDS		42.39 42.39	0.00	Paid	Y 02/23/2026	
CONTINV015411								
0000028283	IMAGING ESSENTIALS INC LARGE COPIER/SCANNER 100-410-46613.000	01/21/2026 VJANKOWSKI MT COPIERS		250.00 250.00	0.00	Paid	Y 02/23/2026	
289447w								
0000028324	MID AMERICAN WATER OF WAUCONDA STORM GRATES 100-441-47553.000	01/13/2026 VJANKOWSKI MT MTLs FRAMES & COVERS		740.80 740.80	0.00	Paid	Y 02/23/2026	
018676								
0000028336	NAPA AUTO PARTS ROLLER 478 PM PARTS 100-430-47525.000	01/22/2026 VJANKOWSKI MT MTLs HEAVY EQUIPMENT		43.43 43.43	0.00	Paid	Y 02/23/2026	
42988788								
0000028342	CAHILL HEATING & A/C SEASONAL MAINTENANCE ON AC SYSTEMS AT PU 100-420-46620.000	06/23/2025 VJANKOWSKI MT BUILDING & GROUNDS		3,937.50 3,937.50	0.00	Paid	Y 02/23/2026	26-00829
43564044								
0000028343	CAHILL HEATING & A/C AC MAINTENANCE ON CHILLER SYSTEM AT POLI 100-420-46620.000	07/22/2025 VJANKOWSKI MT BUILDING & GROUNDS		2,200.00 2,200.00	0.00	Paid	Y 02/23/2026	26-00830
42906614								
0000028344	CAHILL HEATING & A/C SEASONAL MAINTENANCE ON AC SYSTEMS AT VI 100-420-46620.000	06/17/2025 VJANKOWSKI MT BUILDING & GROUNDS		2,450.00 2,450.00	0.00	Paid	Y 02/23/2026	26-00828
42908336								
0000028345	CAHILL HEATING & A/C SEASONAL MAINT METRA HVAC 100-427-46620.000	06/16/2025 VJANKOWSKI MT BUILDING & GROUNDS		175.00 175.00	0.00	Paid	Y 02/23/2026	

INVOICE REGISTER FOR VILLAGE OF MUNDELEIN

POST DATES 02/10/2026 - 02/23/2026

POSTED
PAID

Invoice Number

Inv Ref #	Vendor Description GL Distribution	Invoice Date Entered By	Due Date	Invoice Amount	Amount Due	Status	Posted Post Date	PO Number
Pay By Check Type: Paper Check SEASONAL MAINT COM SHED								
42906932 0000028346	CAHILL HEATING & A/C SEASONAL MAINT COM SHED 100-420-46620.000	06/16/2025 VJANKOWSKI MT BUILDING & GROUNDS		175.00 175.00	0.00	Paid	Y 02/23/2026	
49856700 0000028347	CAHILL HEATING & A/C SEASONAL MAINTENANCE ON AC SYSTEMS AT FI 100-420-46620.000	07/17/2025 VJANKOWSKI MT BUILDING & GROUNDS		2,100.00 2,100.00	0.00	Paid	Y 02/23/2026	26-00837
45033004 0000028348	CAHILL HEATING & A/C SEASONAL MAINT FIRE 2 AC SYSTEM 100-420-46620.000	07/18/2025 VJANKOWSKI MT BUILDING & GROUNDS		1,750.00 1,750.00	0.00	Paid	Y 02/23/2026	
47279940 0000028349	CAHILL HEATING & A/C FALL MAINTENANCE ON HEATING SYSTEMS AT P 100-420-46620.000	10/22/2025 VJANKOWSKI MT BUILDING & GROUNDS		3,937.50 3,937.50	0.00	Paid	Y 02/23/2026	26-00832
0225949-IN 0000028351	BONNELL INDUSTRIES, INC. CURB SHOES 100-430-47526.000	01/23/2026 VJANKOWSKI MT MTLs DUMP TRUCKS		1,201.41 1,201.41	0.00	Paid	Y 02/23/2026	
Y383636 0000028354	CORE & MAIN LP SAMPLE STATIONS 500-462-47530.000	01/23/2026 VJANKOWSKI MT MTLs OTHER EQUIPMENT		120.82 120.82	0.00	Paid	Y 02/23/2026	
47341734 0000028356	CAHILL HEATING & A/C FALL MAINTENANCE ON HEATING SYSTEMS AT P 100-420-46620.000	10/28/2025 VJANKOWSKI MT BUILDING & GROUNDS		2,200.00 2,200.00	0.00	Paid	Y 02/23/2026	26-00834
47280812 0000028357	CAHILL HEATING & A/C FALL MAINTENANCE ON HEATING SYSTEMS AT V 100-420-46620.000	10/21/2025 VJANKOWSKI MT BUILDING & GROUNDS		2,450.00 2,450.00	0.00	Paid	Y 02/23/2026	26-00833

INVOICE REGISTER FOR VILLAGE OF MUNDELEIN

POST DATES 02/10/2026 - 02/23/2026

POSTED
PAID

Invoice Number Inv Ref #	Vendor Description GL Distribution	Invoice Date Entered By	Due Date	Invoice Amount	Amount Due	Status	Posted Post Date	PO Number
Pay By Check Type: Paper Check FALL MAINT METRA HVAC								
47280940 0000028358	CAHILL HEATING & A/C FALL MAINT METRA HVAC 100-427-46620.000	10/21/2025 VJANKOWSKI MT BUILDING & GROUNDS		175.00 175.00	0.00	Paid	Y 02/23/2026	
47281068 0000028359	CAHILL HEATING & A/C FALL MAINT COM SHED HVAC 100-420-46620.000	10/21/2025 VJANKOWSKI MT BUILDING & GROUNDS		175.00 175.00	0.00	Paid	Y 02/23/2026	
47343742 0000028360	CAHILL HEATING & A/C FALL MAINTENANCE ON HEATING SYSTEMS AT F 100-420-46620.000	10/24/2025 VJANKOWSKI MT BUILDING & GROUNDS		2,100.00 2,100.00	0.00	Paid	Y 02/23/2026	26-00835
47344578 0000028361	CAHILL HEATING & A/C BI ANUAL MAINT HVAC SYSTEM FIRE 2 100-420-46620.000	10/24/2025 VJANKOWSKI MT BUILDING & GROUNDS		1,750.00 1,750.00	0.00	Paid	Y 02/23/2026	
44557 0000028364	MENARD, INC BATTERIES FOR DISPENSERFS 100-420-47510.000	01/23/2026 VJANKOWSKI MT MTLs BLDGS & GROUNDS		127.25 127.25	0.00	Paid	Y 02/23/2026	
44558 0000028365	MENARD, INC MATERIAL FOR DECO STORAGE 100-420-46899.000	01/23/2026 VJANKOWSKI MISC COMMUNITY SERVICE		20.33 20.33	0.00	Paid	Y 02/23/2026	
44561 0000028366	MENARD, INC TEMP HEATER FOR METRA BATHROOM 100-427-47510.000	01/23/2026 VJANKOWSKI MT MTLs BLDGS & GROUNDS		196.67 196.67	0.00	Paid	Y 02/23/2026	
44578 0000028367	MENARD, INC BATTERIES FOR PAPER TOWEL DISPENSERS 100-420-47510.000	01/23/2026 VJANKOWSKI MT MTLs BLDGS & GROUNDS		83.18 83.18	0.00	Paid	Y 02/23/2026	

INVOICE REGISTER FOR VILLAGE OF MUNDELEIN

POST DATES 02/10/2026 - 02/23/2026

POSTED
PAID

Invoice Number Inv Ref #	Vendor Description GL Distribution	Invoice Date Entered By	Due Date	Invoice Amount	Amount Due	Status	Posted Post Date	PO Number
Pay By Check Type: Paper Check EMERGENCY DOOR SPRING REPLACEMENT AT PW ON OVERHEAD DOOR #6.								
003304 0000028377	LAKE COUNTY DOOR CO. EMERGENCY DOOR SPRING REPLACEMENT AT PW 100-420-46620.000	01/26/2026 VJANKOWSKI MT BUILDING & GROUNDS		8,000.00 8,000.00	0.00	Paid	Y 02/23/2026	26-00844
01262026-002 0000028382	MIKE BOSTON IPIA REG FEE REIMB 100-281-46340.000	01/26/2026 VJANKOWSKI CONV/SCHOOLS/MTGS		25.00 25.00	0.00	Paid	Y 02/23/2026	
01262026-002 0000028383	BRIAN LOWRY IPIA REG FEE REIMB 100-281-46340.000	01/26/2026 VJANKOWSKI CONV/SCHOOLS/MTGS		25.00 25.00	0.00	Paid	Y 02/23/2026	
1002212495 0000028384	INTERNATIONAL CODE COUNCIL IECC BOOK/DOWNLOAD 100-281-47010.000	01/20/2026 VJANKOWSKI BOOKS/PUBLICATIONS		143.50 143.50	0.00	Paid	Y 02/23/2026	
9784581838 0000028389	GRAINGER PARTS FOR PRESSURE WASHER REPAIRS 100-420-47510.000	01/26/2026 VJANKOWSKI MT MTLs BLDGS & GROUNDS		347.23 347.23	0.00	Paid	Y 02/23/2026	
50161725 0000028401	CAHILL HEATING & A/C SERVICE CALL FOR FLOOR HEAT AT FIRE 2 NO 100-420-46620.000	01/26/2026 VJANKOWSKI MT BUILDING & GROUNDS		300.00 300.00	0.00	Paid	Y 02/23/2026	
45977782 0000028402	CAHILL HEATING & A/C REPLACEMENT OF TWO VALVES AND CIRCULATIN 100-420-46620.000	10/28/2025 VJANKOWSKI MT BUILDING & GROUNDS		7,200.00 7,200.00	0.00	Paid	Y 02/23/2026	26-00831
47625010 0000028403	CAHILL HEATING & A/C EMERGENCY REPAIR - INSTALLED NEW BLOWER 100-420-46620.000	11/06/2025 VJANKOWSKI MT BUILDING & GROUNDS		4,180.00 4,180.00	0.00	Paid	Y 02/23/2026	26-00836

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Invoice Number Inv Ref #	Vendor Description GL Distribution	Invoice Date Entered By	Due Date	Invoice Amount	Amount Due	Status	Posted Post Date	PO Number
Pay By Check Type: Paper Check FUEL FOR FLOOR SCRUBBER PW								
88501/6 0000028410	ACE HARDWARE OF LIBERTYVILLE FUEL FOR FLOOR SCRUBBER PW 100-430-47440.000	01/27/2026 VJANKOWSKI GASOLINE		33.68 33.68	0.00	Paid	Y 02/23/2026	
26-0218 0000028411	THOMPSON ELEVATOR INSPECTION SERV. 100-281-46511.000	01/27/2026 VJANKOWSKI ELEVATOR INSPECTION		200.00 200.00	0.00	Paid	Y 02/23/2026	
1R4N-NQPR-KW67 0000028419	AMAZON CAPITAL SERVICES, INC. OFFICE SUPPLIES 500-452-47015.000	01/27/2026 VJANKOWSKI OFFICE SUPPLIES		63.66 63.66	0.00	Paid	Y 02/23/2026	
6131313218 0000028428	VERIZON LIFT STATION 4 500-452-47330.000	12/18/2025 VJANKOWSKI MOBILE PHONE CHARGES		70.08 70.08	0.00	Paid	Y 02/23/2026	
6133822387 0000028429	VERIZON LIFT STATION 4 500-452-47330.000	01/18/2026 VJANKOWSKI MOBILE PHONE CHARGES		70.06 70.06	0.00	Paid	Y 02/23/2026	
20250901 0000028430	ELMUND & NELSON CO DIRECTIONAL BORE 1 1/2" DUCT ALONG EAST 100-420-46675.000	09/04/2025 VJANKOWSKI MT STREET LIGHTS		4,500.00 4,500.00	0.00	Paid	Y 02/23/2026	26-00823
CINV004129108 0000028431	MNJ TECHNOLOGIES DIRECT RENEW LICENSES FOR 29 WAP, AND 2 SWITCHE 100-202-46415.000	01/26/2026 VJANKOWSKI COMPUTER SOFTWARE SUPPORT		3,658.00 3,658.00	0.00	Paid	Y 02/23/2026	26-00813
4420165 0000028432	ZOLL MEDICAL CORPORATION PEDIATRIC PADS FOR MONITORS 100-324-47040.000	01/27/2026 VJANKOWSKI TRAUMA UNIT SUPPLIES		190.50 190.50	0.00	Paid	Y 02/23/2026	

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Pay By Check Type: Paper Check TRUCK 439 CLAMPS

58787900 0000028433	MCMASTER CARR SUPPLY CO TRUCK 439 CLAMPS 100-430-47526.000	01/27/2026 VJANKOWSKI MT MTLs DUMP TRUCKS		53.49 53.49	0.00	Paid	Y 02/23/2026	
019196 0000028434	NAPA AUTO PARTS ENG 311 BATTERIES 100-430-47523.000	01/27/2026 VJANKOWSKI MT MTLs FIRE APPARATUS		1,171.80 1,171.80	0.00	Paid	Y 02/23/2026	
019219 0000028435	NAPA AUTO PARTS CREDIT 100-430-47523.000	01/27/2026 VJANKOWSKI MT MTLs FIRE APPARATUS		(180.00) (180.00)	0.00	Paid	Y 02/23/2026	
22401 0000028436	RITTER GIS INC CITYWORKS SUPPORT SERVICES 500-461-46410.000 100-410-46415.000	01/28/2026 VJANKOWSKI CONSULTING SERVICES COMPUTER SOFTWARE SUPPORT		2,460.00 460.00 2,000.00	0.00	Paid	Y 02/23/2026	26-00246
12291712 0000028437	ARENDS HOGAN WALKER LLC TRACTOR 468 BLOWER PARTS 100-430-47525.000	01/26/2026 VJANKOWSKI MT MTLs HEAVY EQUIPMENT		344.66 344.66	0.00	Paid	Y 02/23/2026	
3044744736 0000028438	RUSH TRUCK CTR- IL TRUCK 439 RADIATOR AND RESERVOIR 100-430-47526.000	01/21/2026 VJANKOWSKI MT MTLs DUMP TRUCKS		1,356.14 1,356.14	0.00	Paid	Y 02/23/2026	
3044786082 0000028439	RUSH TRUCK CTR- IL MISTAKE - CREDIT ON INV 3044794161 100-430-47526.000	01/26/2026 VJANKOWSKI MT MTLs DUMP TRUCKS		2,047.03 2,047.03	0.00	Paid	Y 02/23/2026	
CM-1VGR-NL99-KR 0000028440	AMAZON CAPITAL SERVICES, INC. CREDIT FOR COFFEE THAT DID NOT ARRIVE 100-111-46340.000	01/20/2026 VJANKOWSKI CONV/SCHOOLS/MTGS		(57.99) (57.99)	0.00	Paid	Y 02/23/2026	

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Invoice Number Inv Ref #	Vendor Description GL Distribution	Invoice Date Entered By	Due Date	Invoice Amount	Amount Due	Status	Posted Post Date	PO Number
Pay By Check Type: Paper Check BULK DEF REFILL								
592378 0000028441	RILCO, INC. BULK DEF REFILL 100-430-47440.000	01/27/2026 VJANKOWSKI GASOLINE		686.37 686.37	0.00	Paid	Y 02/23/2026	
248714 0000028442	MIDWEST HOSE AND FITTINGS INC PARTS FOR HOSE REPAIRS WASH OUT BAY 100-420-46620.000	01/26/2026 VJANKOWSKI MT BUILDING & GROUNDS		179.96 179.96	0.00	Paid	Y 02/23/2026	
088506/6 0000028443	ACE HARDWARE OF LIBERTYVILLE BATTERIES 100-430-47070.000	01/28/2026 VJANKOWSKI TOOLS/SUPPLIES		20.69 20.69	0.00	Paid	Y 02/23/2026	
231649 0000028444	AIR ONE EQUIPMENT INC BALL VALVE FOR HOSE DIVISION 100-323-47530.000	01/28/2026 VJANKOWSKI MT MTLs OTHER EQUIPMENT		1,785.00 1,785.00	0.00	Paid	Y 02/23/2026	
6311649 0000028445	MGN LOCK-KEY & SAFES INC. KEYS AND LOCKS FOR BUILDOUT 2ND FLOOR VH 100-420-46620.000	01/28/2026 VJANKOWSKI MT BUILDING & GROUNDS		846.30 846.30	0.00	Paid	Y 02/23/2026	
PS-INV057730 0000028446	CUTLER WORKWEAR JEANS FOR GOODMAN 100-441-47120.000	01/28/2026 VJANKOWSKI CLOTHING ALLOWANCE		300.57 300.57	0.00	Paid	Y 02/23/2026	
1JMX-R4X3-DLF4 0000028447	AMAZON CAPITAL SERVICES, INC. OFFICE SUPPLIES 500-452-47015.000	01/28/2026 VJANKOWSKI OFFICE SUPPLIES		13.24 13.24	0.00	Paid	Y 02/23/2026	
13M3-9H4R-GCCJ 0000028448	AMAZON CAPITAL SERVICES, INC. OFFICE SUPPLIES 100-420-47015.000	01/28/2026 VJANKOWSKI OFFICE SUPPLIES		29.98 29.98	0.00	Paid	Y 02/23/2026	

