

AGENDA

PLANNING AND ZONING COMMISSION MEETING

February 4, 2026 - 7:00 PM
Village Hall - Board Room
300 Plaza Circle, Mundelein, IL 60060

- I. CALL TO ORDER
- II. PLEDGE OF ALLEGIANCE
- III. ATTENDANCE
- IV. MINUTES APPROVAL
 - A. Approve the Planning and Zoning Commission Regular meeting minutes from January 21, 2026
- V. PUBLIC COMMENTARY
- VI. OLD PZC BUSINESS
- VII. NEW PZC BUSINESS
 - A. PZ2025-0030 - 1212 and 1250 S. Butterfield Road - Preliminary and Final Plat of Subdivision
 - B. Public Hearing - PZ2025-0031 - 1212 and 1250 S. Butterfield Road - Map Amendment and Variations
- VIII. QUESTIONS AND COMMENTS
- IX. ADJOURNMENT
 - A. Adjourn the Planning and Zoning Commission Meeting

Public comment may be made for all agenda items at the meeting. If you wish to provide testimony or comments prior to the meeting, you may provide them up to 24 hours prior to the scheduled meeting time in one of two ways: (1) by sending an email to planning@mundelein.org; or (2) by dropping it off directly at Village Hall to the attention of Community Development, 300 Plaza Circle, Mundelein, Illinois. Agenda materials are available at www.mundelein.org/Agendas-Minutes

The Village of Mundelein, in compliance with the Americans with Disabilities Act, requests that persons with disabilities who require certain accommodations to allow them to observe and/or participate in this meeting, or who have questions about the accessibility of the meeting or facilities, to contact the ADA Coordinator at 847-949-3200 to allow the Village to arrange accommodations for those persons.

CALL TO ORDER

The Regular Meeting of the Planning and Zoning Commission of the Village of Mundelein was held on January 21, 2026 at 300 Plaza Circle, Mundelein. Commission Chairman T. Roswick called the meeting to order at 7:00 PM.

PLEDGE OF ALLEGIANCE

Chairman T. Roswick led the Pledge of Allegiance.

ATTENDANCE

Chair Roswick took the roll call. It indicated as follows:

Board Attendance

PRESENT: K. Anderson, J. Holden, T. Roswick, T. Wilson, K. Teehan

ABSENT: K. Garesche, S. Petti

Village Attendance

PRESENT: Amanda Orenchuk, Director of Community Development; Colleen Malec, Senior Planner; Isabel Gudarrama, Senior Planner; and J. Marvin, Associate Planner

MINUTES APPROVAL

Approve the Planning and Zoning Commission Regular meeting minutes from January 7, 2026

K. Teehan moved, seconded by K. Anderson, a **Motion** to approve the Planning and Zoning Commission meeting Minutes from January 7, 2026. Motion passed 5-0.

RESULT:	Passed [Yes 5, No 0, Abstained 0]
MOVER:	Commissioner K. Teehan
SECONDER:	Commissioner K. Anderson
AYES:	T. Roswick, K. Anderson, J. Holden, K. Teehan, T. Wilson
NAYS:	None
ABSTAIN:	None

PUBLIC COMMENTARY

T. Roswick opened the floor to general public commentary.

Shawn Killackey of the Fremont School District No. 79 Board of Education approached the podium to speak. Mr. Killackey shared some concerns with the comprehensive plan amendments as well as concerns with how the comprehensive plan is utilized as a decision-making tool for new developments in relation to the school districts. He stated that he had concerns over the proposed 75 changes to be made to the Comprehensive Plan.

Mr. Killackey's public commentary was addressed later in the PZ2025-0038 Comprehensive Plan Staff Presentation.

T. Roswick closed the floor to general public commentary.

OLD PZC BUSINESS

Continuation of Public Hearing - PZ2025-0039 - Mundelein High School District 120 - Variation for Interior Parking Lot Landscape from December 17, 2025.

Staff Presentation

I. Guadarrama gave an overview of the updates to the case since the last meeting on December 17, 2025. Ms. Guadarrama stated that the petitioner made some changes to their application and that will be addressed in the Petitioner Presentation.

Petitioner Presentation

T. Roswick swore in all present who expressed a wish to speak at tonight's hearing.

Kevin Quinn of Mundelein High School District 120 approached to give an overview of the project and introduced the members of Wight and the Board of Education that were present.

Kyle Buck, Architect of Wight and Company, approached to speak. 777 spaces are being proposed, which is 43 spaces short from the school's need of 820 currently. The school is requesting a reduction in the required landscaping islands within the interior parking lot to help meet the need for more parking, as well as maintenance and safety concerns regarding available line of sight.

T. Roswick clarified that the request for the elimination of parking lot islands also reduced the number of required trees being planted. Mr. Roswick wanted clarification that those required trees are being planted elsewhere in the property landscaping. I. Guadarrama confirmed the number of trees proposed is correct based on the

information provided.

Gage Berger, Landscape Architect of Wight and Company, approached to speak. A tree survey was done by a certified Arborist to analyze the trees being removed from the property. Mr. Berger shared the results of the tree survey. The survey showed that based on the 142 trees being removed, there would be a total of 145 trees that would need to be replaced. Mr. Berger shared the most recent proposed landscape plan. There are 162 trees being planted to replace these and the required ones that would be needed in the parking lot islands.

Peter Rastrelli, School District 120 Board of Education President, approached to speak. He shared comments regarding the following:

- He shared feedback from the community regarding the need for an increase in parking.
- The need for an improved lot with newer drivers in mind.
- The psychology of a parking lot.
- The unique constraints to the school and parking lot being land-locked.
- The School District's plan for sustainable improvements.

T. Wilson asked how many storm water retention ponds there are on the property. K. Quinn stated that there are 5 total as of right now.

Public Commentary

T. Roswick asked staff if any public commentary had been received prior to the meeting. I. Guadarrama stated that there had not been any received since the posting of the agenda.

T. Roswick opened the floor to public commentary.

There was no public commentary.

T. Roswick closed the floor to public commentary.

Commission Discussion

T. Wilson stated that in reviewing the prior meeting minutes, he felt the commission acted appropriately to ask for more information. He felt that the School District listened and provided the information that the Commission requested.

J. Holden agreed with T. Wilson's comments and felt the School District did well with listening to the concerns of the Commission and fulfilled the request for additional information adequately. This will not solve the problem with lack of parking, but this

will help improve the need.

K. Teehan stated that his concerns were addressed to support the request.

The commission reviewed the Findings of Fact.

Request for Variation for interior parking lot islands and required shade trees.

J. Holden moved, seconded by K. Teehan, a **Motion** to to recommend Approval of a Variation from Section 20.60.110 (A) for the reduction in the number and location for the required parking lot islands and (B) for the required number of shade trees from the Zoning Ordinance at 1350 and 1500 W Hawley Street, including the Findings of Fact with the requested changes. Motion passed 5-0.

RESULT:	Passed [Yes 5, No 0, Abstained 0]
MOVER:	Commissioner J. Holden
SECONDER:	Commissioner K. Teehan
AYES:	T. Roswick, K. Anderson, J. Holden, K. Teehan, T. Wilson
NAYS:	None
ABSTAIN:	None

Close Public Hearing

K. Anderson moved, seconded by J. Holden, a **Motion** to close Public Hearing PZ2025-0039. Motion passed 5-0.

RESULT:	Passed [Yes 5, No 0, Abstained 0]
MOVER:	Commissioner K. Anderson
SECONDER:	Commissioner J. Holden
AYES:	T. Roswick, K. Anderson, J. Holden, K. Teehan, T. Wilson
NAYS:	None
ABSTAIN:	None

Continuation of Public Hearing - PZ2025-0038 - Comprehensive Plan Amendment from December 17, 2025.

Staff Presentation

A. Orenchuk gave a refresher on the proposed amendment. The intention of the continuation was to allow proper time for public commentary on this item. A. Orenchuk

addressed the statements made during this evening's General Public Commentary that it was stated there were a proposed 75 amendments to the Comprehensive Plan. There was some confusion. There are 75 proposed amendments to the Zoning Code, not the Comprehensive Plan. The proposed amendment is mainly to one section of the Comprehensive Plan. This was included in the presentation from the meeting held on December 17, 2025.

Public Commentary

The meeting has remained open to public commentary since December 17, 2025.

There were no members of the public who wished to speak at the meeting.

T. Roswick asked staff if any commentary had been received prior to the meeting. Staff confirmed that there was no public commentary received on the comprehensive plan.

T. Roswick closed the floor to public commentary.

Commission Discussion

J. Holden felt that the scope of the update is small and was in approval of the proposed change. No commissioners voiced opposition to the change. A. Orenchuk stated that there are no findings of fact as this is a guiding document, not an item enforcing zoning standards.

Approval of the Comprehensive Plan Amendment

J. Holden moved, seconded by K. Teehan, a **Motion** to to recommend approval of the proposed amendment to the Comprehensive Plan amendment to include Traditional Neighborhood Design. Motion passed 5-0.

RESULT:	Passed [Yes 5, No 0, Abstained 0]
MOVER:	Commissioner J. Holden
SECONDER:	Commissioner K. Teehan
AYES:	T. Roswick, K. Anderson, J. Holden, K. Teehan, T. Wilson
NAYS:	None
ABSTAIN:	None

Close Public Hearing

J. Holden moved, seconded by K. Anderson, a **Motion** to close Public Hearing PZ2025-0038. Motion passed 5-0.

RESULT:	Passed [Yes 5, No 0, Abstained 0]
----------------	--

MOVER:	Commissioner J. Holden
SECONDER:	Commissioner K. Anderson
AYES:	T. Roswick, K. Anderson, J. Holden, K. Teehan, T. Wilson
NAYS:	None
ABSTAIN:	None

Continuation of Public Hearing - PZ2025-0037 - Zoning Ordinance Text Amendments, Title 20 of the Municipal Code from December 17, 2025.

Staff Presentation

Staff gave the attached presentations on the following items:

Home Daycares

The current zoning code allows up to 8 children to be cared for by a home daycare provider.

The new proposed recommendation is to remove the use in the R-5 multi-family zoning district and will update the language to have a maximum of 8 children outside the household to be cared for by a home daycare provider, not to include the daycare provider's own children in this number.

Access Parcels

C. Malec gave an overview of this topic. The code currently does not address this subject at all, and staff would like to propose more flexibility. Staff will occasionally receive requests to build accessory structures on vacant lots along the north shore of Diamond Lake. These lots are considered unbuildable because they are not attached to any fully built-out right-of-way. The code also currently does not allow building accessory structures if the lot does not have a primary structure on it. The proposed change would define what a lake access parcel is. The proposed use would also need to meet additional criteria.

Ground Floor Transparency

Commercial buildings currently require 50% transparency on any facade that faces a right-of-way at a height of 2ft-8ft from grade, according to the zoning code. This can create an issue particularly in outlots and freestanding buildings. Sometimes this can cause issues with restaurant kitchens, restaurants, drive-throughs or storage. The intent of this is to encourage the feeling of openness. The proposed change will be to change this from a Variation to an Administrative Variation so these requests could be handled internally without requiring the applicant to require a full Public Hearing.

Existing, but Non-Conforming Fences and Driveways

If a non-conforming structure is taken down, it needs to be replaced by a conforming structure. This has felt restrictive for driveways and fences in particular that may have been in their current form for sometimes decades. The proposed change by staff is to allow non-conforming fences and driveways to allow removal and replacement as-is with the caveat that the original fence or driveway was constructed with a permit or prior to 2012.

Deck Railings and Privacy Screens

Deck railings are currently technically considered a fence by code and is limited to 6 feet above grade, so if someone has a deck their railing may exceed the 6 feet above grade. The proposed change to this is limiting a deck railing to 4 feet above the floor of the deck. The current doe does not provide for privacy screens at all. A privacy screen is a common request, and staff would like to find a reasonable way to accommodate and control these requests. Staff provided recommended topics of possible restrictions, including setbacks and maximum height.