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Pay By Check Type: Paper Check ENG 311 RIVETS								
58873981 0000028450	MCMASTER CARR SUPPLY CO ENG 311 RIVETS 100-430-47523.000	01/28/2026 VJANKOWSKI		18.48	0.00	Paid	Y 02/23/2026	
		MT MTLs FIRE APPARATUS		18.48				
019351 0000028451	NAPA AUTO PARTS LIFT BATTERIES 100-430-46646.000	01/28/2026 VJANKOWSKI		1,640.88	0.00	Paid	Y 02/23/2026	
		MT DUMP TRUCKS		1,640.88				
019465 0000028452	NAPA AUTO PARTS EXTINGUISHERS AND TRIANGLES 100-430-47528.000	01/28/2026 VJANKOWSKI		240.86	0.00	Paid	Y 02/23/2026	
		MT MTLs PICK-UP TRUCK		240.86				
IL-24428 0000028453	FIRE SERVICE INC ENG 311 DIPSTICK TUBE 100-430-47523.000	01/29/2026 VJANKOWSKI		648.89	0.00	Paid	Y 02/23/2026	
		MT MTLs FIRE APPARATUS		648.89				
88515/6 0000028454	ACE HARDWARE OF LIBERTYVILLE MATERIAL FOR VH 2ND FLOOR BUILDOUT 100-420-47510.000	01/29/2026 VJANKOWSKI		12.40	0.00	Paid	Y 02/23/2026	
		MT MTLs BLDGS & GROUNDS		12.40				
1062-12526 0000028455	MIDWEST SNOW SOLUTIONS, INC. CONTRACTUAL SNOW AND ICE SERVICES IN ZON 100-441-46670.000	01/29/2026 VJANKOWSKI		5,605.00	0.00	Paid	Y 02/23/2026	26-00589
		MT ALL STREETS		5,605.00				
1091861 0000028456	YELLOWSTONE LANDSCAPE, INC. CONTRACTUAL SNOW AND ICE CONTROL SERVICE 100-441-46670.000	01/17/2026 VJANKOWSKI		1,753.00	0.00	Paid	Y 02/23/2026	26-00590
		MT ALL STREETS		1,753.00				
1091862 0000028457	YELLOWSTONE LANDSCAPE, INC. CONTRACTUAL SNOW AND ICE CONTROL SERVICE 100-441-46670.000	01/17/2026 VJANKOWSKI		476.00	0.00	Paid	Y 02/23/2026	26-00590
		MT ALL STREETS		476.00				

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Pay By Check Type: Paper Check CONTRACTUAL SNOW AND ICE CONTROL SERVICES IN ZONE 8. YEAR 3 OF 4-YEAR CONTRACT.								
1091877 0000028458	YELLOWSTONE LANDSCAPE, INC. CONTRACTUAL SNOW AND ICE CONTROL SERVICE VJANKOWSKI 100-441-46670.000	01/18/2026 MT ALL STREETS		1,753.00 1,753.00	0.00	Paid	Y 02/23/2026	26-00590
1091878 0000028459	YELLOWSTONE LANDSCAPE, INC. CONTRACTUAL SNOW AND ICE CONTROL SERVICE VJANKOWSKI 100-441-46670.000	01/18/2026 MT ALL STREETS		476.00 476.00	0.00	Paid	Y 02/23/2026	26-00590
1091914 0000028460	YELLOWSTONE LANDSCAPE, INC. CONTRACTUAL SNOW AND ICE CONTROL SERVICE VJANKOWSKI 100-441-46670.000	01/21/2026 MT ALL STREETS		580.00 580.00	0.00	Paid	Y 02/23/2026	26-00590
1091915 0000028461	YELLOWSTONE LANDSCAPE, INC. CONTRACTUAL SNOW AND ICE CONTROL SERVICE VJANKOWSKI 100-441-46670.000	01/21/2026 MT ALL STREETS		238.00 238.00	0.00	Paid	Y 02/23/2026	26-00590
1091942 0000028462	YELLOWSTONE LANDSCAPE, INC. CONTRACTUAL SNOW AND ICE CONTROL SERVICE VJANKOWSKI 100-441-46670.000	01/22/2026 MT ALL STREETS		238.00 238.00	0.00	Paid	Y 02/23/2026	26-00590
1091941 0000028463	YELLOWSTONE LANDSCAPE, INC. CONTRACTUAL SNOW AND ICE CONTROL SERVICE VJANKOWSKI 100-441-46670.000	01/22/2026 MT ALL STREETS		580.00 580.00	0.00	Paid	Y 02/23/2026	26-00590
49477548 0000028464	CAHILL HEATING & A/C REPLACE AIR HANDLER AND AC SYSTEM AT THE VJANKOWSKI 100-427-46620.000	01/19/2026 MT BUILDING & GROUNDS		8,520.00 8,520.00	0.00	Paid	Y 02/23/2026	26-00812
49532726 0000028465	CAHILL HEATING & A/C REPLACEMENT BLOWER MOTOR FOR PD HEATER VJANKOWSKI 100-420-46620.000	01/28/2026 MT BUILDING & GROUNDS		1,420.00 1,420.00	0.00	Paid	Y 02/23/2026	

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Pay By Check Type: Paper Check T STAT SENSORS FOR VH VAV								
INV18213025 0000028466	ZORO TOOLS T STAT SENSORS FOR VH VAV 100-420-46620.000	01/29/2026 VJANKOWSKI MT BUILDING & GROUNDS		1,335.92 1,335.92	0.00	Paid	Y 02/23/2026	
340564 0000028467	TEKLAB, INC-ACCTS REC CHEMICAL ANALYSIS AND LAB SUPPLIES 500-453-46450.000 500-453-47050.000	01/29/2026 VJANKOWSKI CHEMICAL ANALYSIS LABORATORY SUPPLIES		892.30 700.00 192.30	0.00	Paid	Y 02/23/2026	
5000044829 0000028468	OLDCASTLE APG BRICK PAVERS 210-442-48742.000	09/09/2025 VJANKOWSKI SIDEWALKS		6,455.00 6,455.00	0.00	Paid	Y 02/23/2026	26-00510
5000044828 0000028469	OLDCASTLE APG BRICK PAVERS 210-442-48742.000	09/09/2025 VJANKOWSKI SIDEWALKS		7,641.00 7,641.00	0.00	Paid	Y 02/23/2026	26-00510
5000044827 0000028470	OLDCASTLE APG BRICK PAVERS 210-442-48742.000	09/09/2025 VJANKOWSKI SIDEWALKS		8,234.00 8,234.00	0.00	Paid	Y 02/23/2026	26-00510
3001004725 0000028471	OLDCASTLE APG BRICK PAVERS 210-442-48742.000	01/22/2026 VJANKOWSKI SIDEWALKS		(588.00) (588.00)	0.00	Paid	Y 02/23/2026	26-00510
65862223 0000028473	ROBERT HALF TO ENCUMBER COST FOR CONTINUED SERVICES 100-260-48410.000	01/29/2026 VJANKOWSKI COMPUTER EQUIPMENT		5,800.00 5,800.00	0.00	Paid	Y 02/23/2026	26-00794
9789367324 0000028474	GRAINGER SAW BLADE 100-430-47070.000	01/29/2026 VJANKOWSKI TOOLS/SUPPLIES		79.96 79.96	0.00	Paid	Y 02/23/2026	

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Pay By Check Type: Paper Check MONITOR PAPER								
4420932 0000028475	ZOLL MEDICAL CORPORATION MONITOR PAPER 100-324-47040.000	01/28/2026 VJANKOWSKI TRAUMA UNIT SUPPLIES		81.18 81.18	0.00	Paid	Y 02/23/2026	
019537 0000028476	NAPA AUTO PARTS TRUCK 311 OIL FILTER 100-430-47523.000	01/29/2026 VJANKOWSKI MT MTLs FIRE APPARATUS		42.38 42.38	0.00	Paid	Y 02/23/2026	
019587 0000028477	NAPA AUTO PARTS ENG 311 COOLANT RESERVOIR 100-430-47523.000	01/29/2026 VJANKOWSKI MT MTLs FIRE APPARATUS		24.29 24.29	0.00	Paid	Y 02/23/2026	
88520/6 0000028478	ACE HARDWARE OF LIBERTYVILLE SUPPLIES 500-462-47070.000	01/30/2026 VJANKOWSKI TOOLS/SUPPLIES		7.19 7.19	0.00	Paid	Y 02/23/2026	
2409763881 0000028479	MEDLINE INDUSTRIES, LP 3 EMS/O2 BAGS 100-324-47070.000	01/29/2026 VJANKOWSKI TOOLS/SUPPLIES		1,393.76 1,393.76	0.00	Paid	Y 02/23/2026	
1KTD-91ND-T7QF 0000028480	AMAZON CAPITAL SERVICES, INC. TABLET CASES AND CHARGERS 100-441-47070.000 500-462-47070.000	01/30/2026 VJANKOWSKI TOOLS/SUPPLIES TOOLS/SUPPLIES		90.09 45.09 45.00	0.00	Paid	Y 02/23/2026	
PS-INV057799 0000028481	CUTLER WORKWEAR DF CLOTHING 100-430-47120.000	01/30/2026 VJANKOWSKI CLOTHING ALLOWANCE		89.58 89.58	0.00	Paid	Y 02/23/2026	
715706 0000028482	MEADE, INC. TRAFFIC SIGNAL MAINTENANCE 100-441-46671.000	01/30/2026 VJANKOWSKI MT TRAFFIC SIGNALS		397.62 397.62	0.00	Paid	Y 02/23/2026	

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Pay By Check Type: Paper Check ONLINE LAW ENFORCEMENT TRAINING PLATFORM - ANNUAL SUBSCRIPTION

1541 0000028483	THE BRIEFING ROOM LLC ONLINE LAW ENFORCEMENT TRAINING PLATFORM VJANKOWSKI 296-000-32730.000	01/31/2026 STATE DRUG ASSET SEIZURE		3,431.13 3,431.13	0.00	Paid	Y 02/23/2026	26-00824
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88525/6 0000028484	ACE HARDWARE OF LIBERTYVILLE FASTENERS 100-441-47070.000	01/30/2026 VJANKOWSKI TOOLS/SUPPLIES		3.76 3.76	0.00	Paid	Y 02/23/2026	
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88526/6 0000028485	ACE HARDWARE OF LIBERTYVILLE TOOLS/SUPPLIES 100-323-47070.000	01/30/2026 VJANKOWSKI TOOLS/SUPPLIES		22.67 22.67	0.00	Paid	Y 02/23/2026	
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88527/6 0000028486	ACE HARDWARE OF LIBERTYVILLE FASTENERS 100-441-47070.000	01/30/2026 VJANKOWSKI TOOLS/SUPPLIES		4.78 4.78	0.00	Paid	Y 02/23/2026	
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88528/6 0000028487	ACE HARDWARE OF LIBERTYVILLE MATERIALS AND SUPPLIES FOR VH BUILD OUT VJANKOWSKI 100-420-46620.000	01/30/2026 MT BUILDING & GROUNDS		57.54 57.54	0.00	Paid	Y 02/23/2026	
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29028943 0000028488	MVP MEDIA NETWORK TRAINING REGISTRATION, WILFENGER, DUNN, VJANKOWSKI 100-304-46340.000 100-305-46340.000 100-305-46340.000	01/15/2026 CONV/SCHOOLS/MTGS CONV/SCHOOLS/MTGS CONV/SCHOOLS/MTGS		1,570.50 698.00 1,047.00 (174.50)	0.00	Paid	Y 02/23/2026	
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1092729 0000028489	YELLOWSTONE LANDSCAPE, INC. CONTRACTUAL SNOW AND ICE CONTROL SERVICE VJANKOWSKI 100-441-46670.000	01/22/2026 MT ALL STREETS		2,454.00 2,454.00	0.00	Paid	Y 02/23/2026	26-00590
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1092730 0000028490	YELLOWSTONE LANDSCAPE, INC. CONTRACTUAL SNOW AND ICE CONTROL SERVICE VJANKOWSKI 100-441-46670.000	01/22/2026 MT ALL STREETS		476.00 476.00	0.00	Paid	Y 02/23/2026	26-00590
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Pay By Check Type: Paper Check PARTS FOR PRESURE WASHERS								
248775 0000028491	MIDWEST HOSE AND FITTINGS INC PARTS FOR PRESURE WASHERS 100-420-46620.000	01/28/2026 VJANKOWSKI MT BUILDING & GROUNDS		204.68 204.68	0.00	Paid	Y 02/23/2026	
H10284 0000028492	MATTSON MADE LLC BRUSHED BRASS PLATE AND ENGRAVING 100-305-47120.000	01/29/2026 VJANKOWSKI CLOTHING ALLOWANCE		31.50 31.50	0.00	Paid	Y 02/23/2026	
65209694 0000028493	CONSERV FS, INC SALT FOR SIDEWALKS 100-427-47510.000	01/30/2026 VJANKOWSKI MT MTLs BLDGS & GROUNDS		906.50 906.50	0.00	Paid	Y 02/23/2026	
7005058-IN 0000028494	USSI RENTALS, INC. TRUCK 484 ANNUAL INSPECTION 100-430-46699.000	01/30/2026 VJANKOWSKI MISC MAINTENANCE SERVICE		790.00 790.00	0.00	Paid	Y 02/23/2026	
7005059-IN 0000028495	USSI RENTALS, INC. LIFT 650 ANNUAL INSPECTION 100-430-46699.000	01/30/2026 VJANKOWSKI MISC MAINTENANCE SERVICE		595.00 595.00	0.00	Paid	Y 02/23/2026	
7005060-IN 0000028496	USSI RENTALS, INC. TRUCK 646 ANNUAL INSPECTION 100-430-46699.000	01/30/2026 VJANKOWSKI MISC MAINTENANCE SERVICE		790.00 790.00	0.00	Paid	Y 02/23/2026	
PS-INV057820 0000028497	CUTLER WORKWEAR JEANS FOR MIKE SCHMIDT 100-441-47120.000	01/30/2026 VJANKOWSKI CLOTHING ALLOWANCE		305.92 305.92	0.00	Paid	Y 02/23/2026	
2026-79441 0000028498	FRANCE MEDIA, INC REAL ESTATE BUSNS NEWSLTR 100-204-46901.000	01/28/2026 VJANKOWSKI ADVERTISING		1,300.00 1,300.00	0.00	Paid	Y 02/23/2026	

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Pay By Check Type: Paper Check FUEL FOR FLOOR SCRUBBER PW								
088530/6 0000028499	ACE HARDWARE OF LIBERTYVILLE FUEL FOR FLOOR SCRUBBER PW 100-430-47440.000	01/30/2026 VJANKOWSKI GASOLINE		42.22 42.22	0.00	Paid	Y 02/23/2026	
6134283177 0000028500	VERIZON LIFT STATION #4 500-452-47330.000	01/23/2026 VJANKOWSKI MOBILE PHONE CHARGES		63.32 63.32	0.00	Paid	Y 02/23/2026	
847566349001-26 0000028501	AT&T POT AND CENTREX LINES FOR VILLAGE WIDE S 100-202-47310.000	01/22/2026 VJANKOWSKI AMERITECH CHARGES		126.37 126.37	0.00	Paid	Y 02/23/2026	26-00390
847949329401-26 0000028502	AT&T VILLAGE WIDE POTS LINES FOR NON EMERGENC 100-202-47310.000	01/22/2026 VJANKOWSKI AMERITECH CHARGES		224.01 224.01	0.00	Paid	Y 02/23/2026	
454941895001 0000028503	ODP BUSINESS SOLUTIONS, LLC ADMIN AND FTO OFFICE SUPPLIES 100-301-47015.000 100-305-47015.000	01/15/2026 VJANKOWSKI OFFICE SUPPLIES OFFICE SUPPLIES		219.14 163.04 56.10	0.00	Paid	Y 02/23/2026	
449656525001 0000028504	ODP BUSINESS SOLUTIONS, LLC OFFICE SUPPLIES - VILLAGE HALL 100-201-47015.000	01/15/2026 VJANKOWSKI OFFICE SUPPLIES		442.26 442.26	0.00	Paid	Y 02/23/2026	
449721145001 0000028505	ODP BUSINESS SOLUTIONS, LLC OFFICE SUPPLIES - VILLAGE HALL 100-201-47015.000	01/16/2026 VJANKOWSKI OFFICE SUPPLIES		13.03 13.03	0.00	Paid	Y 02/23/2026	
449720157001 0000028506	ODP BUSINESS SOLUTIONS, LLC OFFICE SUPPLIES - VILLAGE HALL 100-201-47015.000	01/14/2026 VJANKOWSKI OFFICE SUPPLIES		119.85 119.85	0.00	Paid	Y 02/23/2026	

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Invoice Number Inv Ref #	Vendor Description GL Distribution	Invoice Date Entered By	Due Date	Invoice Amount	Amount Due	Status	Posted Post Date	PO Number
Pay By Check Type: Paper Check OFFICE SUPPLIES - VILLAGE HALL								
449720133001 0000028507	ODP BUSINESS SOLUTIONS, LLC OFFICE SUPPLIES - VILLAGE HALL 100-201-47015.000	01/15/2026 VJANKOWSKI OFFICE SUPPLIES		12.63 12.63	0.00	Paid	Y 02/23/2026	
088531/6 0000028508	ACE HARDWARE OF LIBERTYVILLE VALVE KEY FOR TRUCK 602 100-420-47510.000	01/30/2026 VJANKOWSKI MT MTLs BLDGS & GROUNDS		11.69 11.69	0.00	Paid	Y 02/23/2026	
7773623 0000028509	US POST COMPANY INC PARTS FOR MAIL BOXSES AT VH 100-420-47510.000	01/30/2026 VJANKOWSKI MT MTLs BLDGS & GROUNDS		135.00 135.00	0.00	Paid	Y 02/23/2026	
44679 0000028510	MENARD, INC WWTP SUPPLIES 500-453-47510.000	01/26/2026 VJANKOWSKI MT MTLs BLDGS & GROUNDS		45.08 45.08	0.00	Paid	Y 02/23/2026	
44821 0000028511	MENARD, INC WWTP SUPPLIES 500-453-47510.000	01/29/2026 VJANKOWSKI MT MTLs BLDGS & GROUNDS		45.98 45.98	0.00	Paid	Y 02/23/2026	
44747 0000028512	MENARD, INC VH STORAGE CLOSET SHELF 100-420-47510.000	01/27/2026 VJANKOWSKI MT MTLs BLDGS & GROUNDS		350.97 350.97	0.00	Paid	Y 02/23/2026	
9313179036 0000028513	LAWSON PRODUCTS, INC. ENG 317 CONNECTOR PARTS 100-430-47523.000	01/30/2026 VJANKOWSKI MT MTLs FIRE APPARATUS		5.41 5.41	0.00	Paid	Y 02/23/2026	
59036486 0000028514	MCMaster CARR SUPPLY CO TRUCK 603 CARGO SECUREMENT 100-430-47528.000	01/30/2026 VJANKOWSKI MT MTLs PICK-UP TRUCK		522.56 522.56	0.00	Paid	Y 02/23/2026	

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Pay By Check Type: Paper Check JANUARY HOSTING								
80225770 0000028515	BADGER METER, INC. JANUARY HOSTING 500-463-46415.000	01/29/2026 VJANKOWSKI		569.65	0.00	Paid	Y 02/23/2026	
		COMPUTER SOFTWARE SUPPORT		569.65				
50279625 0000028516	AMERICAN WATER WORKS ASSN AWWA RENEWAL-FASSBINDER 500-462-46340.000	12/19/2025 VJANKOWSKI		89.00	0.00	Paid	Y 02/23/2026	
		CONV/SCHOOLS/MTGS		89.00				
452255948001 0000028517	ODP BUSINESS SOLUTIONS, LLC OFFICE SUPPLIES - VILLAGE HALL 100-201-47015.000	01/23/2026 VJANKOWSKI		55.57	0.00	Paid	Y 02/23/2026	
		OFFICE SUPPLIES		55.57				
287351141072x01 0000028518	AT&T MOBILITY WIFI SERVICES FOR CAMERAS AT ABC BUILDIN 100-202-47330.000	01/19/2026 VJANKOWSKI		56.25	0.00	Paid	Y 02/23/2026	
		MOBILE PHONE CHARGES		56.25				
847566738501-26 0000028519	AT&T FIRE ELEVATOR AND 911 CALL BUTTONS 100-202-47310.000	01/22/2026 05/01 VJANKOWSKI		190.47	0.00	Paid	Y 02/23/2026	26-00396
		AMERITECH CHARGES		190.47				
019701 0000028520	NAPA AUTO PARTS LG A55 BATTERIES 100-430-47535.000	01/30/2026 VJANKOWSKI		357.46	0.00	Paid	Y 02/23/2026	
		CONTRACTUAL FIRE PARTS		357.46				
019709 0000028521	NAPA AUTO PARTS ENG 311 BULB 100-430-47523.000	01/30/2026 VJANKOWSKI		37.79	0.00	Paid	Y 02/23/2026	
		MT MTLs FIRE APPARATUS		37.79				
019726 0000028522	NAPA AUTO PARTS ENG 311 LIGHT BULBS 100-430-47523.000	01/30/2026 VJANKOWSKI		37.79	0.00	Paid	Y 02/23/2026	
		MT MTLs FIRE APPARATUS		37.79				

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Pay By Check Type: Paper Check REPLACE 2 SCADA SERVERS AND 2 SCADA VIEWERS AS PART OF THE SCADA IMPROVEMENT FOR WATER AND WASTEWATER

10859888890 0000028523	DELL MARKETING L.P. REPLACE 2 SCADA SERVERS AND 2 SCADA VIEW VJANKOWSKI 500-463-46415.000 100-260-48410.000 500-463-46415.000 100-202-47012.000	01/31/2026 COMPUTER SOFTWARE SUPPORT COMPUTER EQUIPMENT COMPUTER SOFTWARE SUPPORT COMPUTER SUPPLIES		32,382.54 2,502.30 19,919.98 2,797.70 7,162.56	0.00	Paid	Y 02/23/2026	Multiple
8548 0000028524	MUNICIPAL GIS PARTNERS, INC GIS CONSORTIUM MEMBERSHIP 500-451-46410.000 500-461-46410.000 100-440-46410.000	01/31/2026 VJANKOWSKI MEMBERSHIP IN THE GIS CONSORTIUM MEMBERSHIP IN THE GIS CONSORTIUM MEMBERSHIP IN THE GIS CONSORTIUM		12,473.07 4,989.00 4,990.07 2,494.00	0.00	Paid	Y 02/23/2026	26-00356
8549 0000028525	MUNICIPAL GIS PARTNERS, INC ANNUAL MGP M365 GOVERNANCE IMPLEMENTATIO VJANKOWSKI 100-202-46410.000	01/31/2026 CONSULTING SERVICES		2,466.67 2,466.67	0.00	Paid	Y 02/23/2026	26-00346
10859924627 0000028526	DELL MARKETING L.P. REPLACE 2 SCADA SERVERS AND 2 SCADA VIEW VJANKOWSKI 100-260-48410.000	01/31/2026 COMPUTER EQUIPMENT		7,162.56 7,162.56	0.00	Paid	Y 02/23/2026	26-00796
44868 0000028527	MENARD, INC WWTP SUPPLIES 500-453-47510.000	01/30/2026 VJANKOWSKI MT MTLs BLDGS & GROUNDS		22.25 22.25	0.00	Paid	Y 02/23/2026	
P37512 0000028528	MACQUEEN EQUIPMENT LLC TRUCK 317 DOOR LATCH 100-430-47523.000	02/02/2026 RPETERSON MT MTLs FIRE APPARATUS		388.37 388.37	0.00	Paid	Y 02/23/2026	
54870 0000028531	PETER BAKER & SON CO. COLD PATCH 100-441-47543.000	01/31/2026 RPETERSON MT MTLs BITUMINOUS PATCH		1,000.00 1,000.00	0.00	Paid	Y 02/23/2026	

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Pay By Check Type: Paper Check ENG 317 DASH VALVE								
112P340622 0000028532	CIT TRUCKS LLC ENG 317 DASH VALVE 100-430-47523.000	02/02/2026 RPETERSON MT MTLs FIRE APPARATUS		99.68 99.68	0.00	Paid	Y 02/23/2026	
88537/6 0000028533	ACE HARDWARE OF LIBERTYVILLE PARTS FOR VH 2ND FLOOR BUILDOUT 100-420-47510.000	02/02/2026 RPETERSON MT MTLs BLDGS & GROUNDS		32.38 32.38	0.00	Paid	Y 02/23/2026	
231855 0000028534	AIR ONE EQUIPMENT INC REPAIR & PROCHECK TO SCBA 100-323-46635.000	02/02/2026 RPETERSON MT SCBA EQUIPMENT		565.49 565.49	0.00	Paid	Y 02/23/2026	
INUS418439 0000028535	AXON ENTERPRISE, INC AXON BWC AND FLEET - YEAR #4 OF 5 100-305-47011.000	02/01/2026 RPETERSON SOFTWARE		28,025.21 28,025.21	0.00	Paid	Y 02/23/2026	26-00231
267202905 0000028537	PACE ANALYTICAL SERVICES DEC/JANUARY EPA SAMPLES 500-462-46450.000	01/30/2026 RPETERSON CHEMICAL ANALYSIS		1,554.00 1,554.00	0.00	Paid	Y 02/23/2026	
INUS420087 0000028538	AXON ENTERPRISE, INC AXON BWC AND FLEET - YEAR #4 OF 5 100-305-47011.000	02/01/2026 RPETERSON SOFTWARE		3,275.11 3,275.11	0.00	Paid	Y 02/23/2026	26-00231
1PWT-VYH6-FJLW 0000028539	AMAZON CAPITAL SERVICES, INC. CREDIT FOR TAX FORMS NOT NEEDED 100-231-47015.000	02/02/2026 RPETERSON OFFICE SUPPLIES		(44.49) (44.49)	0.00	Paid	Y 02/23/2026	
9792722291 0000028540	GRAINGER PINTLE HITCHES 100-430-47528.000	02/02/2026 RPETERSON MT MTLs PICK-UP TRUCK		400.76 400.76	0.00	Paid	Y 02/23/2026	

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Pay By Check Type: Paper Check ANTENNA MOUNTS								
<u>354111</u> 0000028541	GENERAL COMMUNICATIONS, INC ANTENNA MOUNTS 100-430-47528.000	02/02/2026 RPETERSON MT MTLs PICK-UP TRUCK		174.70 174.70	0.00	Paid	Y 02/23/2026	
<u>3432</u> 0000028543	BEHM ENTERPRISES INC. WATER SERVICE LINE REPLACEMENT 520-466-48763.000	11/26/2025 RPETERSON WATER TOWER		10,975.00 10,975.00	0.00	Paid	Y 02/23/2026	26-00593
<u>3431</u> 0000028544	BEHM ENTERPRISES INC. WATER SERVICE LINE REPLACEMENT 520-466-48763.000	11/26/2025 RPETERSON WATER TOWER		9,500.00 9,500.00	0.00	Paid	Y 02/23/2026	26-00593
<u>12288489</u> 0000028545	ARENDS HOGAN WALKER LLC MOWER 468 TIRES AND WHEELS 100-430-47525.000	01/15/2026 RPETERSON MT MTLs HEAVY EQUIPMENT		299.67 299.67	0.00	Paid	Y 02/23/2026	
<u>12292297</u> 0000028546	ARENDS HOGAN WALKER LLC MOWER 468 BOLTS 100-430-47525.000	01/28/2026 RPETERSON MT MTLs HEAVY EQUIPMENT		11.40 11.40	0.00	Paid	Y 02/23/2026	
<u>98961878</u> 0000028547	SAFETY-KLEEN SYSTEMS INC. POWER WASHER SERVICE 500-453-47510.000	01/22/2026 RPETERSON MT MTLs BLDGS & GROUNDS		272.45 272.45	0.00	Paid	Y 02/23/2026	
<u>9313006518</u> 0000028548	LAWSON PRODUCTS, INC. BUTT CONNECTORS 100-430-47070.000	11/20/2025 RPETERSON TOOLS/SUPPLIES		31.86 31.86	0.00	Paid	Y 02/23/2026	
<u>6660029571</u> 0000028549	COMMERCIAL TIRE SERVICE, INC LOADER 451 FLAT REPAIR 100-430-46645.000	01/21/2026 RPETERSON MT HEAVY EQUIP VEHICLES		462.50 462.50	0.00	Paid	Y 02/23/2026	

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Pay By Check Type: Paper Check TRAILER 461 TIRES								
6660029572 0000028550	COMMERCIAL TIRE SERVICE, INC TRAILER 461 TIRES 100-430-47525.000	01/21/2026 RPETERSON MT MTLs HEAVY EQUIPMENT		237.66 237.66	0.00	Paid	Y 02/23/2026	
18095 0000028551	A-LAMP CONCRETE CONTRACTORS, INC. CONSTRUCTION OF THE 2025 (FY26) INFRASTR 210-442-48740.000	01/30/2026 RPETERSON STREETS		299,064.70 299,064.70	0.00	Paid	Y 02/23/2026	26-00242
1062-13026 0000028552	MIDWEST SNOW SOLUTIONS, INC. CONTRACTUAL SNOW AND ICE SERVICES IN ZON 100-441-46670.000	02/03/2026 RPETERSON MT ALL STREETS		1,195.00 1,195.00	0.00	Paid	Y 02/23/2026	26-00801
2457051 0000028553	RAY O'HERRON CO. EXTERIOR VEST W ARMOR (UNITED SHIELD) DA 100-305-47120.000	01/21/2026 RPETERSON CLOTHING ALLOWANCE		5,020.00 5,020.00	0.00	Paid	Y 02/23/2026	26-00574
1062-13126 0000028554	MIDWEST SNOW SOLUTIONS, INC. CONTRACTUAL SNOW AND ICE SERVICES IN ZON 100-441-46670.000	02/03/2026 RPETERSON MT ALL STREETS		2,665.00 2,665.00	0.00	Paid	Y 02/23/2026	26-00801
9793299471 0000028555	GRAINGER 100-301-47510.000	02/03/2026 RPETERSON MT MTLs BLDGS & GROUNDS		58.61 58.61	0.00	Paid	Y 02/23/2026	
9313188166 0000028556	LAWSON PRODUCTS, INC. MISC HARDWARE AND SUPPLIES 100-430-47070.000	02/03/2026 RPETERSON TOOLS/SUPPLIES		82.85 82.85	0.00	Paid	Y 02/23/2026	
020164 0000028557	NAPA AUTO PARTS PATCHER 473 BLOCK HEATER 100-430-47525.000	02/03/2026 RPETERSON MT MTLs HEAVY EQUIPMENT		93.59 93.59	0.00	Paid	Y 02/23/2026	