Townhouse Setback Requirements

Staff has reviewed the setback requirements for Townhouses and has found them to be more restrictive than necessary. Staff provided a proposed table to review the current and proposed updated setbacks for Townhouses.

Parking Lot Landscape Requirements

Staff presented updating parking requirements based on the feedback from the last meeting. Staff updated the sizes of what would be considered small, medium, and large parking lots and different perimeter and landscaping islands that would be required for each size.

Public Commentary

Public Commentary has been opened since the last meeting of December 17, 2025.

Home Daycares

Milen Aguilar approached to speak. She asked about the prohibited use mentioned. C. Malec clarified that the intent of this is just to prohibit it in multi-family homes and it will remain an allowed use in single-family homes. Ms. Aguilar then asked if the maximum of 8 children would be allowed to be increased for school-aged children who would attend before or after school.

Diana Chavarria approached to speak. Ms. Chavarria wanted to speak on the importance of the work of home daycare and would like to have the topic of part timers added in to the discussion. Reducing the number of children currently in the current daycare homes will impact the families currently being cared for in these homes.

The Public Hearing will be continued, and Public Commentary will remain open.

Commission Discussion

Home Daycares

T. Roswick asked about the state's guidelines about the number of allowed school-aged children. If it was a hard number, or if it was a scale. A. Orenchuk stated that it is a sliding scale formula based on the age of children and the number of adult providers in the home. The commission discussed the need of more Village staff enforcement for an increase in the number of children. A. Orenchuk let the commission know they can give direction to staff if they would like to include language on breaking down part time and full time staff. With talking to Public Safety staff, eight children was an acceptable amount for the aspect of being able to monitor and control.

T. Roswick requested to put a pin in the conversation to consider the breakdown of full-time and part-time children. The commission would like to work with Village staff to refine the language further. This item will be continued for further discussion on **February 18, 2026**.

Access Parcels

The Commission discussed the right of way access and the common ownership with neighboring parcels. The distance between lots with primary structures and the proposed access parcels was discussed in-depth. J. Holden stated she did not like the idea of allowing structures on the access parcels with height.

Ground Floor Transparency

The Commission reviewed the types of uses that may have difficulty meeting the transparency requirement and the approval process for an Administrative Variation. The commission supported the proposed change.

Existing, but Non-Conforming Fences and Driveways

The Commission discussed the difference between full replacement and partial replacements of the non-conforming fences and driveways. The Commission shared concerns that driveways and fences that are egregious or have safety concerns should not be considered grandfathered in.

Deck Railings and Privacy Screens

The Commission discussed the standard heights of deck railings. They discussed in detail the restrictions for privacy screening setbacks and height as well as possible issues with townhome setbacks. The Commission was in support of the proposed changes.

Townhouse Setback Requirements

The Commission reviewed the current setbacks and discussed the difficulties with a mix of front and rear loaded townhouses. After review, the Commission was in support of the proposed changes.

Parking Lot Landscape Requirements

The Commission discussed landscaping maintenance for the proposed changes and reviewed the proposed changes from the prior meeting. The Commission used the case PZ2025-0039 for the High School as a reference when reviewing how these landscaping requirements would be applied in the future. The Commission was in support of the landscaping requirements.

Continuation

J. Holden moved, seconded by K. Teehan, a **Motion** to continue Public Hearing PZ2025-0037 to Wednesday, February 18th, 2026, at 7:00 PM located at the Mundelein Village Hall at 300 Plaza Circle, Mundelein, Illinois. Motion Passed 5-0.

RESULT:	Passed [Yes 5, No 0, Abstained 0]
MOVER:	Commissioner J. Holden
SECONDER:	Commissioner K. Teehan
AYES:	T. Roswick, K. Anderson, J. Holden, K. Teehan, T. Wilson
NAYS:	None
ABSTAIN:	None

NEW PZC BUSINESS

There was no new PZC business.

QUESTIONS AND COMMENTS

There was no further questions or comments.

ADJOURNMENT

Adjourn the Planning and Zoning Commission Meeting

K. Anderson moved, seconded by K. Teehan, a **Motion** to adjourn the Planning & Zoning Commission meeting of January 21, 2026. Motion passed 5-0.

RESULT:	Passed [Yes 5, No 0, Abstained 0]
MOVER:	Commissioner K. Anderson
SECONDER:	Commissioner K. Teehan
AYES:	T. Roswick, K. Anderson, J. Holden, K. Teehan, T. Wilson

NAYS: None

ABSTAIN: None

The meeting was adjourned at 10:03 PM.

Erin Swanson, Recording Secretary

Sign-In Sheet

NAME/COMPANY	ADDRESS	PHONE/EMAIL
Name: Milen Aguilar		Phone: (224) 778-0074
Company:		Email:
Name: Alondra		Phone: 847-971-4272
Company:		Email:
Name: Kevin Quinn		Phone: 847-949-2200
Company: DISTRICT 120		Email: KQUINN@D120.ORG
Name: Gage Berger		Phone: 319-361-8138
Company: Wight & Co		Email: gberger@wightco.com
Name: KYIE BUCK		Phone: 630-918-3420
Company: WIGHT & CO		Email: KBVCK@WIGHTCO.COM
Name: CRAIG SIEPKA		Phone: 312-656-9078
Company: WIGHT & CO		Email: csiepka@wightco.com
Name: Shawn Killackey		Phone: 847-570-2805
Company: FSD 79		Email: skillackey@fsd79.org
Name: Diana Chavarria		Phone: dianalariza09@gmail.com
Company:		Email: 224-572-0264
Name: Nicole Sullivan		Phone: 815 914-1181
Company:		Email:
Name:		Phone:
Company:		Email:
Name:		Phone:
Company:		Email:
Name:		Phone:
Company:		Email:
Name:		Phone:
Company:		Email:

Sign-In Sheet



NAME/COMPANY

ADDRESS

PHONE/EMAIL

Name: <i>TRAVIS CASTROU</i>	<i>Mundelein</i>	Phone: <i>847-508-7846</i>
Company: <i>D20 BOE</i>		Email: <i>travis@idp20.org</i>
Name: <i>RICK DEWEK</i>	<i>MHS</i>	Phone: <i>rdewar@wightco.com</i>
Company: <i>WIGHT</i>		Email:
Name: <i>Jennifer Hill</i>	<i>Mundelein</i>	Phone: <i>847-274-7338</i>
Company: <i>X120 BOE</i>		Email:
Name: <i>Christopher Hill</i>	<i>Mundelein</i>	Phone: <i>847-345-3667</i>
Company:		Email:
Name:		Phone:
Company:		Email:
Name:		Phone:
Company:		Email:
Name:		Phone:
Company:		Email:
Name:		Phone:
Company:		Email:
Name:		Phone:
Company:		Email:
Name:		Phone:
Company:		Email:
Name:		Phone:
Company:		Email:
Name:		Phone:
Company:		Email:



Mundelein Consolidated High School District ·
MUNDELEIN HIGH SCHOOL MASTER FACILITY PROJECTS

Planning and Zoning Meeting · 01/21/26



VARIANCE REQUESTS

1. Reduction in number of Required Interior Parking Lot Islands

Why Requested	School Requirements	Proposed																																				
<p>A. Population: 445 Staff / 2,200 Students</p> <p>B. Parking Needs:</p> <ul style="list-style-type: none"> - 445 staff - 350 permitted spaces for students (additional 125 on wait list) - 10 Visitor - 15 Maintenance & Bus Vehicle <p>C. Student Activities:</p> <ul style="list-style-type: none"> - 647 Students involved in 31 athletic programs - 970 Students in 50 Clubs & After Hour Activities - Approx. 20% of Students need transportation to jobs or internships 	<p>Parking Needed: 820 Spaces</p>	<p>Parking Proposed: 777 Spaces</p> <p>Parking Deficiency: 43 Spaces</p> <p><i>Current Deficiency: 60 Spaces</i></p> <p>Proposed Parking Summary</p> <table border="1"> <thead> <tr> <th>PARKING LOT</th> <th>STANDARD</th> <th>ADA</th> <th>TOTAL</th> </tr> </thead> <tbody> <tr> <td>NORTH LOT</td> <td>44</td> <td>2</td> <td>46</td> </tr> <tr> <td>NORTHWEST LOT</td> <td>107</td> <td>5</td> <td>112</td> </tr> <tr> <td>SOUTH OF TRACK LOT</td> <td>184</td> <td>6</td> <td>190</td> </tr> <tr> <td>WEST MAIN LOT</td> <td>143</td> <td>6</td> <td>149</td> </tr> <tr> <td>EAST MAIN LOT & CIRCLE DRIVE</td> <td>229</td> <td>7</td> <td>237</td> </tr> <tr> <td>MUNDELEIN HIGH SCHOOL SUBTOTAL</td> <td>707</td> <td>26</td> <td>733</td> </tr> <tr> <td>TRANSITION CENTER LOT</td> <td>42</td> <td>2</td> <td>44</td> </tr> <tr> <td>TOTAL</td> <td>749</td> <td>28</td> <td>777</td> </tr> </tbody> </table> <p>PER VILLAGE CODE 20.56.130, TABLE 20.56-1; INSTITUTIONAL - EDUCATION FACILITY, SECONDARY</p> <p>VILLAGE CODE REQUIRED PARKING: STAFF MEMBERS = 445 STAFF x 1 SPACE/STAFF = 445 SPACES STUDENTS = 2200 STUDENTS x $\frac{1}{10}$ SPACE/STUDENT = 220 SPACES</p> <p>VILLAGE CODE REQUIRED SPACES = 665 SPACES MHS NEEDED SPACES = 820 SPACES TOTAL PROPOSED SPACES = 777 SPACES</p>	PARKING LOT	STANDARD	ADA	TOTAL	NORTH LOT	44	2	46	NORTHWEST LOT	107	5	112	SOUTH OF TRACK LOT	184	6	190	WEST MAIN LOT	143	6	149	EAST MAIN LOT & CIRCLE DRIVE	229	7	237	MUNDELEIN HIGH SCHOOL SUBTOTAL	707	26	733	TRANSITION CENTER LOT	42	2	44	TOTAL	749	28	777
PARKING LOT	STANDARD	ADA	TOTAL																																			
NORTH LOT	44	2	46																																			
NORTHWEST LOT	107	5	112																																			
SOUTH OF TRACK LOT	184	6	190																																			
WEST MAIN LOT	143	6	149																																			
EAST MAIN LOT & CIRCLE DRIVE	229	7	237																																			
MUNDELEIN HIGH SCHOOL SUBTOTAL	707	26	733																																			
TRANSITION CENTER LOT	42	2	44																																			
TOTAL	749	28	777																																			

2. Alternate locations of Interior Parking Lot Trees and Landscape Areas

Why Requested	Section 20 Code Requirements	Proposed
<p>A. Maximized Deficient Parking Count</p> <p>B. Maintenance Considerations</p> <p>C. Efficiency and Safety</p>	<p>A. Min. Interior Parking Lot Landscaping: 17,280 s.f.</p> <p>B. Section 20 Trees: 135</p>	<p>A. 14 New Parking End Islands within Existing Parking Lots</p> <p>B. 28,762 s.f. of Proposed Parking Islands (66% Over Code Minimum)</p> <p>C. 162 Trees (20% Over Code Minimum)</p>

TREE SURVEY



TREE SURVEY SUMMARY

Total Trees Surveyed.....	139
Onsite Trees Surveyed.....	117
Trees to be Removed	42
Replacement Trees Required.....	145

TREE SPECIES SURVEYED (16)

Colorado Blue Spruce.....	26
Honeylocust.....	24
Austrian Pine	20
Little-Leaved Linden.....	14
Crabapple.....	10
Sugar Maple.....	8
Red Maple.....	7
Norway Maple.....	4
Ornamental Pear.....	4
Redbud	4
Allegheny Serviceberry.....	3
Hackberry.....	3
Silver Maple.....	3
Douglas Fir.....	3
Amur Maple.....	2
Balsam Fir.....	2
White Ash	1