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Pay By Check Type: Paper Check BACKGROUND CHECKS								
853214667 0000028558	THOMSON REUTERS BACKGROUND CHECKS 100-304-46999.000 100-105-46999.000	02/01/2026 RPETERSON		335.70	0.00	Paid	Y 02/23/2026	
		MISC OTHER SERVICES		167.85				
		MISC OTHER SERVICES		167.85				
15055 0000028559	HAVEY COMMUNICATIONS INC. STRIP OLD SQUAD 7 100-430-46644.000	02/04/2026 RPETERSON		569.00	0.00	Paid	Y 02/23/2026	
		MT PATROL VEHICLES		569.00				
231947 0000028560	AIR ONE EQUIPMENT INC AIR TEST FOR AIR COMPRESSOR 100-323-46630.000	02/04/2026 RPETERSON		165.00	0.00	Paid	Y 02/23/2026	
		MT HAZARDOUS MATERIAL		165.00				
3044832931 0000028561	RUSH TRUCK CTR- IL TRUCK 439 AIR HOSE 100-430-47526.000	01/28/2026 RPETERSON		129.35	0.00	Paid	Y 02/23/2026	
		MT MTLs DUMP TRUCKS		129.35				
151033 0000028562	THE LOCKER SHOP UNIFORMS - COLLINS 100-321-47120.000	02/04/2026 RPETERSON		216.95	0.00	Paid	Y 02/23/2026	
		CLOTHING ALLOWANCE		216.95				
151034 0000028563	THE LOCKER SHOP UNIFORMS & DUTY BOOTS - LAFORME 100-321-47140.000 100-321-47120.000	02/04/2026 RPETERSON		433.95	0.00	Paid	Y 02/23/2026	
		SAFETY SHOES & GLASSES		159.00				
		CLOTHING ALLOWANCE		274.95				
0062942 0000028564	MD SOLUTIONS SIGN MATERIALS 100-441-47547.000	12/09/2025 RPETERSON		355.00	0.00	Paid	Y 02/23/2026	
		MT MTLs SIGNS		355.00				
248883 0000028565	MIDWEST HOSE AND FITTINGS INC PARTS FOR PRESSURE WASHER AND WASH OUT B 100-420-47510.000	02/03/2026 RPETERSON		17.30	0.00	Paid	Y 02/23/2026	
		MT MTLs BLDGS & GROUNDS		17.30				

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Pay By Check Type: Paper Check WATER MAIN REPAIR MATERIAL

0333808

0000028566	WATER PRODUCTS CO AURORA, INC WATER MAIN REPAIR MATERIAL 500-462-47563.000	02/04/2026 RPETERSON MT MTLs WATERMAINS		639.21 639.21	0.00	Paid	Y 02/23/2026	
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2026 0131 WTR

0000028567	CENTRAL LAKE COUNTY JAWA JAWA WATER CHARGES JAN 2026 500-463-47450.000	02/02/2026 VJANKOWSKI CLCJAWA WATER CHARGES		143,295.92 143,295.92	0.00	Paid	Y 02/23/2026	
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2025 SD 1130

0000028568	CENTRAL LAKE COUNTY JAWA JAWA ELEC/ROUTINE MAINT FEES NOV 2025 500-462-47421.000 500-462-46662.000	02/02/2026 VJANKOWSKI ELP WTR RECEIVING STRTR MT WTR RECEIVING STRUCTR		278.12 140.08 138.04	0.00	Paid	Y 02/23/2026	
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1R77-FKG3-CKMM

0000028569	AMAZON CAPITAL SERVICES, INC. REPLACEMENT VACUUM CLEANER HEADS 100-321-46620.000	02/03/2026 VJANKOWSKI MT BUILDING & GROUNDS		41.99 41.99	0.00	Paid	Y 02/23/2026	
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1MC6-1LXV-JJ41

0000028570	AMAZON CAPITAL SERVICES, INC. CREDIT FOR DAMAGED LEFT DESKTOP 100-202-47012.000	02/03/2026 VJANKOWSKI COMPUTER SUPPLIES		176.29 176.29	0.00	Paid	Y 02/23/2026	
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1RV3-9V34-4TJ9

0000028571	AMAZON CAPITAL SERVICES, INC. BOOK FOR DC LOCKWOOD 100-322-47010.000	02/04/2026 VJANKOWSKI BOOKS/PUBLICATIONS		45.55 45.55	0.00	Paid	Y 02/23/2026	
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DUES 2026

0000028572	IL ANIMAL CONTROL ASSOC. IL ANIMAL CONTROL ASSOCIATION ANNUAL DUE 100-303-46340.000	02/04/2026 VJANKOWSKI CONV/SCHOOLS/MTGS		50.00 50.00	0.00	Paid	Y 02/23/2026	
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6311689

0000028574	MGN LOCK-KEY & SAFES INC. NEW KEYS AND LOCKS AND HANDLES FOR 15 WE 100-420-46620.000	02/04/2026 VJANKOWSKI MT BUILDING & GROUNDS		1,659.30 1,659.30	0.00	Paid	Y 02/23/2026	
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Pay By Check Type: Paper Check PEST CONTROL - ST 2								
91692781 0000028576	TERMINIX ANDERSON PEST CONTROL - ST 2 100-321-46620.000	02/01/2026 VJANKOWSKI MT BUILDING & GROUNDS		58.26 58.26	0.00	Paid	Y 02/23/2026	
91692779 0000028577	TERMINIX ANDERSON PEST CONTROL - ST 1 100-321-46620.000	02/01/2026 VJANKOWSKI MT BUILDING & GROUNDS		89.98 89.98	0.00	Paid	Y 02/23/2026	
91693977 0000028578	TERMINIX ANDERSON PEST CONTROL 100-420-46599.000	02/01/2026 VJANKOWSKI MISC PROPERTY SERVICES		75.98 75.98	0.00	Paid	Y 02/23/2026	
60827 0000028579	MONROE TRUCK EQUIPMNT INC SALT SPINNER DISCS 100-430-47526.000	02/03/2026 VJANKOWSKI MT MTLs DUMP TRUCKS		656.17 656.17	0.00	Paid	Y 02/23/2026	
1622614 0000028580	COMPASS MINERALS AMERICA BULK ROCK SALT, STATE JOINT BID, 120% AL 100-441-47541.000	02/04/2026 VJANKOWSKI MT MTLs SALT		12,867.25 12,867.25	0.00	Paid	Y 02/23/2026	26-00622
9795212142 0000028581	GRAINGER RETURN BALL VALVE FOR PD 100-420-47510.000	02/04/2026 VJANKOWSKI MT MTLs BLDGS & GROUNDS		(58.61) (58.61)	0.00	Paid	Y 02/23/2026	
9795212134 0000028582	GRAINGER PLUMBING SUPPLIES FOR EYE WASH STATION 100-420-47510.000	02/04/2026 VJANKOWSKI MT MTLs BLDGS & GROUNDS		120.85 120.85	0.00	Paid	Y 02/23/2026	
1P3V-WP6R-69WQ 0000028583	AMAZON CAPITAL SERVICES, INC. TAX FORMS FOR 2025 100-231-47015.000	01/12/2026 VJANKOWSKI OFFICE SUPPLIES		50.45 50.45	0.00	Paid	Y 02/23/2026	

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Pay By Check Type: Paper Check MAYOR SUPPLIES								
1714-J3G1-NPX9								
0000028584	AMAZON CAPITAL SERVICES, INC. MAYOR SUPPLIES 100-111-47015.000	02/02/2026 VJANKOWSKI OFFICE SUPPLIES		82.77 82.77	0.00	Paid	Y 02/23/2026	
3044807192	RUSH TRUCK CTR- IL LG A55 BRAKE CALIPERS 100-430-47535.000	01/28/2026 VJANKOWSKI CONTRACTUAL FIRE PARTS		991.20 991.20	0.00	Paid	Y 02/23/2026	
3044865215	RUSH TRUCK CTR- IL LG A55 BRAKE PARTS 100-430-47535.000	01/29/2026 VJANKOWSKI CONTRACTUAL FIRE PARTS		1,006.63 1,006.63	0.00	Paid	Y 02/23/2026	
3044794161	RUSH TRUCK CTR- IL CREDIT 100-430-47526.000	01/29/2026 VJANKOWSKI MT MTLs DUMP TRUCKS		(2,047.03) (2,047.03)	0.00	Paid	Y 02/23/2026	
3044881245	RUSH TRUCK CTR- IL LG A55 BRAKE HOSE 100-430-47535.000	02/02/2026 VJANKOWSKI CONTRACTUAL FIRE PARTS		74.58 74.58	0.00	Paid	Y 02/23/2026	
303822	INFOSEND, INC. UB STATEMENTS/PAST DUE NOTICES 500-463-47016.000 500-463-46441.000	01/31/2026 DEC 25/JA VJANKOWSKI POSTAGE PRINTING SERVICES		8,083.83 6,220.47 1,863.36	0.00	Paid	Y 02/23/2026	26-00244
020235	NAPA AUTO PARTS SOLDERING IRON 100-430-47070.000	02/04/2026 VJANKOWSKI TOOLS/SUPPLIES		179.99 179.99	0.00	Paid	Y 02/23/2026	
020357	NAPA AUTO PARTS ELECTRICAL TAPE 100-430-47070.000	02/04/2026 VJANKOWSKI TOOLS/SUPPLIES		14.20 14.20	0.00	Paid	Y 02/23/2026	

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Pay By Check Type: Paper Check PLUMBING SUPPLIES ABC

88548/6 0000028592	ACE HARDWARE OF LIBERTYVILLE PLUMBING SUPPLIES ABC 294-294-46620.000	02/05/2026 VJANKOWSKI MT BUILDING & GROUNDS		8.99 8.99	0.00	Paid	Y 02/23/2026	
1JVN-L4YF-3CGN 0000028593	AMAZON CAPITAL SERVICES, INC. LG A56 CRANK SEAL TOOL 100-430-47535.000	02/05/2026 VJANKOWSKI CONTRACTUAL FIRE PARTS		37.70 37.70	0.00	Paid	Y 02/23/2026	
170481 0000028594	RAY SCHRAMER & CO. MISSION COUPLINGS 100-441-47554.000	02/05/2026 VJANKOWSKI MT MTLs PIPE		144.90 144.90	0.00	Paid	Y 02/23/2026	
17577379 0000028595	W.S. DARLEY & CO ELECTRIC VEHICLE FIRE FIGHTING SUPPLIES 100-323-47070.000	02/04/2026 VJANKOWSKI BR-192 - EV PLUG		900.00 900.00	0.00	Paid	Y 02/23/2026	26-00772
w39883 0000028596	WEST SIDE TRACTOR SALES LOADER WHEEL RINGS 100-430-47525.000	02/05/2026 VJANKOWSKI MT MTLs HEAVY EQUIPMENT		669.80 669.80	0.00	Paid	Y 02/23/2026	
03012026 0000028597	BESTCO UA RETIREE BENISTAR INS MARCH 2026 100-000-26080.000	02/01/2026 VJANKOWSKI HEALTH INSURANCE PAYABLE		13,535.60 13,535.60	0.00	Paid	Y 02/23/2026	26-00221
593401 0000028598	RILCO, INC. BULK ENGINE OIL 100-430-47080.000	02/03/2026 VJANKOWSKI CHEMICAL SUPPLIES		1,229.00 1,229.00	0.00	Paid	Y 02/23/2026	
88549/6 0000028599	ACE HARDWARE OF LIBERTYVILLE MATERIAL FOR FLAG MAINT 100-420-47510.000	02/05/2026 VJANKOWSKI MT MTLs BLDGS & GROUNDS		7.18 7.18	0.00	Paid	Y 02/23/2026	

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Pay By Check Type: Paper Check QUARTERLY INVOICES FOR LAKECOMM DISPATCH SVCS FOR 11/1/25 - 1/31/26 & 2/1/26 - 4/30/26								
650038 0000028600	LAKECOMM QUARTERLY INVOICES FOR LAKECOMM DISPATCH VJANKOWSKI 100-321-46499.000	01/01/2026 DISPATCH SERVICES FROM LAKECOMM		41,186.25 41,186.25	0.00	Paid	Y 02/23/2026	26-00650
650057 0000028601	LAKECOMM DISPATCH SERVICES FROM 11/1/2025 - 04/30 VJANKOWSKI 100-302-46499.000	01/01/2026 DISPATCH SERVICES		164,818.75 164,818.75	0.00	Paid	Y 02/23/2026	26-00657
50704556 0000028602	CAHILL HEATING & A/C ISSUES WITH BOILER 1 GOING INTO LOCK OUT VJANKOWSKI 100-420-46620.000	02/03/2026 MT BUILDING & GROUNDS		412.50 412.50	0.00	Paid	Y 02/23/2026	
50259645 0000028603	CAHILL HEATING & A/C BOILERS OPERATING ISSUES AT VH VJANKOWSKI 100-420-46620.000	02/03/2026 MT BUILDING & GROUNDS		600.00 600.00	0.00	Paid	Y 02/23/2026	
112P341086 0000028604	CIT TRUCKS LLC TRUCK 420 HEADLIGHTS VJANKOWSKI 100-430-47528.000	02/05/2026 MT MTLs PICK-UP TRUCK		1,155.64 1,155.64	0.00	Paid	Y 02/23/2026	
199R-TQ9F-7NLJ 0000028606	AMAZON CAPITAL SERVICES, INC. CAR CHARGER FOR TABLET VJANKOWSKI 500-462-47070.000	02/05/2026 TOOLS/SUPPLIES		33.20 33.20	0.00	Paid	Y 02/23/2026	
187833 0000028607	VICTOR FORD INC. CS AMB 172 CAC HOSE VJANKOWSKI 100-430-47535.000	01/21/2026 CONTRACTUAL FIRE PARTS		196.36 196.36	0.00	Paid	Y 02/23/2026	
9313015185 0000028608	LAWSON PRODUCTS, INC. MOWER 487 CHAIN VJANKOWSKI 100-430-47525.000	11/24/2025 MT MTLs HEAVY EQUIPMENT		117.40 117.40	0.00	Paid	Y 02/23/2026	

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Pay By Check Type: Paper Check SIGN SHOP SUPPLIES								
088550/6 0000028609	ACE HARDWARE OF LIBERTYVILLE SIGN SHOP SUPPLIES 100-441-47070.000	02/05/2026 VJANKOWSKI TOOLS/SUPPLIES		37.77 37.77	0.00	Paid	Y 02/23/2026	
6311699 0000028610	MGN LOCK-KEY & SAFES INC. KEYS AND LOCK BOX FOR SRACL 100-420-46620.000	02/05/2026 VJANKOWSKI MT BUILDING & GROUNDS		178.20 178.20	0.00	Paid	Y 02/23/2026	
1103618 0000028611	YELLOWSTONE LANDSCAPE, INC. CONTRACTUAL SNOW AND ICE CONTROL SERVICE 100-441-46670.000	01/22/2026 VJANKOWSKI MT ALL STREETS		476.00 476.00	0.00	Paid	Y 02/23/2026	26-00590
1103617 0000028612	YELLOWSTONE LANDSCAPE, INC. CONTRACTUAL SNOW AND ICE CONTROL SERVICE 100-441-46670.000	01/22/2026 VJANKOWSKI MT ALL STREETS		2,454.00 2,454.00	0.00	Paid	Y 02/23/2026	26-00590
1103634 0000028613	YELLOWSTONE LANDSCAPE, INC. CONTRACTUAL SNOW AND ICE CONTROL SERVICE 100-441-46670.000	01/30/2026 VJANKOWSKI MT ALL STREETS		476.00 476.00	0.00	Paid	Y 02/23/2026	26-00590
1103633 0000028614	YELLOWSTONE LANDSCAPE, INC. CONTRACTUAL SNOW AND ICE CONTROL SERVICE 100-441-46670.000	01/30/2026 VJANKOWSKI MT ALL STREETS		1,160.00 1,160.00	0.00	Paid	Y 02/23/2026	26-00590
72635 0000028615	MUNICIPAL COLL OF AMERICA INC JAN 26 COLLECTIONS 500-000-33210.000 100-000-32750.000 100-000-32205.000	01/31/2026 VJANKOWSKI VILLAGE WATER CHARGES PL HEARING OFFICER FINES AMBULANCE SERVICE FEES		1,329.02 270.87 63.30 994.85	0.00	Paid	Y 02/23/2026	
18960060137-012 0000028616	NICOR GAS COMPANY 3716 CANTON LFT STN 500-452-47430.000	02/03/2026 VJANKOWSKI HEATING FUELS		65.40 65.40	0.00	Paid	Y 02/23/2026	