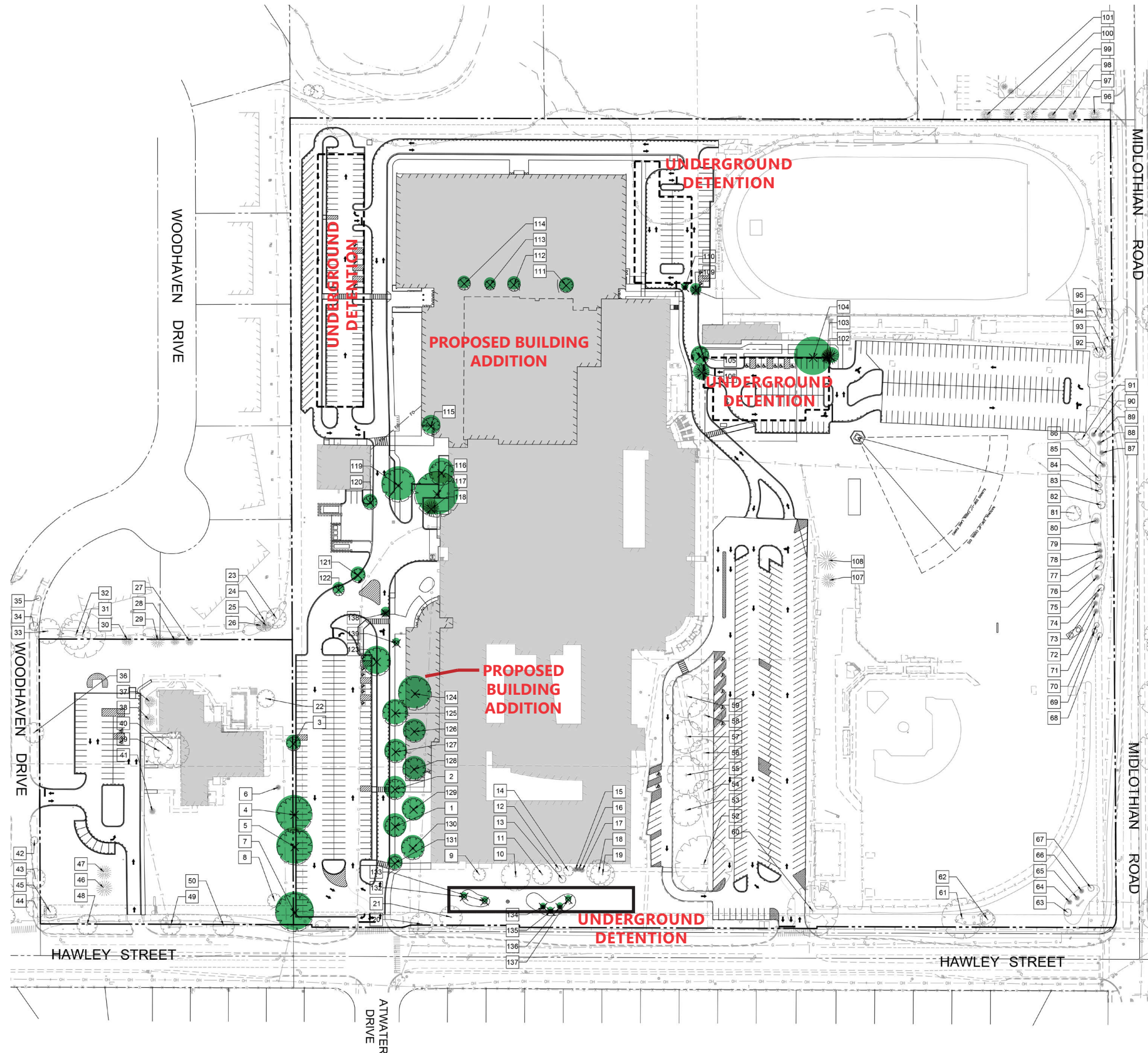
TREE REMOVAL SUMMARY

Honeylocust	14
Sugar Maple	7
Austrian Pine.....	6
Colorado Blue Spruce.....	6
Little Leaved Linden.....	4
Red Maple.....	3
Crabapple.....	1
Ornamental Pear.....	1

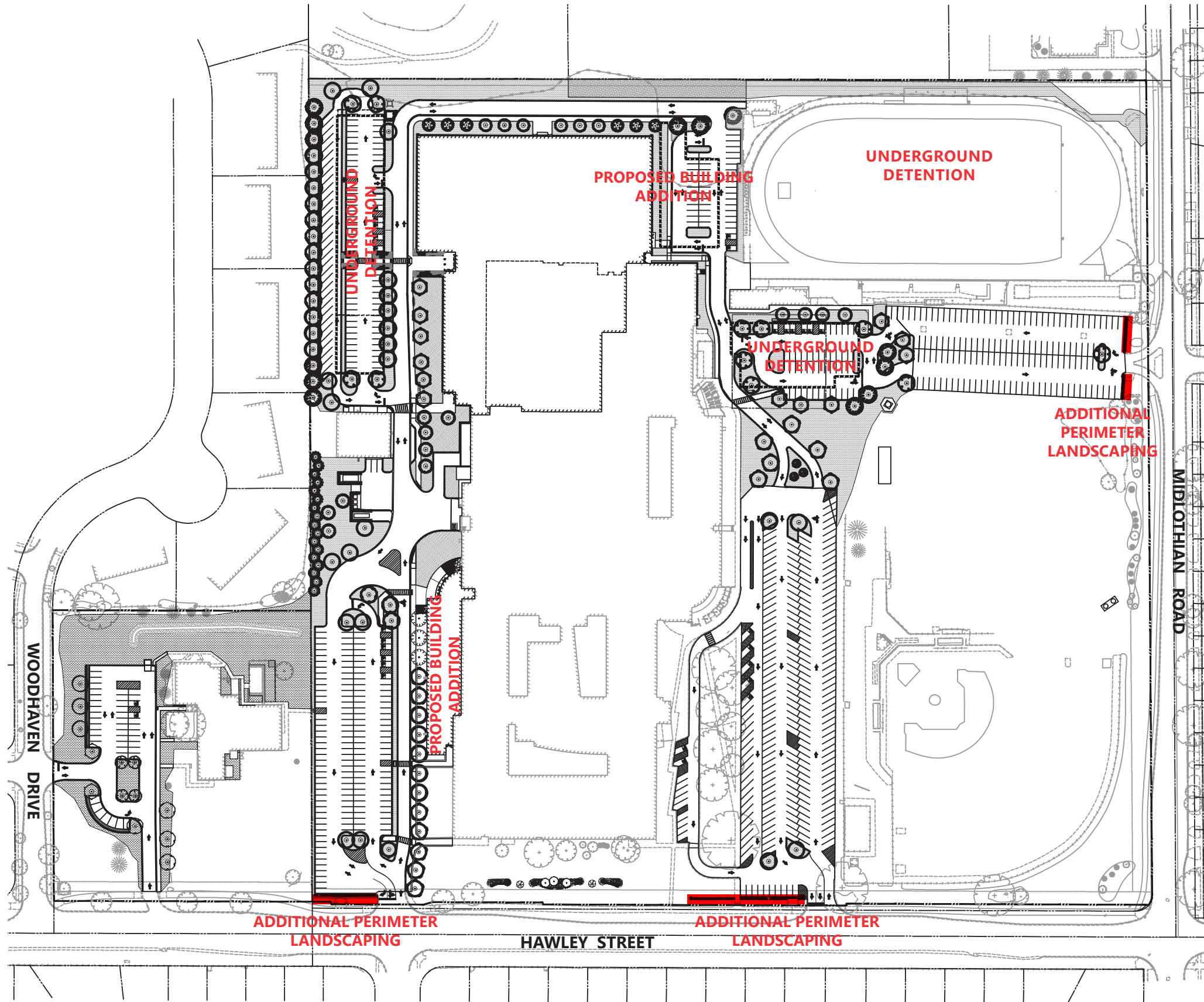
145 Required Replacement Trees

(Other trees required by code can count towards this requirement)





PHASE 2 OVERALL LANDSCAPE PLAN



Proposed Planting Summary

Plant Type	Quantity	# of Species
Shade Trees	133	11 (9 new)
Ornamental Trees	9	2 (2 new)
Evergreen Trees	20	2 (2 new)
Deciduous Shrubs	369	7
Evergreen Shrubs	24	1
Ornamental Grasses	625	5
Perennials	866	15

Includes Phase 1, Phase 2, and Transition Center Plantings

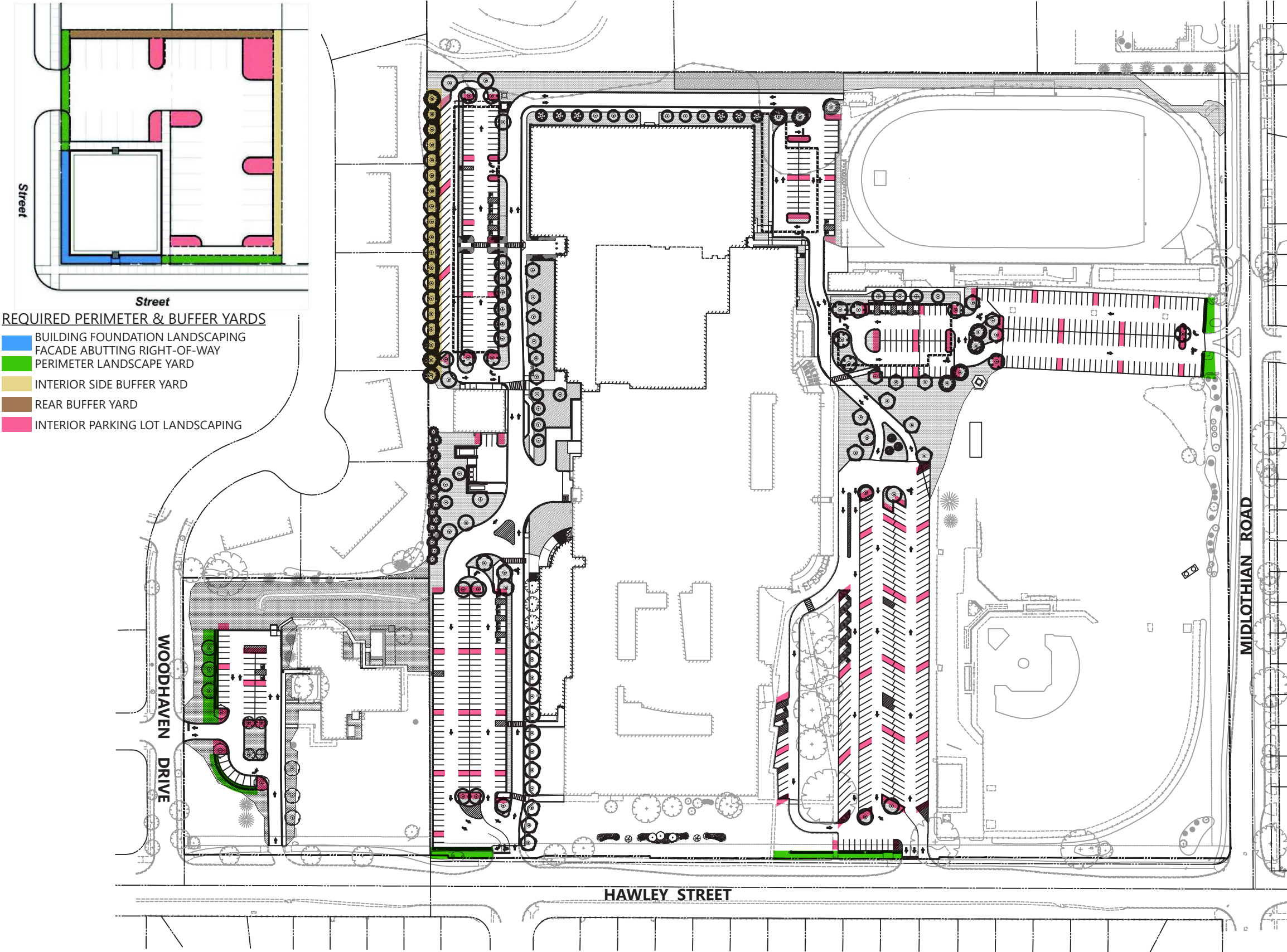
Section 20 Trees Required: 135

Trees Proposed: 162



SECTION 20 REQUIRED ISLANDS, PERIMETER, & BUFFER YARDS

FIGURE 20.60-4



Required Islands:

Min. Interior Parking Lot Islands: 17,280 s.f.
(1 internal island for every 10 spaces, 1 island at each end of a row / 144 s.f. of landscape area per island)

Required Trees:

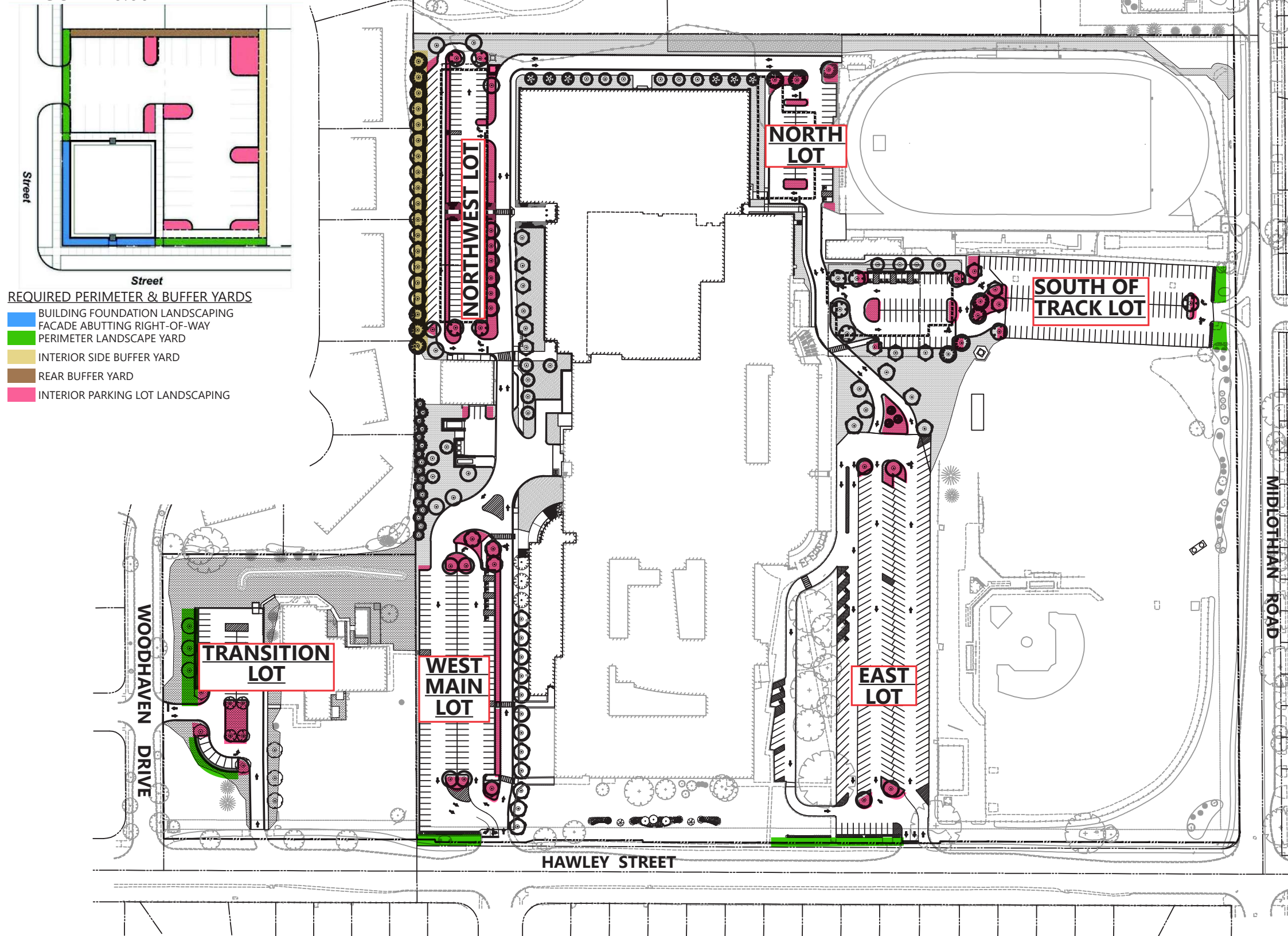
118 Parking Lot Island Trees
17 Buffer Trees

135 Total Trees



SECTION 20 PROPOSED ISLANDS, PERIMETER, & BUFFER YARDS

FIGURE 20.60-4



Required Islands:

Interior Parking Lot Islands: 17,280 s.f.
(1 internal island for every 10 spaces, 1 island at each end of a row / 144 s.f. of landscape area per island)

Proposed Islands:

Interior Parking Lot Islands: 28,762 s.f.
(66% increase from code minimum)

Required Trees:

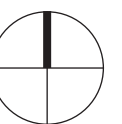
118 Parking Lot Island Trees
17 Buffer Trees

135 Total Trees

Proposed Trees:

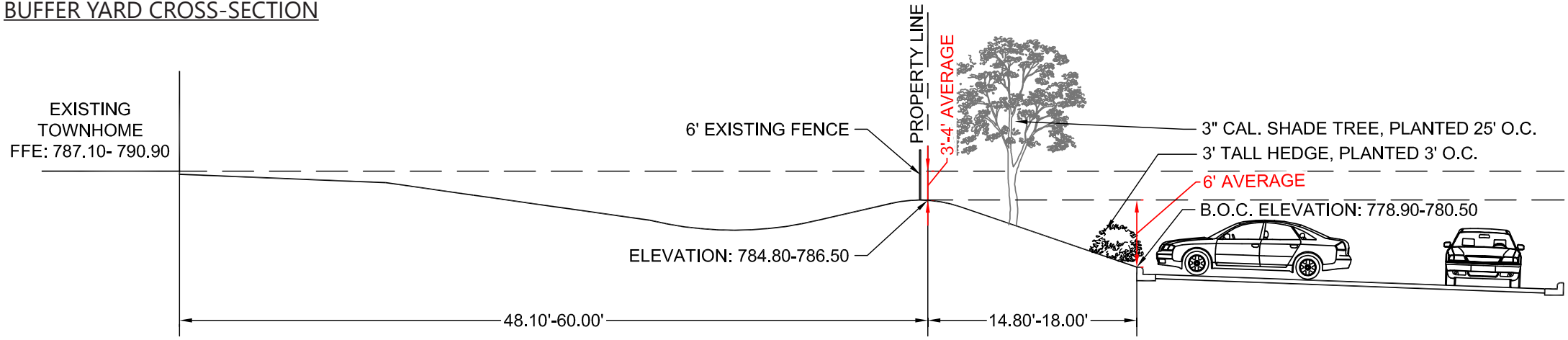
162 Interior Parking Lot Trees
(20% increase from code minimum)