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Pay By Check Type: Paper Check 2810 w RT60								
40127416028-012								
0000028617	NICOR GAS COMPANY 2810 W RT60 500-452-47430.000	02/02/2026 VJANKOWSKI		66.54	0.00	Paid	Y 02/23/2026	
		HEATING FUELS		66.54				
70391475285-012								
0000028618	NICOR GAS COMPANY 3585 GRND DOM LFT STN 500-452-47430.000	02/03/2026 VJANKOWSKI		65.40	0.00	Paid	Y 02/23/2026	
		HEATING FUELS		65.40				
0668285000-0226								
0000028619	COMED 0 S HAWLEY W OF RRTRX 01/05-02/02/26 100-427-47420.000	02/03/2026 VJANKOWSKI		97.60	0.00	Paid	Y 02/23/2026	
		ELECTRIC LIGHT/POWER		97.60				
0725595000-0226								
0000028620	COMED 937 NE HOLCOMB DR LFT STN #1 500-452-47420.000	02/03/2026 VJANKOWSKI		133.93	0.00	Paid	Y 02/23/2026	
		ELECTRIC LIGHT/POWER		133.93				
1286631222-0226								
0000028621	COMED 410 AMBRIA LFT STN #6 01/05-02/02/26 500-452-47420.000	02/03/2026 VJANKOWSKI		268.02	0.00	Paid	Y 02/23/2026	
		ELECTRIC LIGHT/POWER		268.02				
1557812000-0226								
0000028622	COMED 22 E PARK ST 01/05-02/02/26 100-441-47420.000	02/02/2026 VJANKOWSKI		55.71	0.00	Paid	Y 02/23/2026	
		ELECTRIC LIGHT/POWER		55.71				
3412-279903								
0000028625	O'REILLY AUTOMOTIVE INC TRUCK 102 ENGINE OIL 500-462-47528.000	02/04/2026 VJANKOWSKI		64.46	0.00	Paid	Y 02/23/2026	
		MT MTLs PICK-UP TRUCK		64.46				
91695320								
0000028626	TERMINIX ANDERSON PEST CONTROL 100-420-46599.000	02/05/2026 VJANKOWSKI		257.73	0.00	Paid	Y 02/23/2026	
		MISC PROPERTY SERVICES		257.73				

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Pay By Check Type: Paper Check BULK ROCK SALT, STATE JOINT BID, 120% ALLOCATION								
1623603 0000028627	COMPASS MINERALS AMERICA BULK ROCK SALT, STATE JOINT BID, 120% AL 100-441-47541.000	02/05/2026 VJANKOWSKI MT MTL SALT		1,782.21 1,782.21	0.00	Paid	Y 02/23/2026	26-00622
9798262854 0000028628	GRAINGER HOSE BUMPER STOP 100-430-47070.000	02/05/2026 VJANKOWSKI TOOLS/SUPPLIES		25.19 25.19	0.00	Paid	Y 02/23/2026	
020400 0000028629	NAPA AUTO PARTS OIL FILTER 100-430-47526.000	02/04/2026 VJANKOWSKI MT MTL S DUMP TRUCKS		5.45 5.45	0.00	Paid	Y 02/23/2026	
020503 0000028630	NAPA AUTO PARTS TRUCK 415 HEADLIGHT 100-430-47528.000	02/05/2026 VJANKOWSKI MT MTL S PICK-UP TRUCK		17.09 17.09	0.00	Paid	Y 02/23/2026	
020531 0000028631	NAPA AUTO PARTS LG A56 BELT 100-430-47535.000	02/05/2026 VJANKOWSKI CONTRACTUAL FIRE PARTS		79.63 79.63	0.00	Paid	Y 02/23/2026	
POL-01232026 0000028632	ANTHONY EDWARD BERTRAM WELLNESS CHECKS 100-301-46499.000	01/23/2026 VJANKOWSKI PROFESSIONAL SERVICES		1,050.00 1,050.00	0.00	Paid	Y 02/23/2026	
112P341571 0000028633	CIT TRUCKS LLC TRUCK 425 TAILGATE AIR VALVE 100-430-47526.000	02/06/2026 VJANKOWSKI MT MTL S DUMP TRUCKS		200.01 200.01	0.00	Paid	Y 02/23/2026	
593612 0000028634	RILCO, INC. REPLACEMENT DEF PUMP 100-430-47080.000	02/05/2026 VJANKOWSKI CHEMICAL SUPPLIES		1,147.33 1,147.33	0.00	Paid	Y 02/23/2026	

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Pay By Check Type: Paper Check NEW HIRE SCREEN - SCHNUR								
21092049-2 0000028635	ADVOCATE HEALTH-HOSPITALS CORP NEW HIRE SCREEN - SCHNUR 100-205-46904.000	10/26/2025 VJANKOWSKI PHYSICAL EXAMS		66.00 66.00	0.00	Paid	Y 02/23/2026	
198403 0000028636	HR GREEN COMPANY DESIGN ENGINEERING SERVICE AGREEMENT FOR VJANKOWSKI 280-446-48745.000	02/06/2026 DRAINAGE IMPROVEMENTS		566.25 566.25	0.00	Paid	Y 02/23/2026	26-00424
5804742938 0000028637	NORTH SHORE GAS CO. 300 PLAZA CR 01/01-01/31/26 500-453-47430.000	02/05/2026 VJANKOWSKI HEATING FUELS		2,547.36 2,547.36	0.00	Paid	Y 02/23/2026	
5804948347 0000028638	NORTH SHORE GAS CO. 801 E ALLANSON 01/01-01/31/26 500-453-47430.000	02/05/2026 VJANKOWSKI HEATING FUELS		96.14 96.14	0.00	Paid	Y 02/23/2026	
1617799000-0226 0000028639	COMED 0 N DIVISION 1E RRTRX 01/05-02/02/26 100-427-47420.000	02/03/2026 VJANKOWSKI ELECTRIC LIGHT/POWER		138.89 138.89	0.00	Paid	Y 02/23/2026	
2710184000-0226 0000028640	COMED 1199 W HAWLEY ST PRV 01/05-02/02/26 500-462-47420.000	02/03/2026 VJANKOWSKI ELECTRIC LIGHT/POWER		211.44 211.44	0.00	Paid	Y 02/23/2026	
2833446000-0226 0000028641	COMED 2800 W RT60 LIFT STN 01/05-02/02/26 500-452-47420.000	02/03/2026 VJANKOWSKI ELECTRIC LIGHT/POWER		119.64 119.64	0.00	Paid	Y 02/23/2026	
3034202111-0226 0000028642	COMED 3811 MELODY ST SIGN 01/05-02/02/26 100-441-47420.000	02/02/2026 VJANKOWSKI ELECTRIC LIGHT/POWER		74.81 74.81	0.00	Paid	Y 02/23/2026	

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Pay By Check Type: Paper Check 1499 N MIDLOTHIAN PRSR VLVE 01/05-02/02/26								
3664723000-0226 0000028643	COMED 1499 N MIDLOTHIAN PRSR VLVE 500-462-47420.000	02/03/2026 01/05-02/02 VJANKOWSKI ELECTRIC LIGHT/POWER		203.65 203.65	0.00	Paid	Y 02/23/2026	
3665583814-0226 0000028644	COMED 301 ARCHER AVE 01/05-02/02/26 100-201-47420.000	02/02/2026 VJANKOWSKI ELECTRIC LIGHT/POWER		337.92 337.92	0.00	Paid	Y 02/23/2026	
4200188000-0226 0000028645	COMED 801 ALLANSON RD 01/05-02/02/26 500-462-47420.000	02/03/2026 VJANKOWSKI ELECTRIC LIGHT/POWER		282.92 282.92	0.00	Paid	Y 02/23/2026	
4424842000-0226 0000028646	COMED 99 HAMMOND 01/05-02/02/26 100-441-47420.000	02/02/2026 VJANKOWSKI ELECTRIC LIGHT/POWER		295.42 295.42	0.00	Paid	Y 02/23/2026	
4426081222-0226 0000028647	COMED 3716 CANTON CR LFT STN 2 01/05-02/02/26 500-452-47420.000	02/03/2026 VJANKOWSKI ELECTRIC LIGHT/POWER		215.23 215.23	0.00	Paid	Y 02/23/2026	
572506222-0226 0000028648	COMED 695 BANBURY RD LFT STN 4 01/05-02/02/26 500-452-47420.000	02/03/2026 VJANKOWSKI ELECTRIC LIGHT/POWER		151.70 151.70	0.00	Paid	Y 02/23/2026	
5745894000-0226 0000028649	COMED 1001 E MAPLE AVE 01/05-02/02/26 500-462-47420.000	02/03/2026 VJANKOWSKI ELECTRIC LIGHT/POWER		1,981.22 1,981.22	0.00	Paid	Y 02/23/2026	
6378346000-0226 0000028650	COMED 1399 N STATE RT83 01/05-02/02/26 500-462-47420.000	02/03/2026 VJANKOWSKI ELECTRIC LIGHT/POWER		159.12 159.12	0.00	Paid	Y 02/23/2026	

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Pay By Check Type: Paper Check 205 N ARCHER AVE 01/05-02/02/26								
7046699000-0226								
0000028651	COMED	02/03/2026		944.64	0.00	Paid	Y	
	205 N ARCHER AVE 01/05-02/02/26	VJANKOWSKI					02/23/2026	
	100-427-47420.000	ELECTRIC LIGHT/POWER		944.64				
7058493000-0226								
0000028652	COMED	02/03/2026		164.10	0.00	Paid	Y	
	1499 N STATE RT83 PRSR VLVE 01/05-02/02	VJANKOWSKI					02/23/2026	
	500-462-47420.000	ELECTRIC LIGHT/POWER		164.10				
26-5600								
0000028653	METRO PARAMEDIC SERVICES	02/07/2026		40,448.25	0.00	Paid	Y	26-00281
	2025 CONTRACT FIREFIGHTER/PARAMEDICS	VJANKOWSKI					02/23/2026	
	100-323-46417.000	CONTRACTUAL FF/PARAMEDICS		40,448.25				
7121200100-0226								
0000028654	COMED	02/03/2026		4,599.40	0.00	Paid	Y	
	165 N ARCHER AVE 01/05-02/02/26	VJANKOWSKI					02/23/2026	
	294-294-47420.000	ELECTRIC LIGHT/POWER		4,599.40				
7308733000-0226								
0000028655	COMED	02/03/2026		71.90	0.00	Paid	Y	
	1 TANK PL S RT176 & RT60/83 01/05-02/02	VJANKOWSKI					02/23/2026	
	500-462-47420.000	ELECTRIC LIGHT/POWER		71.90				
7445292000-0226								
0000028656	COMED	02/03/2026		135.58	0.00	Paid	Y	
	3585 GRND DOM LFT STN PH 1 01/05-02/02/	VJANKOWSKI					02/23/2026	
	500-452-47420.000	ELECTRIC LIGHT/POWER		135.58				
8120233000-0226								
0000028657	COMED	02/02/2026		74.81	0.00	Paid	Y	
	3332 EPSTEIN CR SIGN 01/05-02/02/26	VJANKOWSKI					02/23/2026	
	100-441-47420.000	ELECTRIC LIGHT/POWER		74.81				
8757793000-0226								
0000028658	COMED	02/03/2026		2,618.41	0.00	Paid	Y	
	1601 W WINCHESTER 01/05-02/02/26	VJANKOWSKI					02/23/2026	
	500-462-47420.000	ELECTRIC LIGHT/POWER		2,618.41				

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Pay By Check Type: Paper Check 1 TANK PL PRSR VLVE 01/05-02/02/26								
9337142222-0226 0000028659	COMED 1 TANK PL PRSR VLVE 01/05-02/02/26 500-462-47420.000	02/03/2026 VJANKOWSKI ELECTRIC LIGHT/POWER		210.93 210.93	0.00	Paid	Y 02/23/2026	
9630104000-0226 0000028660	COMED 396 W MAPLE AV LFT STN 2 01/05-02/02/26 500-452-47420.000	02/03/2026 VJANKOWSKI ELECTRIC LIGHT/POWER		224.56 224.56	0.00	Paid	Y 02/23/2026	
9994082222-0226 0000028661	COMED 209 DUNTON CT 01/05-02/02/26 500-462-47420.000	02/03/2026 VJANKOWSKI ELECTRIC LIGHT/POWER		916.64 916.64	0.00	Paid	Y 02/23/2026	
E3-260189179 0000028662	CUMMINS SALES AND SERVICE CUMMINS INSITE RETUREND 100-430-47010.000	01/05/2026 VJANKOWSKI BOOKS/PUBLICATIONS		1,650.00 1,650.00	0.00	Paid	Y 02/23/2026	
E3-260189181 0000028663	CUMMINS SALES AND SERVICE CREDIT 100-430-47010.000	01/05/2026 VJANKOWSKI BOOKS/PUBLICATIONS		(1,650.00) (1,650.00)	0.00	Paid	Y 02/23/2026	
E3-260190294 0000028664	CUMMINS SALES AND SERVICE CUMMINS INSITE AND QUICKSERVE 100-430-47010.000	01/27/2026 SUBSCRIPTI VJANKOWSKI BOOKS/PUBLICATIONS		1,680.00 1,680.00	0.00	Paid	Y 02/23/2026	
7701742000-0126 0000028665	COMED 500 N DUNBAR 11/11-12/11/25 100-441-47420.000	01/28/2026 VJANKOWSKI ELECTRIC LIGHT/POWER		9,136.01 9,136.01	0.00	Paid	Y 02/23/2026	
INV081159 0000028666	METROPOLITAN IND. INC. MAPLE PS 500-462-47565.000	02/06/2026 VJANKOWSKI MT MTLS PUMPING STATIONS		1,029.29 1,029.29	0.00	Paid	Y 02/23/2026	

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Pay By Check Type: Paper Check SQUAD 15 ALIGNMENT								
47521953 0000028667	BELLE TIRE DISTRIBUTORS SQUAD 15 ALIGNMENT 100-430-46644.000	02/06/2026 VJANKOWSKI		94.99	0.00	Paid	Y 02/23/2026	
		MT PATROL VEHICLES		94.99				
15059 0000028668	HAVEY COMMUNICATIONS INC. UPFITTING OF ONE PD F150 RESPONDER 272-315-48350.000	02/06/2026 VJANKOWSKI		11,245.90	0.00	Paid	Y 02/23/2026	26-00451
		PATROL VEHICLES		11,245.90				
199R-TQ9F-WV3V 0000028669	AMAZON CAPITAL SERVICES, INC. BOOK FOR TRAINING OFFICER 100-323-47010.000	02/06/2026 VJANKOWSKI		45.55	0.00	Paid	Y 02/23/2026	
		BOOKS/PUBLICATIONS		45.55				
65885211 0000028670	ROBERT HALF TO ENCUMBER COST FOR CONTINUED SERVICES 100-260-48410.000	02/05/2026 VJANKOWSKI		5,800.00	0.00	Paid	Y 02/23/2026	26-00794
		COMPUTER EQUIPMENT		5,800.00				
207969 0000028671	CHRISTOPHER B BURKE ENGINEERING LTD PROF ENG SERVICES RELATED TO IEPA PUBLIC 500-461-46410.000	02/06/2026 VJANKOWSKI		2,095.00	0.00	Paid	Y 02/23/2026	26-00526
		CONSULTING SERVICES		2,095.00				
5147137 0000028672	LIBERTYVILLE LINCOLN SALES INC SQUAD 1 O2 SENSOR AND PLUGS 100-430-47524.000	01/13/2026 VJANKOWSKI		472.79	0.00	Paid	Y 02/23/2026	
		MT MTLs PATROL VEHICLES		472.79				
5147165 0000028673	LIBERTYVILLE LINCOLN SALES INC TRUCK 426 FUEL FILTER HOUSING 100-430-47526.000	01/14/2026 VJANKOWSKI		127.96	0.00	Paid	Y 02/23/2026	
		MT MTLs DUMP TRUCKS		127.96				
5147195 0000028674	LIBERTYVILLE LINCOLN SALES INC SQUAD 11 WATER PUMP 100-430-47524.000	01/15/2026 VJANKOWSKI		357.39	0.00	Paid	Y 02/23/2026	
		MT MTLs PATROL VEHICLES		357.39				