237 Total On-Site Trees
(105% increase from existing conditions)

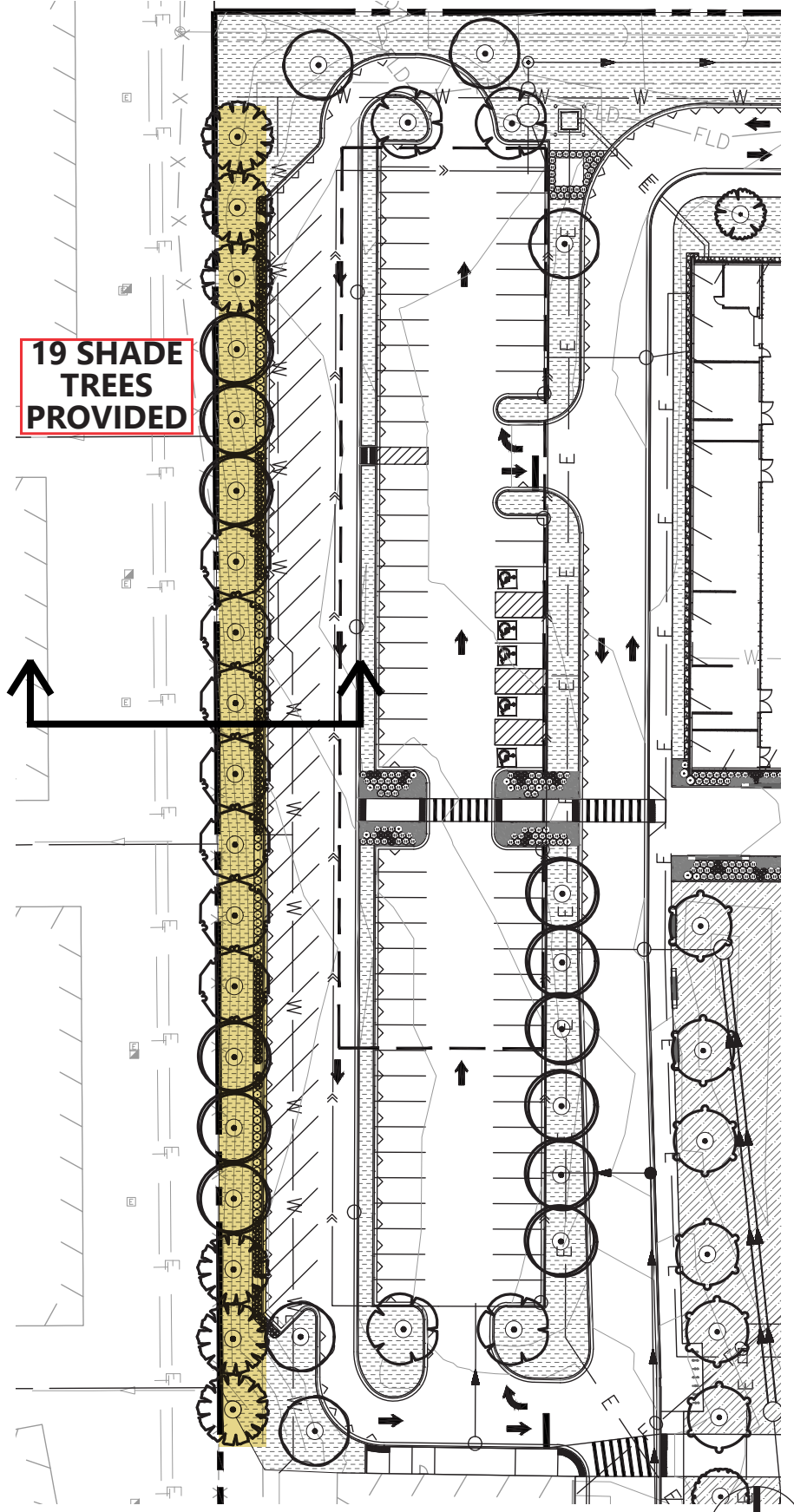


BUFFER YARD PLANTINGS

BUFFER YARD CROSS-SECTION



PLAN VIEW





ARMSTRONG FREEMAN MAPLE



MARMO FREEMAN MAPLE



COMMON HACKBERRY



AMERICAN YELLOWWOOD



TULIP POPLAR



URBAN PINNACLE OAK



SWAMP WHITE OAK



SHINGLE OAK



NORTHERN RED OAK



SHAWNEE BRAVE BALD CYPRESS



ACCOLADE ELM



AUTUMN BRILLIANCE SERVICEBERRY



SERBIAN SPRUCE



NORWAY SPRUCE

PARKING LOT PERIMETER / BUFFER



LITTLE DEVIL DWARF NINEBARK



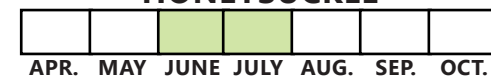
SPICE BABY KOREANSPICE VIBURNUM



SUGARSHACK BUTTONBUSH



COOL SPLASH DWARF BUSH HONEYSUCKLE



CLUBHOUSE ENTRANCE PLANTINGS



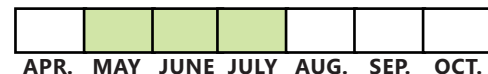
PUFFER FISH HYDRANGEA



SHENANDOAH SWITCH GRASS



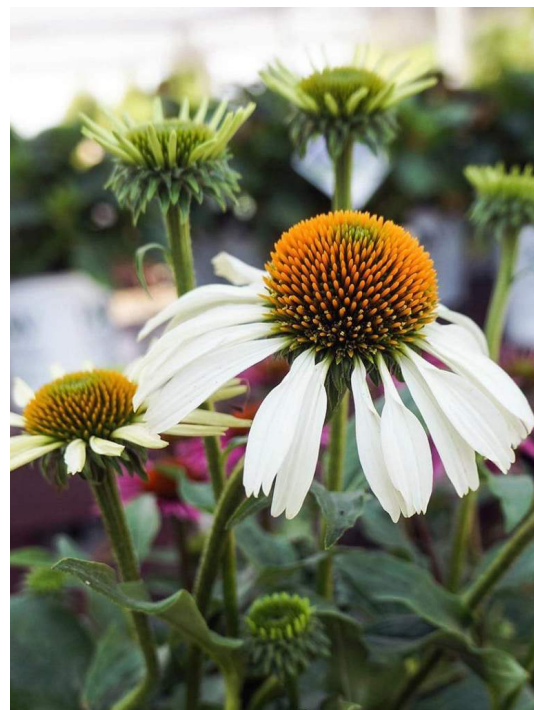
STROM CLOUD EASTERN BLUESTAR



PINK LEMONADE WILD INDIGO



SUMMER BEAUTY ONION



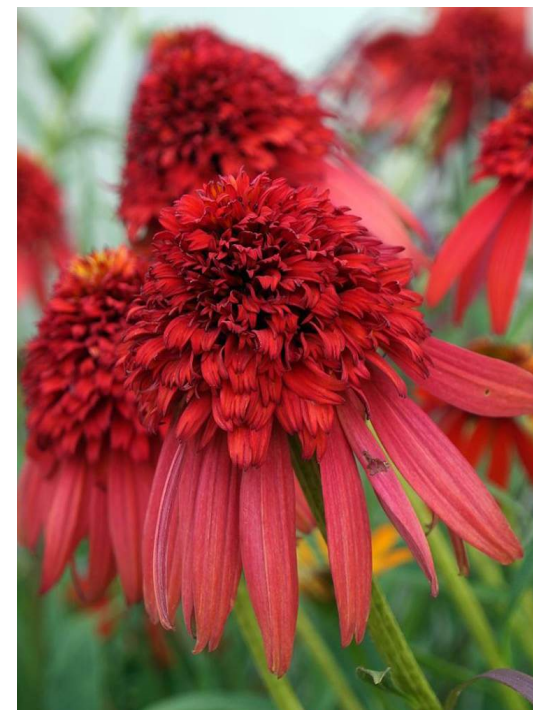
WHITE CONEFLOWER



CARADONNA MEADOW SAGE



AUTUMN MOOR GRASS



HOT PAPAYA CONEFLOWER



FINDINGS OF FACT – VARIATION

CASE NUMBER	PZ2025-0039
PUBLIC HEARING DATE	December 17, 2025, and January 21, 2026
VARIATION	Waiver for the required number of interior parking lot islands and the location of parking landscape islands and trees.
<p>On January 21, 2026, the Planning and Zoning Commission voted 5-0 for approval of a variation from Section 20.60.110 (A) and (B) of the Zoning Ordinance to waive the required number and location of the interior parking lot islands and the required location of the shade trees within those islands at 1350 and 1500 W. Hawley Street.</p>	
<p><i>No variation from the provisions of this Ordinance shall be granted unless the Zoning Administrator, Planning & Zoning Commission, and Village Board makes specific written findings based on the standards imposed by this section. These standards are as follows:</i></p>	
<p>1. The strict application of the terms of this Ordinance will result in undue hardship;</p>	
<p>The strict enforcement of this Ordinance would impose undue hardship on the Petitioner, as the proposed parking layout is intended to maximize available spaces for the district and the community. Requiring the installation of the internal islands would result in a loss of approximately 7.5% of the parking spaces.</p>	
<p>2. The plight of the owner is due to unique circumstances;</p>	
<p>The property is subject to unique circumstances, as the Zoning Ordinance does not account for all potential uses, particularly those arising from factors beyond the control of the Petitioner and Property Owner. In addition to its everyday use as a school, the facility hosts after-school events for students and the community. The school cannot always predict how much parking will be needed or how much traffic an event will generate, further demonstrating that the demand for parking may exceed what the Ordinance anticipates.</p>	
<p>3. The variation, if granted, will not alter the essential character of the locality;</p>	
<p>The requested variation will not alter the essential character of the locality, as parking will still be provided and landscaping will continue to be installed throughout the property.</p>	
<p><i>The Zoning Administrator, Planning & Zoning Commission, and Village Board, in making its findings, may inquire into the following evidentiary issues, as well as any others deemed appropriate.</i></p>	
<p>1. Because of the particular physical surroundings, shape or topographical conditions of the specific property involved, a particular hardship or difficulty to the owner would result, as distinguished from a mere inconvenience, if the strict letter of the regulations were to be carried out.</p>	
<p>The shape and size of the Subject Property, as well as the characteristics of the surrounding area, impose a hardship on the property owner, distinguishing it from a mere inconvenience if the regulations are strictly enforced. Adhering strictly to the Zoning Ordinance could create hardships in the school's maintenance operations and limit the availability of needed parking spaces during school hours and after-school events.</p>	
<p>2. The alleged difficulty or hardship has not been created by any person presently having a proprietary interest in the property in question.</p>	
<p>The Commission finds that the Petitioner has successfully demonstrated that the requested variation was not caused by any person currently holding a proprietary interest in the Subject Property.</p>	
<p>3. The granting of the variation will not be detrimental to the public welfare in the neighborhood in which the property is located.</p>	
<p>The Commission finds that the granting of the requested variation will not be detrimental to the public welfare in which the property is located.</p>	
<p>4. The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, endanger the public safety, or impair property values within the neighborhood.</p>	
<p>The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, endanger the public safety, or impair property values within the neighborhood. Parking lot lighting is proposed but will accommodate full cut off shields to achieve the 0.0fc light levels along the property lines while maintaining security light levels within the parking lots. The added parking spaces will not impair the surrounding neighborhood and streets. Appropriate drive aisle widths and circulation have been incorporated into the design so a fire truck can maneuver throughout the site for public and school safety.</p>	
<p>5. The proposed variation is consistent with the spirit and intent of this Ordinance and Village land use policies.</p>	
<p>The Commission finds that the proposed variation is consistent with the spirit and intent of this Ordinance and Village land use policies.</p>	

6. The value of the property in question will be substantially reduced if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located.

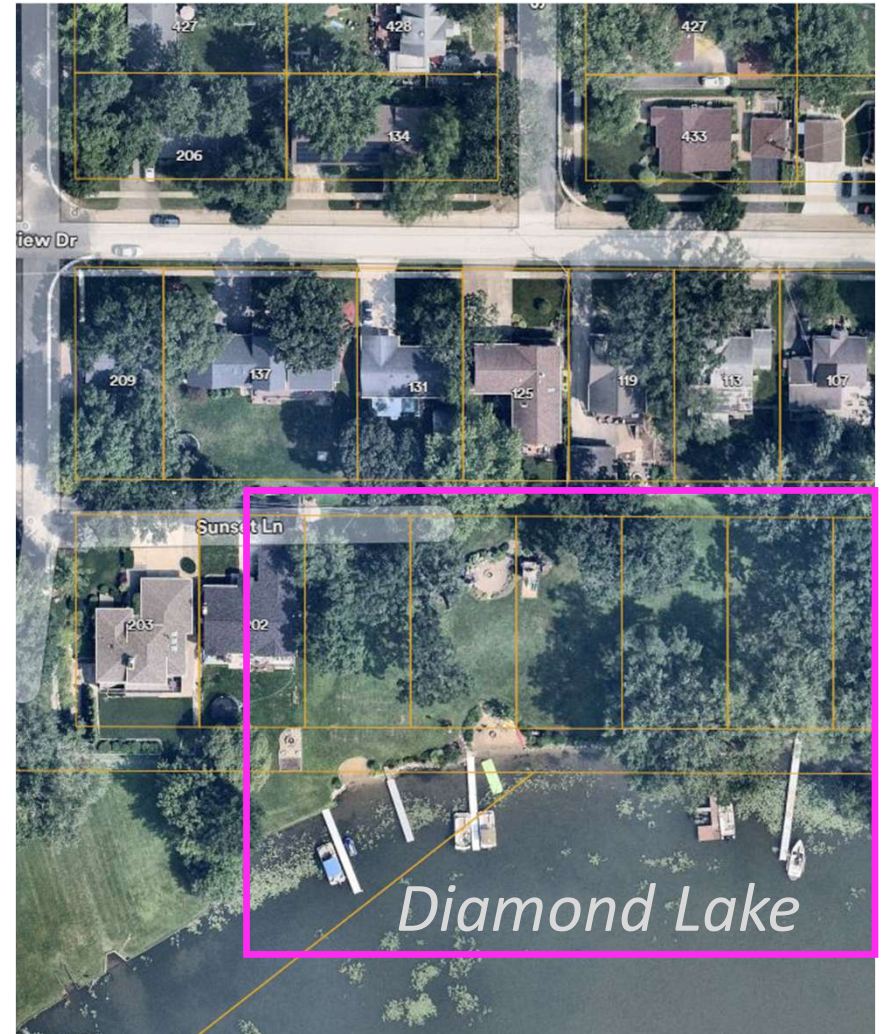
The value of the property in question will be substantially reduced if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located.

Lake Access Parcels

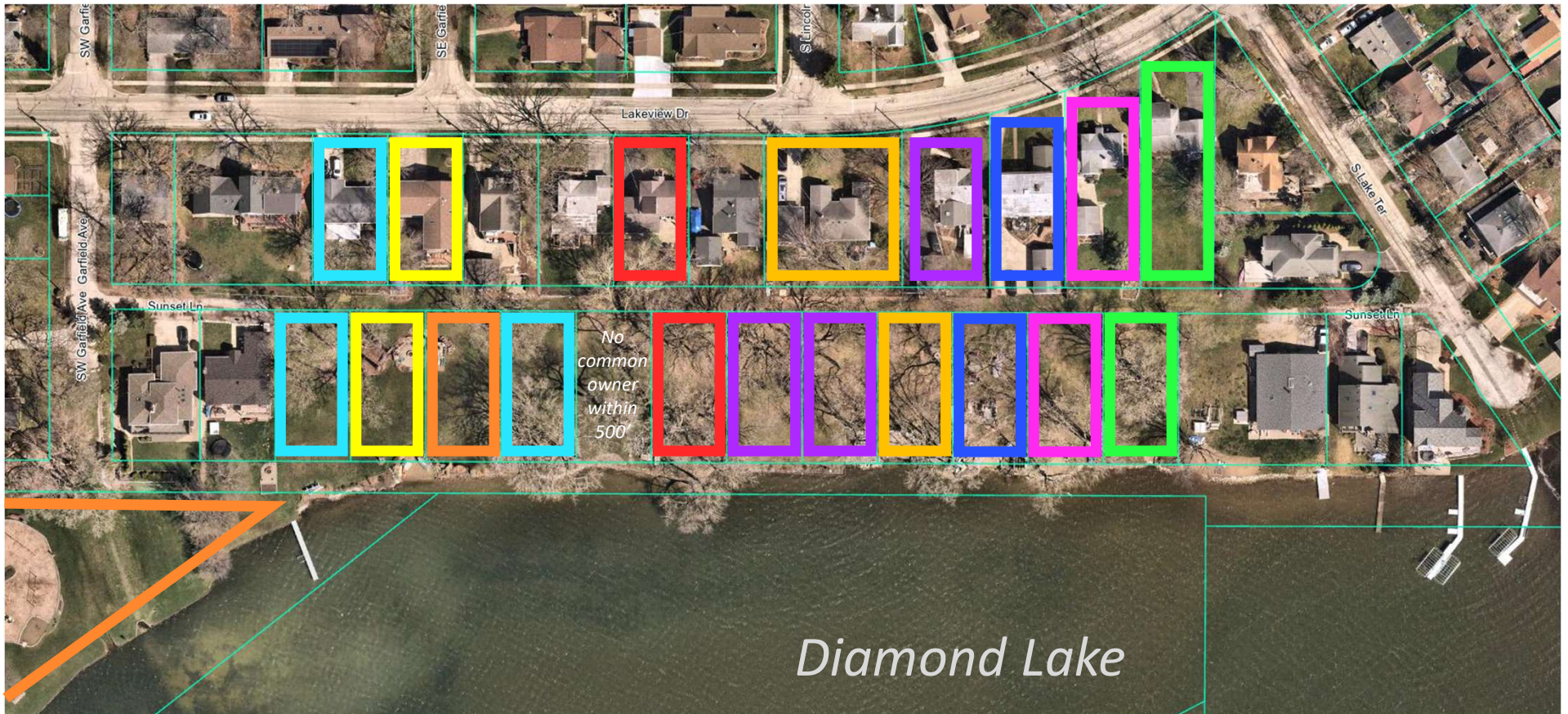


History

- Village receives requests to install **accessory structures on vacant lots along the north shore of Diamond Lake**. The parcels are unbuildable due to Sunset Lane being unimproved – leaving them without access to ROW.
- However, most are **owned by nearby owners as “lake access” parcels**, who wish to improve them with **piers, fire pits, etc.**
- Village code prohibits **accessory structures on a lot without a principal structure** (i.e. a house) unless those parcels are contiguous with another under common ownership that does have a principal structure. These are not “contiguous” due to the Sunset ROW.
- Legal counsel has advised that we cannot issue permits for accessory structures, as our code technically prohibits it. Many owners have installed structures without permits over the years as a result.



Common Ownership Along Sunset Lane



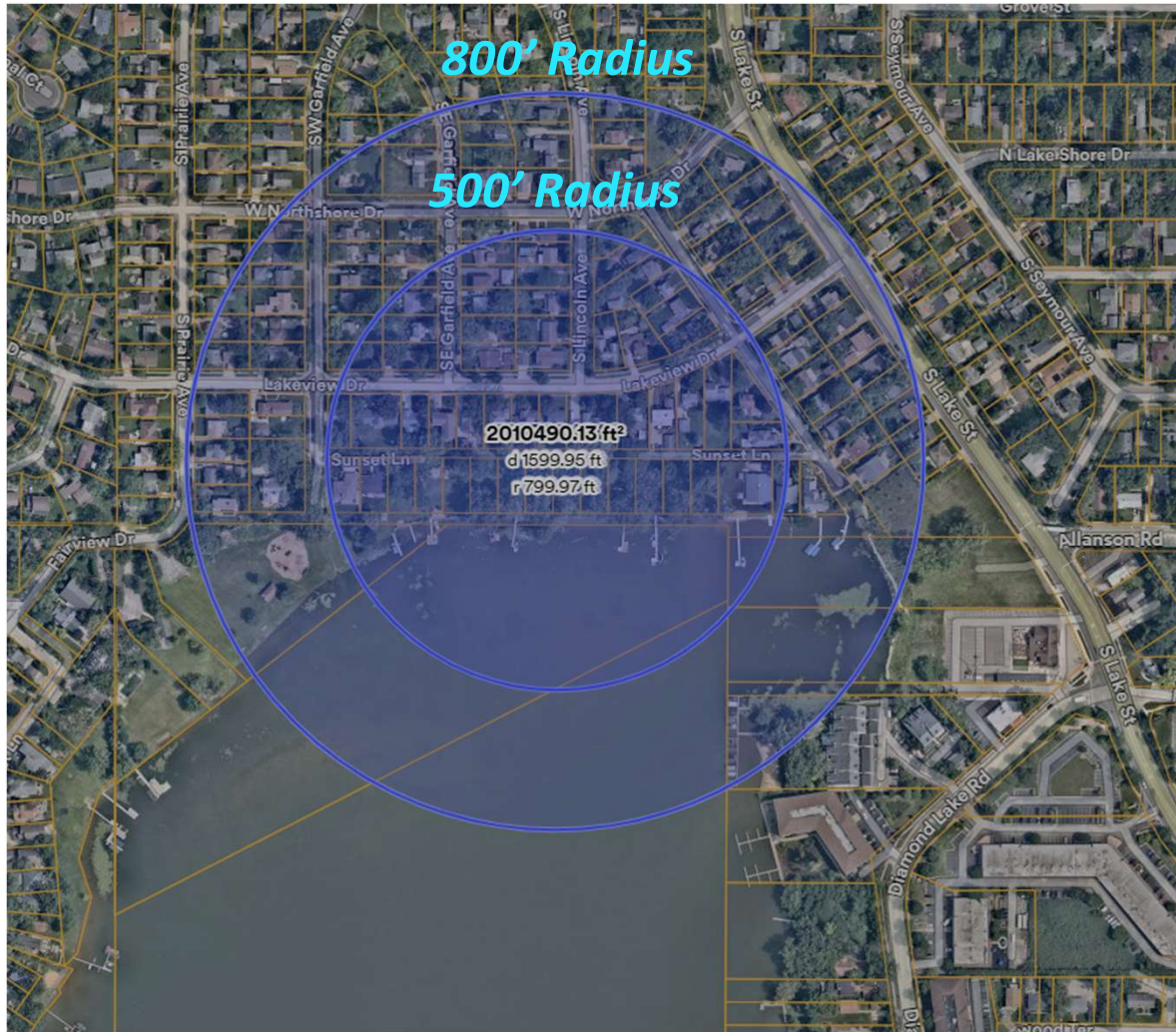
Not as common, but this is theoretically possible along Loch Lomond, too (fabricated example):



Staff Recommendation

B. Accessory Structures on Lake Access Parcels.

1. **Purpose and Applicability.** This section applies to certain vacant parcels with frontage on Diamond Lake or Loch Lomond that function solely to provide lake access to a nearby residential property.
2. **Definition of Lake Access Parcel.** A “Lake Access Parcel” is an individual lot that **does not contain a principal structure** and has **frontage along Diamond Lake or Loch Lomond**, provided that both of the following criteria are met:
 1. The parcel is under common ownership with a separate lot containing a principal structure; and
 2. The **lot containing the principal structure is located within five hundred (500) feet** of the Lake Access Parcel.
3. **Permitted Accessory structures.** Accessory structures may be constructed on a Lake Access Parcel despite the absence of a principal structure on that parcel. Only the following accessory structures are permitted, and **no more than one (1) of each type** may be established. No other accessory structures or uses are permitted:
 1. Pier
 2. Shed
 3. Patio
 4. Deck
 5. Walkway
 6. Pergola
 7. Gazebo
 8. Fire pit
 9. Recreational equipment
4. **Lot Coverage Limitation.** The combined lot coverage of all accessory structures on a Lake Access Parcel shall not exceed **twenty-five percent (25%)** of the total lot area.
5. **Prohibited Improvements and Uses.** The following improvements and activities are expressly prohibited on a Lake Access Parcel:
 1. Driveways or parking pads
 2. **Parking or storage of motor vehicles**, recreational vehicles, boats on trailers, or commercial vehicles. **Boats may be stored on a pier.**



Ground Floor Transparency



History

Commercial buildings are required to have 50% transparency on facades facing ROW (between 2' and 8' from grade). Sometimes, those areas of the floor plan have kitchens, restrooms, drive-throughs, or storage, and cannot easily accommodate transparent windows – especially on a corner lot.

In practice, staff has let allowed some of these cases to install faux windows or spandrel glass. However, the code is very explicit on what constitutes as transparent.



- b. Non-residential units under twenty-five thousand square feet on the ground floor along a public street require fifty percent transparency comprised of clear windows or doors for the façade area between two feet and eight feet above the average grade for all walls that front on a public street or access area, which allows views of indoor space or product display areas. Parking structures or walls of structures that are used for ground floor parking are exempt from the transparency requirements: however, decorative elements and architectural elements are required to break up the façade. Windows shall be constructed of clear or lightly tinted glass. Tinting above twenty percent or reflective glass is prohibited. In-line retail is considered multiple uses with each unit counting individually towards the size requirement.

Staff Recommendation

- Staff recommends adding **ground floor transparency** to the list of requests that qualify for an **Administrative Variation**, which does not require a public hearing.
 - Applicants must mail notice to all adjacent property owners. If a noticed property owner objects within 30 days of the received notice, then the request must proceed to a traditional variation process.
 - If there are no objections, the Zoning Administrator renders a decision after 30 days. The Zoning Administrator reserves the right to escalate any administrative variation request to a traditional variation process.
- We do not necessarily want to *encourage* faux windows, so the Administrative Variation still presents a small barrier (time and certified mailings) and provides an opportunity for adjacent property owners to object. It lessens the barrier when the request is reasonable in nature – which it often is.

Nonconforming Fences and Driveways



History

The **Nonconformity** chapter of the Zoning Ordinance states that if a *nonconforming* structure is replaced, the new structure must meet all current-day zoning regulations.

Typically, this makes sense. However, time and time again, this does not feel appropriate when we apply it to **fences** and **driveways**.

Fences and driveways strongly impact the use, layout, and landscaping of a property over time. Furthermore, the impact already exists (often for decades). Common in Ambria, Hampton Reserve, and other subdivisions on the north end of Mundelein.



Staff Recommendation

Staff recommends making two exceptions from this requirement – specifically for fences and driveways. In other words, **grandfather in all existing nonconforming fences and driveways**, provided that they meet the following:

- A) Originally constructed with a permit or were constructed prior to 2012;
- B) Are replaced as-is or in a way that reduces the degree of the nonconformity.



Deck Railings and Privacy Screens



History

The Zoning Ordinance interprets deck railings and privacy screens as fences, which are limited to 6' high from grade. This becomes an issue when either:

- The deck is elevated, so a reasonable railing is technically higher than 6' above grade.
- Privacy screens exceed 6' (typically 7-10' from the floor of the deck).

Staff Recommendation

For privacy screens on decks, Staff proposes an exemption from the maximum fence height with some restrictions:

- Must be setback a certain distance from any property lines (so it doesn't block sunlight);
- Maximum height above the deck floor = 10 feet ?
- Must be a certain % open above a certain height?
- Restrict the number of sides a privacy screen can be installed on (so they can't create a "room")

For deck railings, staff proposes a maximum height of 4 feet.



Home Day Cares



History

This use was brought forward as a result of a code enforcement violation involving a home day care caring for more than six (6) children from outside households. A text amendment was submitted to the Planning and Zoning Commission requesting permission to allow up to 16 children from outside households within one home day care. The Planning and Zoning and Village Board denied the request and directed staff to review the Zoning Ordinance, work with the applicant and other home day care providers and return with a revised proposal in the future.