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Pay By Check Type: Paper Check CAR 902 SUSPENSION PARTS								
5147281 0000028675	LIBERTYVILLE LINCOLN SALES INC CAR 902 SUSPENSION PARTS 100-430-47521.000	01/20/2026 VJANKOWSKI MT MTLs INSP VEHICLES		356.06 356.06	0.00	Paid	Y 02/23/2026	
5147298 0000028676	LIBERTYVILLE LINCOLN SALES INC SQUAD 3 TPMS SENSORS 100-430-47524.000	01/20/2026 VJANKOWSKI MT MTLs PATROL VEHICLES		133.80 133.80	0.00	Paid	Y 02/23/2026	
5147315 0000028677	LIBERTYVILLE LINCOLN SALES INC SQUAD 3 TPMS SENSOR 100-430-47524.000	01/21/2026 VJANKOWSKI MT MTLs PATROL VEHICLES		133.80 133.80	0.00	Paid	Y 02/23/2026	
5147332 0000028678	LIBERTYVILLE LINCOLN SALES INC SQUAD 10 WATER PUMP 100-430-47524.000	01/22/2026 VJANKOWSKI MT MTLs PATROL VEHICLES		357.39 357.39	0.00	Paid	Y 02/23/2026	
5147609 0000028679	LIBERTYVILLE LINCOLN SALES INC LG A56 SEALANT 100-430-47535.000	02/05/2026 VJANKOWSKI CONTRACTUAL FIRE PARTS		119.68 119.68	0.00	Paid	Y 02/23/2026	
w1818894 0000028680	AL WARREN OIL CO., INC BLANKET PO FOR FY26 BULK FUEL PURCHASES 500-452-47440.000 500-462-47440.000 100-430-47440.000	02/06/2026 VJANKOWSKI GASOLINE GASOLINE GASOLINE		12,772.99 0.00 0.00 12,772.99	0.00	Paid	Y 02/23/2026	26-00359
w1818893 0000028681	AL WARREN OIL CO., INC BLANKET PO FOR FY26 BULK FUEL PURCHASES 500-452-47440.000 500-462-47440.000 100-430-47440.000	02/06/2026 VJANKOWSKI GASOLINE GASOLINE GASOLINE		8,036.09 0.00 0.00 8,036.09	0.00	Paid	Y 02/23/2026	26-00359

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Pay By Check Type: Paper Check MOWER 468 TIRES								
6660029708 0000028683	COMMERCIAL TIRE SERVICE, INC MOWER 468 TIRES 100-430-47525.000	02/06/2026 VJANKOWSKI		170.00	0.00	Paid	Y 02/23/2026	
		MT MTLs HEAVY EQUIPMENT		170.00				
6660029709 0000028684	COMMERCIAL TIRE SERVICE, INC SQUAD 15 TIRES 100-430-47524.000	02/06/2026 VJANKOWSKI		562.00	0.00	Paid	Y 02/23/2026	
		MT MTLs PATROL VEHICLES		562.00				
4426331 0000028685	ZOLL MEDICAL CORPORATION MONITOR PADS - ADULT 100-324-47040.000	02/06/2026 VJANKOWSKI		578.25	0.00	Paid	Y 02/23/2026	
		TRAUMA UNIT SUPPLIES		578.25				
020616 0000028686	NAPA AUTO PARTS DEGREASER 100-430-47080.000	02/06/2026 VJANKOWSKI		68.28	0.00	Paid	Y 02/23/2026	
		CHEMICAL SUPPLIES		68.28				
112P341987 0000028687	CIT TRUCKS LLC CORE CREDIT 100-430-47523.000	02/07/2026 VJANKOWSKI		(250.00)	0.00	Paid	Y 02/23/2026	
		MT MTLs FIRE APPARATUS		(250.00)				
1VKL-VF34-NRQW 0000028688	AMAZON CAPITAL SERVICES, INC. BOOTS - CALLAS 100-305-47120.000	02/07/2026 VJANKOWSKI		169.95	0.00	Paid	Y 02/23/2026	
		CLOTHING ALLOWANCE		169.95				
81298288 0000028689	VERATHON GLIDESCOPE 100-321-47070.000 100-324-47070.000 100-324-47070.000	12/30/2025 VJANKOWSKI		2,125.00	0.00	Paid	Y 02/23/2026	26-00729
		0270-1107 - GLIDESCOPE GO 2 MONITOR KIT		2,000.00				
		1800-0684 - GLIDESCOPE GO 2 SM CASE		48.00				
		FREIGHT		77.00				
7008712887 0000028690	STAPLES ADVANTAGE OFFICE & TRN RM SUPPLIES 100-321-47015.000 100-321-47070.000	02/07/2026 VJANKOWSKI		125.31	0.00	Paid	Y 02/23/2026	
		OFFICE SUPPLIES		69.79				
		TOOLS/SUPPLIES		55.52				

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Pay By Check Type: Paper Check STARCOM21 MONTHLY RADIO SERVICE FEES INCREASE - ADD'L RADIOS ACTIVE

10046920260102

0000028691	MOTOROLA SOLUTIONS STARCOM21 NETWOR	02/01/2026		2,233.00	0.00	Paid	Y	26-00536
	STARCOM21 MONTHLY RADIO SERVICE FEES INC VJANKOWSKI							02/23/2026
	100-323-47351.000	RADIO SERVICING		1,681.00				
	100-323-47351.000	RADIO SERVICING		552.00				

INV081181

0000028692	METROPOLITAN IND. INC.	02/09/2026		1,029.29	0.00	Paid	Y	
	WINCHESTER PS	VJANKOWSKI						02/23/2026
	500-462-47565.000	MT MTLs PUMPING STATIONS		1,029.29				

2761523333-0226

0000028693	COMED	02/06/2026		69.23	0.00	Paid	Y	
	440 E HAWLEY LITE CNTRLR 01/09-02/06/26 VJANKOWSKI							02/23/2026
	100-441-47420.000	ELECTRIC LIGHT/POWER		69.23				

3306834000-0226

0000028694	COMED	02/06/2026		262.28	0.00	Paid	Y	
	1690 S BUTTERFIELD LFT STN 5 01/08-02/0 VJANKOWSKI							02/23/2026
	500-452-47420.000	ELECTRIC LIGHT/POWER		262.28				

5488424000-0226

0000028695	COMED	02/06/2026		2,574.45	0.00	Paid	Y	
	936 CAMPUS DR 01/08-02/05/26 VJANKOWSKI							02/23/2026
	500-462-47420.000	ELECTRIC LIGHT/POWER		2,574.45				

7201632000-0226

0000028696	COMED	02/06/2026		12,813.61	0.00	Paid	Y	
	1610 S MILWAUKEE TRMT FAC 01/08-02/05/2 VJANKOWSKI							02/23/2026
	500-453-47420.000	ELECTRIC LIGHT/POWER		12,813.61				

91126320

0000028697	EPIQ EDISCOVERY SOLUTIONS, INC	02/08/2026		350.00	0.00	Paid	Y	
	100-000-34670.000	VJANKOWSKI INS REIMBURSEMENTS		350.00				02/23/2026

36439

0000028699	THE PRINTING FACTORY	02/09/2026		403.00	0.00	Paid	Y	
	MUNDELEIN NOTE PADS (400)	VJANKOWSKI						02/23/2026
	100-201-47015.000	OFFICE SUPPLIES		403.00				

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Pay By Check Type: Paper Check DUTUY BOOTS - GONZAGA								
PS-INV058113								
0000028700	CUTLER WORKWEAR	02/09/2026		172.75	0.00	Paid	Y	
	DUTUY BOOTS - GONZAGA		VJANKOWSKI				02/23/2026	
	100-321-47140.000	SAFETY SHOES & GLASSES		172.75				
<hr/>								
AD-LEGAL JAN 20								
0000028701	LALUZERNE & SMITH, LTD.	01/31/2026		1,680.00	0.00	Paid	Y	
	LEGAL FEES - JANUARY 2025 - FOIA REVIEW		VJANKOWSKI				02/23/2026	
	100-240-46401.000	CORPORATE COUNSEL		1,680.00				
<hr/>								
151211								
0000028702	THE LOCKER SHOP	02/09/2026		101.00	0.00	Paid	Y	
	UNIFORMS - JONES		VJANKOWSKI				02/23/2026	
	100-321-47120.000	CLOTHING ALLOWANCE		101.00				
<hr/>								
151212								
0000028703	THE LOCKER SHOP	02/09/2026		403.95	0.00	Paid	Y	
	UNIFORMS - KUESTER		VJANKOWSKI				02/23/2026	
	100-321-47120.000	CLOTHING ALLOWANCE		403.95				
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MCD-070326-DEP								
0000028704	STEVE BELLIVEAU	02/09/2026		50.00	0.00	Paid	Y	
	MCD26 MAGICIAN, 50% DEPOSIT, FY27 GL ACC		VJANKOWSKI				02/23/2026	
	100-000-12600.000	PREPAID EXPENSE		50.00				
<hr/>								
15060								
0000028706	HAVEY COMMUNICATIONS INC.	02/06/2026		490.00	0.00	Paid	Y	
	SQUAD 7 AXON INSTALLATION		VJANKOWSKI				02/23/2026	
	100-430-46644.000	MT PATROL VEHICLES		490.00				
<hr/>								
13NK-KLK1-D4H3								
0000028707	AMAZON CAPITAL SERVICES, INC.	02/06/2026		66.00	0.00	Paid	Y	
	OFFICE SUPPLIES		VJANKOWSKI				02/23/2026	
	500-452-47015.000	OFFICE SUPPLIES		66.00				
<hr/>								
26-002-7621								
0000028708	SECOND CHANCE CARDIAC SOLUTIONS, IN	02/06/2026		824.98	0.00	Paid	Y	
	AED PADS AND BATTERIES		VJANKOWSKI				02/23/2026	
	100-305-47999.000	OTHER COMMODITIES		824.98				

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Pay By Check Type: Paper Check GREEN COMBAT HOSE - 2.5" X 50'								
17577650 0000028709	W.S. DARLEY & CO GREEN COMBAT HOSE - 2.5" X 50' 100-323-47530.000	02/09/2026 VJANKOWSKI MT MTLs OTHER EQUIPMENT		1,222.60 1,222.60	0.00	Paid	Y 02/23/2026	
9800553209 0000028710	GRAINGER FOR PUMPING STATIONS 500-462-47532.000	02/09/2026 VJANKOWSKI MT MTLs ELECTRICAL EQUIP		395.80 395.80	0.00	Paid	Y 02/23/2026	
Y505568 0000028711	CORE & MAIN LP REPAIR COUPLINGS 500-462-47563.000	02/09/2026 VJANKOWSKI MT MTLs WATERMAINS		260.00 260.00	0.00	Paid	Y 02/23/2026	
020732 0000028712	NAPA AUTO PARTS OIL DRY 100-323-47070.000	02/09/2026 VJANKOWSKI TOOLS/SUPPLIES		119.90 119.90	0.00	Paid	Y 02/23/2026	
020748 0000028713	NAPA AUTO PARTS ROLLER 478 PM FILTERS 100-430-47525.000	02/09/2026 VJANKOWSKI MT MTLs HEAVY EQUIPMENT		43.43 43.43	0.00	Paid	Y 02/23/2026	
020752 0000028714	NAPA AUTO PARTS GLOVES 100-430-47070.000	02/09/2026 VJANKOWSKI TOOLS/SUPPLIES		14.99 14.99	0.00	Paid	Y 02/23/2026	
020765 0000028715	NAPA AUTO PARTS ROLLER 478 BATTERY 100-430-47525.000	02/09/2026 VJANKOWSKI MT MTLs HEAVY EQUIPMENT		179.99 179.99	0.00	Paid	Y 02/23/2026	
020817 0000028716	NAPA AUTO PARTS LG A56 CONNECTOR 100-430-47535.000	02/09/2026 VJANKOWSKI CONTRACTUAL FIRE PARTS		59.38 59.38	0.00	Paid	Y 02/23/2026	

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Invoice Number Inv Ref #	Vendor Description GL Distribution	Invoice Date Entered By	Due Date	Invoice Amount	Amount Due	Status	Posted Post Date	PO Number
Pay By Check Type: Paper Check 555 N SEYMOUR AVE PARK 01/05-02/02/26								
8848282222-0226 0000028717	COMED 555 N SEYMOUR AVE PARK 100-441-47420.000	02/09/2026 VJANKOWSKI	01/05-02/02/26	42.74	0.00	Paid	Y 02/23/2026	
		ELECTRIC LIGHT/POWER		42.74				
45924 0000028718	M. E. SIMPSON CO. INC. LEAK SELECTION FOR WATER BRK 500-462-46692.000	01/31/2026 VJANKOWSKI		545.00	0.00	Paid	Y 02/23/2026	
		MT WATERMANS		545.00				
LABS 11/25-01/2								
0000028719	CENTRAL LAKE COUNTY JAWA 3 MONTHS CLCJAWA LAB TESTING 500-462-46450.000	02/09/2026 VJANKOWSKI		108.00	0.00	Paid	Y 02/23/2026	
		CHEMICAL ANALYSIS		108.00				
52621739.001 0000028720	WILLOW ELECTRICAL SUPPLY LED LAMPS FOR STREETLIGHTS 100-420-47549.000	02/09/2026 VJANKOWSKI		1,152.06	0.00	Paid	Y 02/23/2026	
		MT MTLN STREET LITES		1,152.06				
27319 0000028721	NATW NATW MEMBERSHIP 100-303-46305.000	01/07/2026 VJANKOWSKI		35.00	0.00	Paid	Y 02/23/2026	
		PROFESSIONAL DUES		35.00				
LCJOA-020626 0000028722	LAKE COUNTY JUVENILE OFFICERS ASSOC LC JOA 2026 CONFERENCE FEE AND MEMBERSHI 100-303-46340.000	02/05/2026 VJANKOWSKI		130.00	0.00	Paid	Y 02/23/2026	
		CONV/SCHOOLS/MTGS		130.00				
206779 0000028723	LAKELAND/LARSEN ELEVATOR CORP QUARTERLY ELEVATOR MAINTENANCE 100-301-46620.000	02/01/2026 VJANKOWSKI		466.00	0.00	Paid	Y 02/23/2026	
		MT BUILDING & GROUNDS		466.00				
PD-JAN26 0000028724	ATLAS CAR WASH JANUARY CAR WASHES 100-305-46644.000	01/31/2026 VJANKOWSKI		24.00	0.00	Paid	Y 02/23/2026	
		MT PATROL VEHICLES		24.00				

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Pay By Check Type: Paper Check								
PPP-37630								
0000028725	PROMOTIONAL PRODUCTS PARTNERS	02/04/2026		42.50	0.00	Paid	Y	
	100-281-47120.000	VJANKOWSKI CLOTHING ALLOWANCE		42.50			02/23/2026	
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10047020260102								
0000028726	MOTOROLA SOLUTIONS STARCOM21 NETWOR	02/01/2026		3,332.00	0.00	Paid	Y	
	100-302-46422.000	VJANKOWSKI LK CTY RADIO NETWORK		3,332.00			02/23/2026	
<hr/>								
2547								
0000028727	CIC CORPORATION	02/09/2026		46,608.00	0.00	Paid	Y	26-00626
	UPPER VILLAGE HALL BUILD-OUT	VJANKOWSKI		46,608.00			02/23/2026	
	100-260-48299.000	UPPER VILLAGE HALL BUILD-OUT						
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2548								
0000028728	CIC CORPORATION	02/09/2026		7,628.00	0.00	Paid	Y	26-00842
	ADDITIONAL WORK ADDED TO THE SCOPE OF WO VJANKOWSKI			7,628.00			02/23/2026	
	100-420-46620.000	MT BUILDING & GROUNDS						
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PD-LEGAL JAN26								
0000028729	LALUZERNE & SMITH, LTD.	01/31/2026		11,095.00	0.00	Paid	Y	26-00235
	LEGALS BILLS 2025 - 2026	VJANKOWSKI		11,095.00			02/23/2026	
	100-240-46401.000	CORPORATE COUNSEL						
<hr/>								
215161								
0000028730	ARLINGTON HEIGHTS FORD LLC	01/30/2026		220.00	0.00	Paid	Y	
	AMB 345 XMISSION HARNESS REPAIR	VJANKOWSKI		220.00			02/23/2026	
	100-430-46642.000	MT AMBULANCES						
<hr/>								
20260104119								
0000028731	IL STATE POLICE	01/31/2026		81.00	0.00	Paid	Y	
	REPLENISH FINGERPRINT BACKGROUND CHECK F VJANKOWSKI			81.00			02/23/2026	
	100-304-46999.000	MISC OTHER SERVICES						
<hr/>								
289663w								
0000028743	MID AMERICAN WATER OF WAUCONDA	01/26/2026		771.84	0.00	Paid	Y	
	WELL 8 REPAIRS	VJANKOWSKI		771.84			02/23/2026	
	500-462-47562.000	MT MTLs WELLS						