Staff Recommendation

Proposed Option:

Eliminate “Day Care Home, Adult or Child” as a permitted use in the R-5 Zoning District and classify it as a prohibited use in multi-family buildings. **Additionally, limited to the care of a maximum of eight (8) children from outside households, not including the provider’s own children.**

Townhome Setbacks

Front and Rear Loaded



Staff Recommendation

History

The townhouse setback requirements in the R-5 zoning district are excessive and impractical when applied to proposed townhouse developments.

	Current Requirement	Proposed Requirements
Minimum Lot Width	30' for the front façade of each Townhouse Unit	20' for the front façade of each Townhouse Unit
Minimum Front Yard	FL: 20' RL: 15'	No Changes
Minimum Interior Side Yard	FL: 0' at the party wall, otherwise 7.5' RL: 0' at the party wall, otherwise 7.5'	FL ² : 0' at party wall, otherwise 7.5.' RL ² : 0' at party wall, otherwise 7.5'
Minimum Corner Side Yard	FL: 20' RL: 20'	No Changes
Minimum Rear Yard	FL: 40' between TH buildings, 30' to the property line of adjacent developments. RL: 50' between TH buildings rear-load facing rear-load; otherwise 35'	FL ² : 30' between TH buildings, 30' to the property line of adjacent developments. RL ² : 50' between TH buildings rear-load facing rear-load; otherwise, 20'.
Front Load: FL Rear Load: RL		

² When a required rear yard setback and an interior side yard setback overlap, the greater dimension shall prevail and only the greater setback shall apply within the overlapping area.

Parking Lot Landscape



Landscape Requirements

- a. A new principal building is constructed or a building addition is constructed that increases the floor area by thirty percent or more.
- b. Over fifty percent of the total area of an existing parking lot is reconstructed. For purposes of this section, reconstruction shall include all paving of previously unpaved surfaces, **replacement of pavement with new binder and/or surface courses**, construction of curbing, and similar activities. Reconstruction shall not include maintenance activities such as repair of existing curbing, repairs, sealing, re-stripping, or placement of surface course pavement over previously paved areas.
- c. When an existing parking lot under ten thousand square feet in area is expanded by fifty percent or more in total surface area.
- d. When an existing parking lot over ten thousand square feet in area is expanded by twenty-five percent or more in total surface area.

Add Square Footage?



1390 WILHELM RD



507.09 ft

389.16 ft

192946.06 ft²

463.64 ft

23832 ft

150.93 ft

1501 S LAKE ST



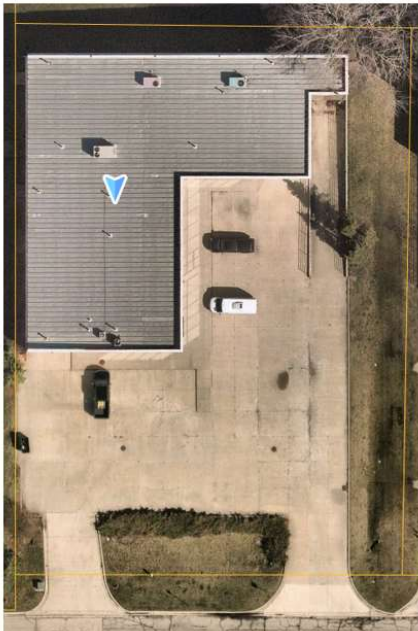
350 TOWNLINE RD

Address	District	sq ft	# parking	existing lands.	if compliant - lose sq ft	if compliant - lose spaces	% spaces lost	Size	Variance?
1312 Armour	Industrial	10,000	21	perimeter	600	3	14%	small	
1515 Reidel	Industrial	14,000	34	end caps and perimeter	360	4	12%	small	
1363 Wilhelm	Industrial	23,000	64	perimeter	2,960	8	13%	medium	
1700 Butterfield	Industrial	25,800	55	perimeter and buffer	960	8	15%	medium	Parking V
1390 Wilhelm	Industrial	32,000	93	end caps and perimeter	840	7	8%	medium	
405 Washington Blvd	Industrial	45,000	70	perimeter	1,560	13	19%	large	
401 Terrace Dr	Industrial	100,700	274	some perimeter and some end caps	3,240	27	10%	large	

Address	District	sq ft	# parking	existing lands.	if compliant - lose sq ft	if compliant - lose spaces	% spaces lost	Size
1520 S. Lake St	Commercial	7,262	23	Complies	0	0	0%	Small
800 Rt 83	Commercial	23,091	26	perimeter	480	4	15%	Medium
815 S. Lake St	Commercial	24,000	48	-	3,820	11	23%	Medium
342 Townline R	Commercial	68,835	154	-	3240	27	18%	Large
900 S. Lake St	Commercial	77,091	160	-	4600	23	14%	Large
654 S. Lake St	Commercial	93,366	190	Complies	0	0	0%	Large

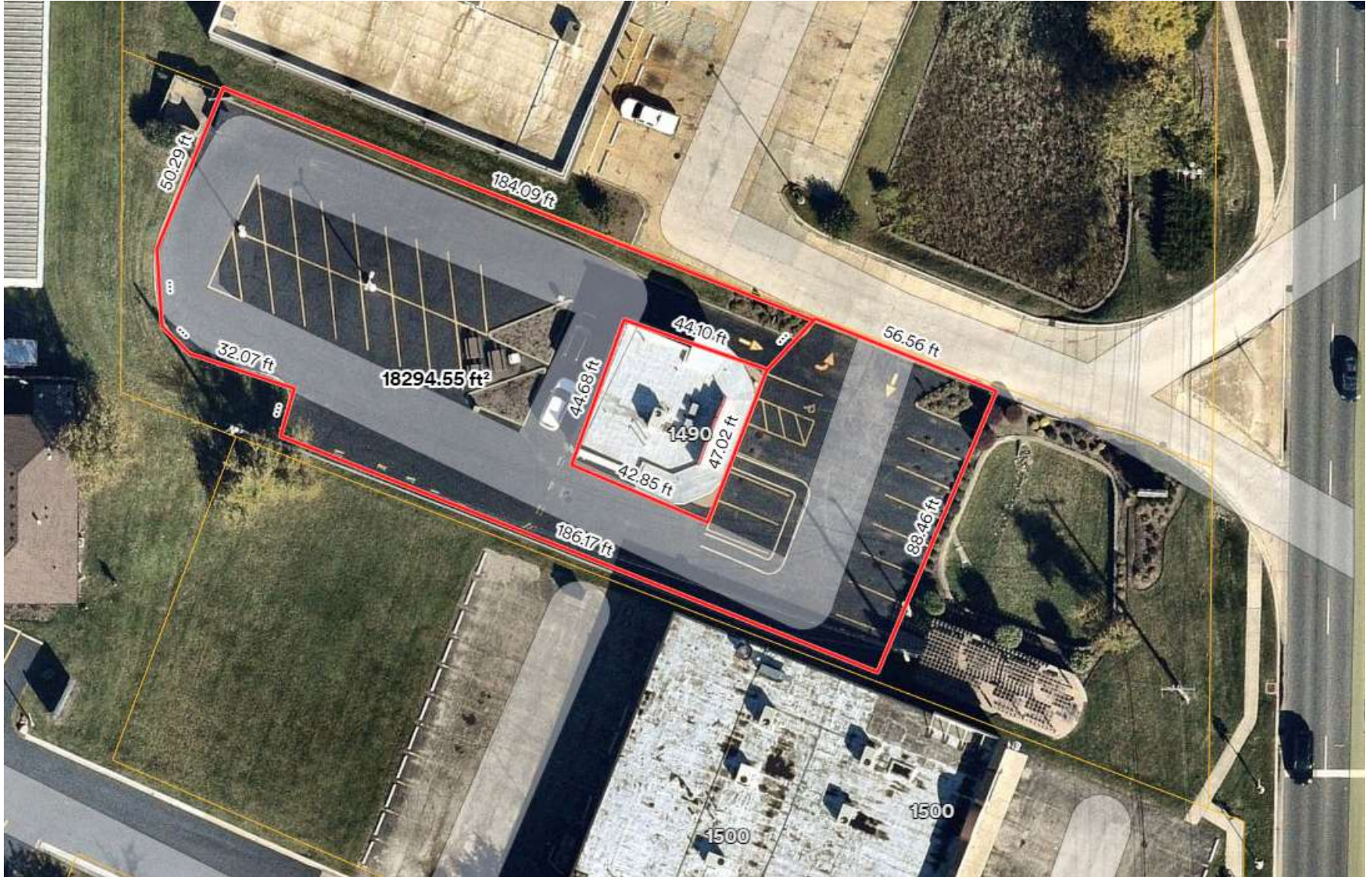
Size	Landscape Requirement
Small (0-20,000 sq. ft.)	Perimeter landscaping
Medium (20,001 – 40,000 sq. ft.)	Perimeter landscaping & landscape islands at the end of each row of parking
Large (40,000 sq. ft. <)	All minimum parking lot landscape requirements must be applied

Size	Landscape Requirement
Small (0-20,000 sq. ft.)	Perimeter landscaping
Medium (20,001 – 40,000 sq. ft.)	Perimeter landscaping & landscape islands at the end of each row of parking
Large (40,000 sq. ft. <)	All minimum parking lot landscape requirements must be applied



1312 Armour Blvd





Size	Landscape Requirement
Small (0-20,000 sq. ft.)	Perimeter landscaping
Medium (20,001 – 40,000 sq. ft.)	Perimeter landscaping & landscape islands at the end of each row of parking
Large (40,000 sq. ft. <)	All minimum parking lot landscape requirements must be applied



Address	District	sq ft	# parking	existing lands.	if compliant - lose sq ft	if compliant - lose spaces	% spaces lost
815 S. Lake St	Commercial	24,000	48	-	3,820	11	23%

Size	Landscape Requirement
Small (0-20,000 sq. ft.)	Perimeter landscaping
Medium (20,001 – 40,000 sq. ft.)	Perimeter landscaping & landscape islands at the end of each row of parking
Large (40,000 sq. ft. <)	All minimum parking lot landscape requirements must be applied



Address	District	sq ft	# parki	existing lands.	if compliant - lose sq ft	if compliant - lose spaces	% spaces lost
405 Washington Blvd	Industrial	45,000	70	perimeter	1,560	13	19%

To: Commission Members

From: Isabel Guadarrama, Senior Planner

For: Planning and Zoning Commission Meeting of February 4, 2026

Subject: PZ2025-0030 - 1212 and 1250 S. Butterfield Road - Preliminary and Final Plat of Subdivision

Attachments:

1. Location Map
2. Application
3. Plat of Survey
4. Preliminary Plat of Subdivision
5. Final Plat of Subdivision

Background:

Michi Mho of Neri Architects, on behalf of property owners Imran Ahmad and Nargis Jahan, is requesting approval of a Preliminary and Final Plat of Subdivision to facilitate the development of a commercial strip and a car wash on two adjacent parcels, 1212 and 1250 S. Butterfield Road, currently zoned M-1 General Manufacturing. The proposed car wash is a permitted use by right in the M-1 zoning district. Development of the commercial strip would require additional approval of a map amendment to rezone the property to C-1 General Commercial zoning district, where such uses are permitted by right.

Prior to acquisition by the current owners, both properties contained nonconforming single-family residential uses within the M-1, General Manufacturing zoning district. While the existing parcel sizes were sufficient for the former residential uses, the proposed commercial development requires wider parcels to accommodate building placement, parking, and site circulation.

Subdivision Plat

With ownership of both properties, the applicant is proposing to adjust the internal lot line and utilize the combined land area without acquiring additional property to achieve the necessary lot width. As proposed, the parcel located at 1250 S. Butterfield Road would increase by approximately 37.57 feet to the north, with a corresponding reduction in width from the adjacent parcel at 1212 S. Butterfield Road.