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Pay By Check Type: Paper Check LG TAHOE WASHER PUMP

983779

0000028744	LIBERTYVILLE CHEVROLET LG TAHOE WASHER PUMP 100-430-47535.000	11/07/2025 VJANKOWSKI CONTRACTUAL FIRE PARTS		10.80 10.80	0.00	Paid	Y 02/23/2026	
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6311714

0000028747	MGN LOCK-KEY & SAFES INC. NEW LOCKS AND HANDLES FOR SRCLC SPACE 100-420-46620.000	02/10/2026 VJANKOWSKI MT BUILDING & GROUNDS		373.30 373.30	0.00	Paid	Y 02/23/2026	
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88569/6

0000028748	ACE HARDWARE OF LIBERTYVILLE TRUCK 429 CHECK VALVE 100-430-47526.000	02/10/2026 VJANKOWSKI MT MTLs DUMP TRUCKS		29.29 29.29	0.00	Paid	Y 02/23/2026	
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PS-INV058142

0000028749	CUTLER WORKWEAR BOOTS ADAM STREICHER 100-441-47120.000	02/10/2026 VJANKOWSKI CLOTHING ALLOWANCE		215.95 215.95	0.00	Paid	Y 02/23/2026	
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PL-AHO 021026

0000028750	JOAN VASQUEZ AHO SERVICES - 02-10-26 100-301-46999.000	02/10/2026 VJANKOWSKI MISC OTHER SERVICES		150.00 150.00	0.00	Paid	Y 02/23/2026	
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10007A

0000028751	ILLINOIS FIRE CHIEF'S ASSOCIATION IFCA ASSESSMENT CENTER - B/C POSITION 100-205-46901.000 100-325-47070.000	02/06/2026 VJANKOWSKI ADVERTISING TOOLS/SUPPLIES		10,188.75 464.79 9,723.96	0.00	Paid	Y 02/23/2026	26-00841
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3175

0000028752	NEDCO LLC BRUSH AND TREE TRIMMING ALONG PROPERTY 100-420-46620.000	02/10/2026 VJANKOWSKI MT BUILDING & GROUNDS		1,900.00 1,900.00	0.00	Paid	Y 02/23/2026	
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3176

0000028753	NEDCO LLC BRUSH AND TREE REMOVAL METRA 100-427-46620.000	02/10/2026 VJANKOWSKI MT BUILDING & GROUNDS		600.00 600.00	0.00	Paid	Y 02/23/2026	
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Pay By Check Type: Paper Check BULK ROCK SALT, STATE JOINT BID, 120% ALLOCATION								
1626306 0000028754	COMPASS MINERALS AMERICA BULK ROCK SALT, STATE JOINT BID, 120% AL 100-441-47541.000	02/10/2026 VJANKOWSKI MT MTL SALT		25,112.10 25,112.10	0.00	Paid	Y 02/23/2026	26-00622
1626313 0000028755	COMPASS MINERALS AMERICA BULK ROCK SALT, STATE JOINT BID, 120% AL 100-441-47541.000	02/10/2026 VJANKOWSKI MT MTL SALT		1,737.12 1,737.12	0.00	Paid	Y 02/23/2026	26-00622
9803243535 0000028756	GRAINGER SAW BLADES 500-462-47599.000	02/10/2026 VJANKOWSKI MISC MAINT MATERIALS		204.22 204.22	0.00	Paid	Y 02/23/2026	
9802009051 0000028757	GRAINGER HEAT EXCHANGER CIRCULATION PUMP 500-453-47531.000	02/10/2026 VJANKOWSKI MT MTL PUMP EQUIPMENT		864.48 864.48	0.00	Paid	Y 02/23/2026	
9313207792 0000028758	LAWSON PRODUCTS, INC. ELECTRICAL TAPE 100-430-47070.000	02/10/2026 VJANKOWSKI TOOLS/SUPPLIES		55.62 55.62	0.00	Paid	Y 02/23/2026	
166182 0000028759	BS&A INTERMEDIATE LLC JANUARY 26 UB ACH/DEBIT CARD FEES 500-463-46438.000	02/11/2026 VJANKOWSKI BANK CHARGES		670.50 670.50	0.00	Paid	Y 02/23/2026	
285928 0000028760	ENVIRONMENTAL PRODUCTS & ACCESS., L VACTOR PARTS 500-452-47525.000	02/10/2026 VJANKOWSKI MT MTL HEAVY EQUIPMENT		434.32 434.32	0.00	Paid	Y 02/23/2026	
INV00959518 0000028762	USABBLUEBOOK GREASE FOR PUMPS 500-462-47565.000	02/10/2026 VJANKOWSKI MT MTL PUMPING STATIONS		126.24 126.24	0.00	Paid	Y 02/23/2026	

INVOICE REGISTER FOR VILLAGE OF MUNDELEIN

POST DATES 02/10/2026 - 02/23/2026

POSTED
PAID

Invoice Number Inv Ref #	Vendor Description GL Distribution	Invoice Date Entered By	Due Date	Invoice Amount	Amount Due	Status	Posted Post Date	PO Number
Pay By Check Type: Paper Check WATER SERVICE LINE REPLACEMENT								
3486 0000028763	BEHM ENTERPRISES INC. WATER SERVICE LINE REPLACEMENT 520-466-48763.000	02/11/2026 VJANKOWSKI WATER TOWER		118,500.00 118,500.00	0.00	Paid	Y 02/23/2026	26-00593
0121603HSTI 0000028764	ABT ELECTRONICS TV AND MOUNTS FOR BOARD ROOM 100-420-46620.000	02/03/2026 VJANKOWSKI MT BUILDING & GROUNDS		1,675.98 1,675.98	0.00	Paid	Y 02/23/2026	
0123603IPDJ 0000028765	ABT ELECTRONICS SOUNDBAR AND INSTALL FOR CONFERENCE ROOM 100-420-46620.000	02/03/2026 VJANKOWSKI MT BUILDING & GROUNDS		741.00 741.00	0.00	Paid	Y 02/23/2026	
4485.464-28 0000028766	GEWALT HAMILTON ASSOC INC ENG SRVCS-EAST HAWLEY STREET RECONSTRUCT 210-442-48740.000	02/09/2026 VJANKOWSKI ENGINEERING DESIGN		450.00 450.00	0.00	Paid	Y 02/23/2026	26-00441
1062-2626 0000028767	MIDWEST SNOW SOLUTIONS, INC. CONTRACTUAL SNOW AND ICE SERVICES IN ZON 100-441-46670.000	02/11/2026 VJANKOWSKI MT ALL STREETS		1,195.00 1,195.00	0.00	Paid	Y 02/23/2026	26-00801
3044826981 0000028768	RUSH TRUCK CTR- IL TRUCK 400 EGR HOSE 100-430-47526.000	02/06/2026 VJANKOWSKI MT MTLs DUMP TRUCKS		121.64 121.64	0.00	Paid	Y 02/23/2026	
3044926164 0000028769	RUSH TRUCK CTR- IL REPLACEMENT CYLINDER HEAD FOR TRUCK 400 100-430-47526.000	02/06/2026 VJANKOWSKI MT MTLs DUMP TRUCKS		3,201.62 3,201.62	0.00	Paid	Y 02/23/2026	26-00845
3044942664 0000028770	RUSH TRUCK CTR- IL NO CHARGE - DOUBLE BILLED 100-430-47526.000	02/06/2026 VJANKOWSKI MT MTLs DUMP TRUCKS		5,706.25 5,706.25	0.00	Paid	Y 02/23/2026	

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Invoice Number Inv Ref #	Vendor Description GL Distribution	Invoice Date Entered By	Due Date	Invoice Amount	Amount Due	Status	Posted Post Date	PO Number
Pay By Check Type: Paper Check REPLACEMENT CYLINDER HEAD FOR TRUCK 400								
3044971023 0000028771	RUSH TRUCK CTR- IL REPLACEMENT CYLINDER HEAD FOR TRUCK 400 100-430-47526.000	02/06/2026 VJANKOWSKI MT MTL5 DUMP TRUCKS		5,706.25 5,706.25	0.00	Paid	Y 02/23/2026	26-00845
3044942685 0000028772	RUSH TRUCK CTR- IL CREDIT 100-430-47526.000	02/06/2026 VJANKOWSKI MT MTL5 DUMP TRUCKS		(5,706.25) (5,706.25)	0.00	Paid	Y 02/23/2026	
3044975729 0000028773	RUSH TRUCK CTR- IL CORE RETURN 100-430-47535.000	02/09/2026 VJANKOWSKI CONTRACTUAL FIRE PARTS		(226.10) (226.10)	0.00	Paid	Y 02/23/2026	
2801-02199 0000028774	RUSH TRUCK CTR- IL FY26 PURCHASE OF A NEW INTERNATIONAL 3-T 520-466-48390.000	02/11/2026 VJANKOWSKI PICKUP TRUCKS		104,998.00 104,998.00	0.00	Paid	Y 02/23/2026	26-00444
150170 0000028775	THE LOCKER SHOP UNIFORMS - KUESTER 100-321-47120.000	02/11/2026 VJANKOWSKI CLOTHING ALLOWANCE		69.95 69.95	0.00	Paid	Y 02/23/2026	
149728 0000028776	THE LOCKER SHOP UNIFORMS - LAFORME 100-321-47120.000	02/11/2026 VJANKOWSKI CLOTHING ALLOWANCE		145.90 145.90	0.00	Paid	Y 02/23/2026	
149956 0000028777	THE LOCKER SHOP UNIFORMS - CLARK 100-321-47120.000	02/11/2026 VJANKOWSKI CLOTHING ALLOWANCE		32.00 32.00	0.00	Paid	Y 02/23/2026	
149939 0000028778	THE LOCKER SHOP UNIFORMS - COLLINS 100-321-47120.000	02/11/2026 VJANKOWSKI CLOTHING ALLOWANCE		139.90 139.90	0.00	Paid	Y 02/23/2026	

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Pay By Check Type: Paper Check CAUTION TAPE MATERIALS

832140

0000028779	US STANDARD PRODUCTS CORP CAUTION TAPE MATERIALS 100-420-47510.000	01/13/2026 VJANKOWSKI MT MTLs BLDGS & GROUNDS		482.79 482.79	0.00	Paid	Y 02/23/2026	
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088578/6

0000028780	ACE HARDWARE OF LIBERTYVILLE REPAIR COUPLING 500-462-47599.000	02/11/2026 VJANKOWSKI MISC MAINT MATERIALS		11.86 11.86	0.00	Paid	Y 02/23/2026	
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088576/6

0000028781	ACE HARDWARE OF LIBERTYVILLE REPAIR NIPPLE 500-462-47599.000	02/11/2026 VJANKOWSKI MISC MAINT MATERIALS		3.58 3.58	0.00	Paid	Y 02/23/2026	
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088575/6

0000028782	ACE HARDWARE OF LIBERTYVILLE CREDIT 500-462-47599.000	02/11/2026 VJANKOWSKI MISC MAINT MATERIALS		(6.99) (6.99)	0.00	Paid	Y 02/23/2026	
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SALESTX022326

0000028788	JEWEL FOOD STORES SALES TAX REBATES FY2026 330-263-49402.000	02/11/2026 VJANKOWSKI TAX REBATES		85,162.26 85,162.26	0.00	Paid	Y 02/23/2026	26-00206
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TAXREB022326

0000028789	DANIEL BEELOW SALES TAX REBATE FY2026 330-263-49402.000	02/11/2026 VJANKOWSKI TAX REBATES		180,058.28 180,058.28	0.00	Paid	Y 02/23/2026	26-00207
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0226443-CM

0000028799	BONNELL INDUSTRIES, INC. CREDIT 100-430-47526.000	02/12/2026 VJANKOWSKI MT MTLs DUMP TRUCKS		(1,691.57) (1,691.57)	0.00	Paid	Y 02/23/2026	
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130-162509

0000028800	TYLER TECHNOLOGIES, INC CONVERSION OF DATA FOR CAPERS, 100-202-46410.000 100-260-48410.000	02/10/2026 IDNETWORK VJANKOWSKI CONSULTING SERVICES COMPUTER EQUIPMENT		102,950.00 61,000.00 41,950.00	0.00	Paid	Y 02/23/2026	26-00229
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INVOICE REGISTER FOR VILLAGE OF MUNDELEIN

POST DATES 02/10/2026 - 02/23/2026

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Invoice Number

Inv Ref #	Vendor Description GL Distribution	Invoice Date Entered By	Due Date	Invoice Amount	Amount Due	Status	Posted PO Number Post Date
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Pay By Check Type: Paper Check 1 TANK PL UNIT WTR 01/13-02/11/26

2232762000-0226

0000028821	COMED	02/12/2026		66.01	0.00	Paid	Y 02/23/2026
	1 TANK PL UNIT WTR 01/13-02/11/26	VJANKOWSKI		66.01			
	100-441-47420.000	ELECTRIC LIGHT/POWER					

7605022222-0226

0000028822	COMED	02/13/2026		61.13	0.00	Paid	Y 02/23/2026
	440 W CRYSTAL ST 01/14-02/12/26	VJANKOWSKI		61.13			
	100-441-47420.000	ELECTRIC LIGHT/POWER					

5808474523

0000028827	NORTH SHORE GAS CO.	02/09/2026		49.26	0.00	Paid	Y 02/23/2026
	22 E PARK ST 01/12-02/08/26	VJANKOWSKI		49.26			
	100-441-47430.000	HEATING FUELS					

5810389794

0000028828	NORTH SHORE GAS CO.	02/09/2026		769.86	0.00	Paid	Y 02/23/2026
	301 N ARCHER 01/12-02/08/26	VJANKOWSKI		769.86			
	294-294-47430.000	HEATING FUELS					

Total Pay By Check Type Paper Check:

1,837,117.60 0.00

# of Invoices:	373	# Due: 0	Totals:	1,858,897.11	0.00
# of Credit Memos:	12	# Due: 0	Totals:	(12,507.03)	0.00
Net of Invoices and Credit Memos:				1,846,390.08	0.00
* 1 Net Invoices have Credits Totalling:				(174.50)	

--- TOTALS BY GL BANK ---

POOL

TOTAL 1,846,390.08

--- TOTALS BY GL DISTRIBUTIONS ---

100-000-12600.000	50.00
100-000-25100.000	8,271.67
100-000-26080.000	13,535.60
100-000-32205.000	994.85
100-000-32750.000	63.30
100-000-34670.000	350.00
100-105-46999.000	167.85

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Inv Ref #	Vendor Description GL Distribution	Invoice Date Entered By	Due Date	Invoice Amount	Amount Due	Status	Posted PO Number Post Date
	100-111-46340.000			(57.99)			
	100-111-47015.000			82.77			
	100-201-47015.000			1,046.34			
	100-201-47420.000			337.92			
	100-202-46410.000			63,466.67			
	100-202-46415.000			3,658.00			
	100-202-47012.000			7,338.85			
	100-202-47310.000			540.85			
	100-202-47330.000			56.25			
	100-204-46901.000			1,300.00			
	100-205-46901.000			464.79			
	100-205-46904.000			66.00			
	100-231-47015.000			5.96			
	100-240-46401.000			12,775.00			
	100-260-48299.000			46,608.00			
	100-260-48410.000			80,632.54			
	100-281-46340.000			50.00			
	100-281-46511.000			200.00			
	100-281-47010.000			143.50			
	100-281-47120.000			42.50			
	100-301-46499.000			1,050.00			
	100-301-46620.000			466.00			
	100-301-46999.000			150.00			
	100-301-47015.000			163.04			
	100-301-47510.000			58.61			
	100-302-46422.000			3,332.00			
	100-302-46499.000			164,818.75			
	100-303-46305.000			35.00			
	100-303-46340.000			180.00			
	100-304-46340.000			698.00			
	100-304-46999.000			248.85			
	100-305-46340.000			872.50			
	100-305-46644.000			24.00			
	100-305-47011.000			31,300.32			
	100-305-47015.000			56.10			
	100-305-47120.000			5,221.45			
	100-305-47999.000			824.98			
	100-321-46499.000			41,186.25			
	100-321-46620.000			190.23			
	100-321-47015.000			69.79			
	100-321-47070.000			2,055.52			
	100-321-47120.000			1,384.60			
	100-321-47140.000			331.75			
	100-322-47010.000			45.55			
	100-323-46417.000			40,448.25			
	100-323-46630.000			165.00			
	100-323-46635.000			565.49			
	100-323-47010.000			45.55			
	100-323-47070.000			1,308.39			

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Inv Ref #	Vendor Description GL Distribution	Invoice Date Entered By	Due Date	Invoice Amount	Amount Due	Status	Posted Post Date	PO Number
	100-323-47351.000			2,233.00				
	100-323-47530.000			3,007.60				
	100-324-47040.000			849.93				
	100-324-47070.000			1,518.76				
	100-325-47070.000			9,723.96				
	100-410-46415.000			2,000.00				
	100-410-46613.000			250.00				
	100-410-47015.000			75.27				
	100-420-46599.000			333.71				
	100-420-46620.000			68,497.98				
	100-420-46675.000			4,500.00				
	100-420-46899.000			20.33				
	100-420-47015.000			29.98				
	100-420-47510.000			2,057.49				
	100-420-47549.000			1,152.06				
	100-427-46620.000			9,470.00				
	100-427-47420.000			1,181.13				
	100-427-47510.000			1,103.17				
	100-430-46642.000			220.00				
	100-430-46644.000			1,153.99				
	100-430-46645.000			462.50				
	100-430-46646.000			1,640.88				
	100-430-46699.000			2,175.00				
	100-430-47010.000			1,680.00				
	100-430-47070.000			505.35				
	100-430-47080.000			2,444.61				
	100-430-47120.000			89.58				
	100-430-47440.000			21,571.35				
	100-430-47521.000			356.06				
	100-430-47523.000			4,048.86				
	100-430-47524.000			2,017.17				
	100-430-47525.000			2,211.03				
	100-430-47526.000			12,031.64				
	100-430-47528.000			2,511.61				
	100-430-47535.000			2,707.32				
	100-440-46410.000			2,494.00				
	100-441-46670.000			24,250.00				
	100-441-46671.000			783.28				
	100-441-47070.000			91.40				
	100-441-47120.000			822.44				
	100-441-47420.000			9,875.87				
	100-441-47430.000			49.26				
	100-441-47541.000			41,498.68				
	100-441-47543.000			1,000.00				
	100-441-47547.000			355.00				
	100-441-47553.000			740.80				
	100-441-47554.000			144.90				
	210-442-48740.000			299,514.70				
	210-442-48742.000			21,742.00				

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	272-315-48350.000			11,245.90			
	280-446-48745.000			566.25			
	294-294-46620.000			8.99			
	294-294-47420.000			4,599.40			
	294-294-47430.000			769.86			
	296-000-32730.000			3,431.13			
	330-263-49402.000			265,220.54			
	500-000-33210.000			270.87			
	500-451-46410.000			4,989.00			
	500-452-47015.000			142.90			
	500-452-47330.000			203.46			
	500-452-47420.000			1,510.94			
	500-452-47430.000			197.34			
	500-452-47525.000			434.32			
	500-453-46450.000			700.00			
	500-453-47050.000			192.30			
	500-453-47420.000			12,813.61			
	500-453-47430.000			2,643.50			
	500-453-47510.000			467.64			
	500-453-47531.000			864.48			
	500-461-46410.000			7,545.07			
	500-462-46340.000			89.00			
	500-462-46450.000			1,662.00			
	500-462-46662.000			138.04			
	500-462-46692.000			545.00			
	500-462-47070.000			85.39			
	500-462-47420.000			9,394.78			
	500-462-47421.000			140.08			
	500-462-47527.000			136.93			
	500-462-47528.000			64.46			
	500-462-47530.000			120.82			
	500-462-47532.000			395.80			
	500-462-47562.000			771.84			
	500-462-47563.000			899.21			
	500-462-47565.000			2,184.82			
	500-462-47599.000			340.97			
	500-463-46415.000			5,869.65			
	500-463-46438.000			670.50			
	500-463-46441.000			1,863.36			
	500-463-47015.000			29.70			
	500-463-47016.000			6,220.47			
	500-463-47450.000			143,295.92			
	520-466-48390.000			104,998.00			
	520-466-48763.000			138,975.00			
--- TOTALS BY FUND ---							
	100 CORPORATE			787,424.14	0.00		
	210 ROAD & BRIDGE			321,256.70	0.00		

INVOICE REGISTER FOR VILLAGE OF MUNDELEIN

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	272 EQUIPMENT			11,245.90	0.00		
	280 STORMWATER MANAGEMENT			566.25	0.00		
	294 ARCHER BUSINESS CTR			5,378.25	0.00		
	296 STATE DRUG ASSETS			3,431.13	0.00		
	330 TAX REBATES			265,220.54	0.00		
	500 WATERWORKS & SEWERAGE			207,894.17	0.00		
	520 DEPRECIATION			243,973.00	0.00		
--- TOTALS BY DEPT/ACTIVITY ---							
	000 NON DEPARTMENTAL			26,967.42	0.00		
	105 POLICE/FIRE COMMISSION			167.85	0.00		
	111 EXECUTIVE			24.78	0.00		
	201 ADMINISTRATIVE			1,384.26	0.00		
	202 ADMIN SERVICES			75,060.62	0.00		
	204 MARKETING			1,300.00	0.00		
	205 HUMAN RESOURCE			530.79	0.00		
	231 FINANCE - ADMINISTRATION			5.96	0.00		
	240 LEGAL			12,775.00	0.00		
	260 CAPITAL PROJECTS			127,240.54	0.00		
	263 ADMINISTRATION (MX)			265,220.54	0.00		
	281 BUILDING - ADMINISTRATION			436.00	0.00		
	294 ARCHER BUSINESS CENTER			5,378.25	0.00		
	301 POLICE - ADMINISTRATION			1,887.65	0.00		
	302 POLICE - COMMUNICATIONS			168,150.75	0.00		
	303 POLICE - COMMUNITY SERV.			215.00	0.00		
	304 POLICE - INVESTIGATIONS			946.85	0.00		
	305 POLICE - PATROL			38,299.35	0.00		
	315 POLICE			11,245.90	0.00		
	321 FIRE - ADMINISTRATION			45,218.14	0.00		
	322 FIRE - PREVENTION			45.55	0.00		
	323 FIRE - FIRE OPERATIONS			47,773.28	0.00		
	324 FIRE - RESQUE OPERATIONS			2,368.69	0.00		
	325 FIRE - EMERGENCY DISASTER			9,723.96	0.00		
	410 PUBLIC WORKS ADMIN			2,325.27	0.00		
	420 FACILITY MAINTENANCE			76,591.55	0.00		
	427 BLDG/GRDS - TRAIN PARK			11,754.30	0.00		
	430 VEHICLE MAINTENANCE			57,826.95	0.00		
	440 STREET - ADMINISTRATION			2,494.00	0.00		
	441 STREET - MAINTENANCE			79,611.63	0.00		
	442 STREET (RB)			321,256.70	0.00		
	446 STREET (SWM)			566.25	0.00		
	451 SEWER - ADMINISTRATION			4,989.00	0.00		
	452 SEWER - UPTOWN			2,488.96	0.00		
	453 SEWER -TREATMENT PLANTS			17,681.53	0.00		
	461 WATER - ADMINISTRATION			7,545.07	0.00		
	462 WATER - MAINTENANCE			16,969.14	0.00		
	463 WATER - METER READING			157,949.60	0.00		
	466 MAINTENANCE WR (DEP)			243,973.00	0.00		

To: Mayor and Board of Trustees

From: Lori Smith, Help Desk Assistant
Lynne Monroe, Assistant Village Administrator

For: Village Board Meeting of February 23, 2026

Subject: CDW Government, Inc. - Microsoft 365 Agreement

Financial Impact:

\$81,539.67 - 100-202-46415 - Computer Software Support

Attachments:

1. CDW Purchase Requisition No 26-00825

Background:

The Village's purchase order policy requires the Village Board's approval prior to issuing a purchase order or acquiring products or services over \$20,000. Board approval is respectfully requested.

Recommendation:

Motion to approve purchase order number 26-00825 in the amount of \$81,539.67 to CDW Government, Inc. for year one of three for the Microsoft 365 Agreement.

Purchase Requisition

Purchase Requisition No 26-00825

Requested Date 02/02/2026 Department IT
Required Date
Ordered By LORI SMITH

Preferred Vendor 6405
CDW GOVERNMENT INC.
Address 75 REMITTANCE DR DEPT 1515

Req. Description YR 1 OF 3 YR M365 AGREEMENT FOR 223 USERS, COPILOT, P

Quantity	Units	Description	Unit Price	Amount
1	EA	M365 ENTERPRISE AGREEMENT# 5535166 100-202-46415.000	81,539.67	81,539.67
			Total:	81,539.67

Notes

Approved By _____

Date _____



**Enterprise Quote
for**

Village of Mundelein

Unless otherwise noted, All Quotes expire upon current month's end

Annual Payment

Customer to make three annual payments to CDW-G

Microsoft Part #	Description	Level	Quantity	Year 1		Year 2		Year 3		
				Price	Extended	Price	Extended	Price	Extended	
Online Services										
AAD-34700	M365 G3 Unified FSA Renewal GCC Sub Per User	D	175	\$ 337.70	\$ 59,097.50	\$ 337.70	\$ 59,097.50	\$ 337.70	\$ 59,097.50	
AAD-34704	M365 G3 Unified FUSL GCC Sub Per User	D	45	\$ 397.27	\$ 17,877.15	\$ 397.27	\$ 17,877.15	\$ 397.27	\$ 17,877.15	
AAD-63092	M365 F3 Unified GCC Sub Per User	D	3	\$ 85.65	\$ 256.95	\$ 85.65	\$ 256.95	\$ 85.65	\$ 256.95	
NYH-00001	Teams AC with Dial Out US/CA GCC Sub Add-on	D	223	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
EP2-24658	M365 Copilot GCC Sub Add-on	D	1	\$ 376.20	\$ 376.20	\$ 376.20	\$ 376.20	\$ 376.20	\$ 376.20	
HWT-00001	Visio P1 GCC Sub Per User	D	1	\$ 46.90	\$ 46.90	\$ 46.90	\$ 46.90	\$ 46.90	\$ 46.90	
105-00001	Power Automate Premium GCC Sub Per User	D	1	\$ 165.53	\$ 165.53	\$ 165.53	\$ 165.53	\$ 165.53	\$ 165.53	
AAA-35418	Azure Monetary Commitment Provision	D	1	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
Software Assurance Products										
6VC-01254	Win Remote Desktop Services CAL ALng SA UCAL	D	11	\$ 26.84	\$ 295.24	\$ 26.84	\$ 295.24	\$ 26.84	\$ 295.24	
9EM-00270	Win Server Standard Core ALng SA 2L	D	156	\$ 21.95	\$ 3,424.20	\$ 21.95	\$ 3,424.20	\$ 21.95	\$ 3,424.20	
					Total	\$ 81,539.67	Total	\$ 81,539.67	Total	\$ 81,539.67
					Three Year Total	\$ 244,619.01				

Notes

No Tax Referenced
State of Illinois Master Terms Agreement: 8250858
State of Illinois Purchasing Agreement - SW24-ILLINOIS - SOURCEWELL-STATE OF IL R-257160
EA Renewal: 5535166
4/1/2025 Start Date

Terms and Conditions of sales and services projects are governed by the terms at:
<http://www.cdwg.com/content/terms-conditions/product-sales.aspx>

To: Mayor and Board of Trustees

From: Vanna Jankowski, Finance Clerk
Linda Miller, Finance Director

For: Village Board Meeting of February 23, 2026

Subject: EREG Development LLC-FY26 TIF2 Payment

Financial Impact:

\$21,346.66 - 340-264-49901.000 - Contingent

Attachments:

1. EREG DEV FY26 TIF2

Background:

The Village's purchase order policy requires the Village Board's approval prior to issuing a purchase order or acquiring products or services over \$20,000. Attached is a Departmental Purchase Request exceeding the \$20,000 limitation. Board approval is respectfully requested.

Recommendation:

Motion to approve purchase order number 26-00857 in the amount of \$21,346.66 to EREG Development LLC for Annual TIF Payment Tax Year 2024 Paid 2025.



VILLAGE OF MUNDELEIN CHECK REQUEST FORM

DATE: 02/17/26
TO: **FINANCE DEPARTMENT**
FROM: Vanna Jankowski

PLEASE ISSUE A CHECK TO THE FOLLOWING

FISCAL YEAR: 2026
DATE ORDERED: _____ DATE RECEIVED: _____
INVOICE NUMBER: FY26 TIF2 P.O. NUMBER: 26-00857

VENDOR NUMBER: 14576
PAYABLE TO: EREG DEVELOPMENT LLC
566 W LAKE ST STE 400
CHICAGO, IL 60661

DESCRIPTION OF PURCHASE OR SERVICE: _____

ANNUAL TIF PAYMENT TAX YEAR 2024 PAID 2025

NOTIFIED OF VENDOR NAME CHANGE - REISSUE WITH NEW VENDOR NAME

Verigreen to EREG Development

AMOUNT OF PURCHASE: \$21,346.66

ACCOUNT NUMBER: 340-264-49901

Please mail check

Please return check to me

Department Head Approval: 



LakeCounty
From the Office of Holly Kim, Lake County Collector
Make Checks Payable to: LAKE COUNTY COLLECTOR

**1ST INSTALLMENT
PAYMENT COUPON
RETURN WITH PAYMENT**

1

Tax Year 2024

11-30-121-086



11-30-121-086

**MUNDELEIN APARTMENTS, LP
C/O EVERGREEN REAL ESTATE SERVICES, LLC
566 W LAKE ST STE 400
CHICAGO IL 60661-1414**

2024 1st Installment due by **06/04/2025**

Interest calculated as of 11/19/2025

\$0.00 DUE

Tax Bills are mailed to the taxpayer of record,
even if your Lender is responsible for payment.

11301210860000000000000000202418

↓ TEAR HERE ↓



LakeCounty
From the Office of Holly Kim, Lake County Collector
Make Checks Payable to: LAKE COUNTY COLLECTOR

**2ND INSTALLMENT
PAYMENT COUPON
RETURN WITH PAYMENT**

2

Tax Year 2024

11-30-121-086



11-30-121-086

**MUNDELEIN APARTMENTS, LP
C/O EVERGREEN REAL ESTATE SERVICES, LLC
566 W LAKE ST STE 400
CHICAGO IL 60661-1414**

2024 2nd Installment due by **09/04/2025**

Interest calculated as of 11/19/2025

\$0.00 DUE

For information on exemptions, contact your local assessor

↓ TEAR HERE ↓

Pin Number	Tax Year	Tax Code	Acres	Fair Market Value		
11-30-121-086	2024	11206	1.7982	\$2,165,311		
Property Location: 407 E HAWLEY ST MUNDELEIN IL 60060				Land Assessed Value	\$198,737	
Legal Description: FAIRHAVEN CROSSING SUBDIVISION;LOT 1				+ Building Assessed Value	\$522,961	
				- Home Improvement		
				- Disabled Vet Homestead		
				x State Multiplier	1.000	
				= Equalized Value	\$721,698	
				+ Farm Land & Bldg Assessed Value		
				+ State Assessed Pollution Control		
				+ State Assessed Railroads		
				= Total Assessed Value	\$721,698	
				- General Homestead Exemption		
				- Sr. Citizen Homestead Exemption		
				- Senior Freeze		
				- Returning Veterans Homestead		
				- Disabled / Disabled Veterans		
				- Natural Disaster Homestead		
				= Taxable Valuation	\$721,698	
				x Tax Rate	9.815596	
				= Real Estate Tax	\$70,838.96	
				+ Special Service Area	\$0.00	
				+ Drainage	\$0.00	
				= Total Current Year Tax	\$70,838.96	
				+ Omit/RollBack Tax	\$0.00	
				+ Forfeited Tax	\$0.00	
				+ Interest remaining as of 11/19/2025	\$0.00	
				+ Cost	\$0.00	
				- Payment applied to Principal	\$70,838.96	
				= TOTAL AMOUNT DUE	\$0.00	
TOTALS				9.815596	\$70,838.96	-5,011.58

x 50%