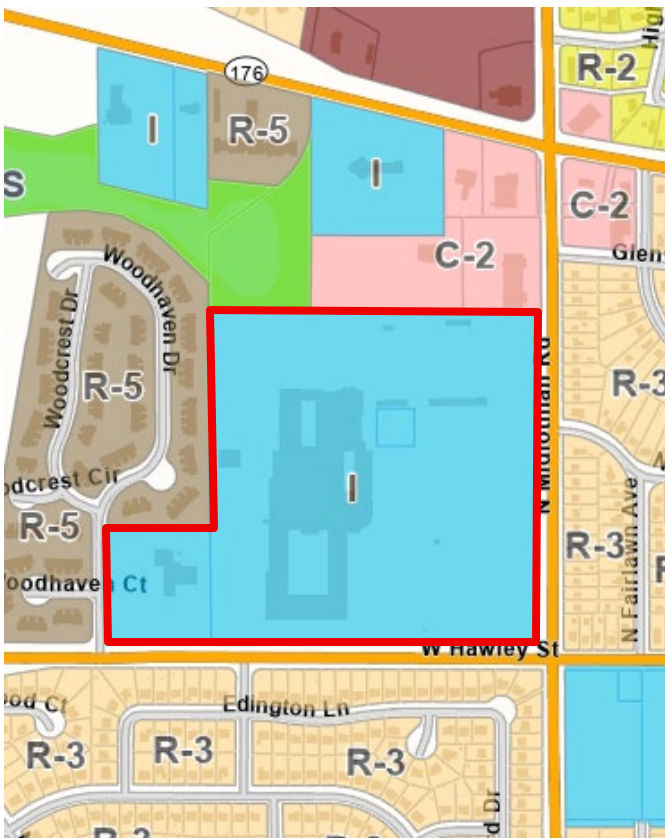
Following the proposed lot line adjustment, both parcels would meet the minimum lot width and lot area requirements under their respective zoning district in the Zoning Ordinance. The revised lot configuration would also allow both developments to comply with required setbacks and buffer standards.

M-1	Requirement	Proposed
Minimum Lot Area	10,000 sq. ft.	41,490.24 sq. ft.
Minimum Lot Width	100 feet	191.12 feet
C-2	Requirement	Proposed
Minimum Lot Area	None	30,213.43 sq. ft.
Minimum Lot Width	None	137.73 sq. ft.

Recommendation:

Motion to recommend approval/denial of the preliminary and final plat of subdivision for the properties located at 1212 and 1250 S. Butterfield Road.

Location Map: 1500 & 1350 W. Hawley Street



Legend:



Subject Property





PLAT APPLICATION

PROPERTY INFORMATION

Address 1212-1250 Butterfield Rd
 Property Index Numbers (PIN) 11-32-300-089-0000
11-32-300-082-0000
 Size of Property 71,919 s.f./1.647 acres (sq. ft. /acres)
 Size of Building Space _____ (sq. ft.)
 Size of Space Utilized _____

PETITIONER INFORMATION

Business/Org. Name Neri Architects
 Name Michi Mho
 Title Director of Architecture
 Address 222 S Prospect Ave, 3rd Floor
 City, State, Zip Park Ridge, IL 60068
 Phone 847-825-9400
 Email mmho@neriarchitects.com

Petitioner Status: Owner Lessee Contract Purchaser

PLAT APPLICATION FILING FEE (Preliminary Plats Exempt)

- Five Acres or Less: \$500**
 Over Five Acres: \$1,000

PLAT REQUEST – Please attach plat(s)

- Preliminary Plat of Subdivision
 Final Plat of Subdivision
 Preliminary and Final Plat of Subdivision
 Plat of Vacation
 Plat of Consolidation

PROPERTY OWNER INFORMATION

Imran Ahmad and Nargis Jahan
 Business/Org. Name Trust
 Name Imran Ahmad, Nargis Jahan
 Title _____
 Address 1845 Haven Lane
 City, State, Zip Green Oaks, Illinois 60048
 Phone 847-371-1847
 Email mr.adam.ahmad@gmail.com

AFFIDAVIT OF OWNERSHIP AND AUTHORIZATION

COUNTY OF LAKE)
)
STATE OF ILLINOIS)

I, Imran Ahmad, under oath, state that I am

_____ the sole)
X)
_____ an) owner of the property
_____ an authorized officer of the)

commonly described as (Address) 1212-1250 Butterfield Rd and that such property is owned by
Imran Ahmad and Nargis Jahan Trust

(Printed Name) _____ as of this date. As owner of the property, I do

hereby authorize Adam Ahmad (Printed Name or Not Applicable) to represent me in the following

Planning and Zoning Commission/Village Board matter, Plat and Resubdivision
_____ (Action).

Imran Ahmad
Signature

Subscribed and sworn to before me

this 24th day of June, 2025.

Shoukath M. Ali
Notary Public Signature



REQUIRED SIGNATURES

The undersigned states under oath that he/she/they are the **Legal Owner(s)** of record of the realty described in this Planning and Zoning Commission Application, and the statements that he/she/they made in the foregoing application are true in substance and in fact.

Signature (Owner): Imran Ahmad
Printed Name: Imran Ahmasd

Date: 06/24/2025
Title: _____

Signature (Owner): Nargis Jahan
Printed Name: Nargis Jahan

Date: 06/24/2025
Title: _____

The undersigned states under oath that he/she/they are the **Contract Purchaser** of record of the realty described in this Planning and Zoning Commission Application, and the statements that he/she/they made in the foregoing application are true in substance and in fact.

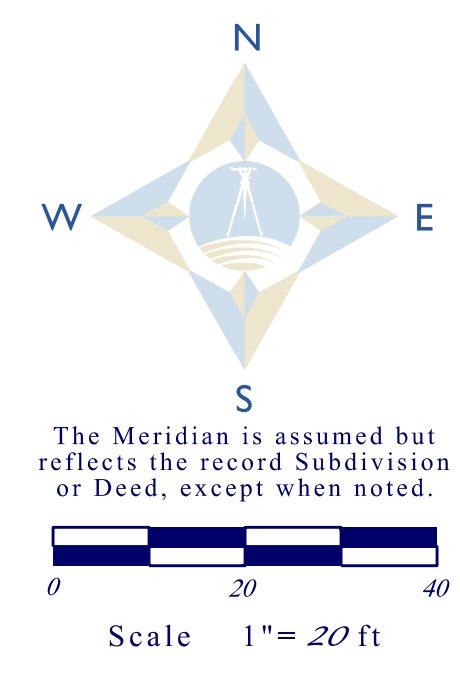
Signature Contract Purchaser: _____
Printed Name: _____

Date: _____
Title: _____

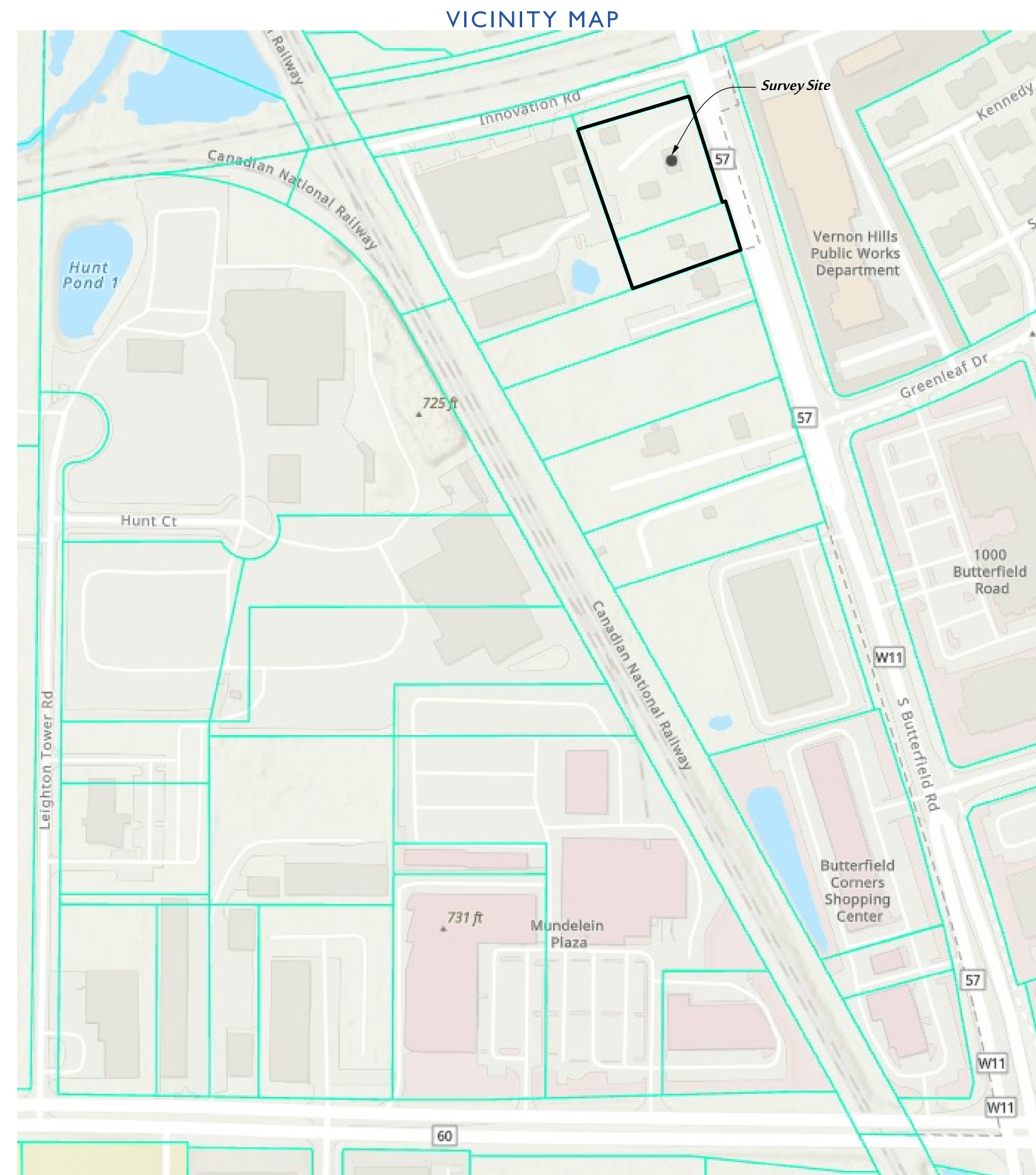
The undersigned states under oath that he/she/they are the **Lessee** of record of the realty described in this Planning and Zoning Commission Application, and the statements that he/she/they made in the foregoing application are true in substance and in fact.

Signature Lessee: _____
Printed Name: _____

Date: _____
Title: _____



- ABBREVIATION LEGEND**
- B - Basin
 - D - Drain
 - E - Eel
 - W - Well
 - H.W. - Horizontal
 - N.E. - Northeast
 - S.E. - Southeast
 - S.W. - Southwest
 - P.O.B. - Point of Beginning
 - D.O.W. - Deed of Way
 - Dec. - Document
 - Rec. - Recorded as
 - Rev. - Revisited
 - T.F. - Top of Foundation
 - Inv. - Invert
 - PVC - Polyvinyl Chloride
 - OSP - Orange Peel Pipe
 - M.P. - Minimum
 - M.S. - Maximum



Plat of Survey

Parcel 1: That part of the North 1/2 of the South 1/2 of Section 32, Township 44 North, Range 11 East of the Third Principal Meridian, described as follows: Beginning at the intersection of the Southern Right of Way line of the Elgin, Joliet and Eastern Railway and the centerline of the Butterfield Road (so called) said point of beginning being South 17 degrees 55 minutes East 571.8 feet from a point on the North line of and 1004.9 feet East from the Northwest corner of said North 1/2 of the South 1/2 of Section 32; thence South 17 degrees 41 minutes East along the centerline of said Butterfield Road 302.8 feet; thence South 22 degrees 5 minutes West 287.7 feet; thence North 17 degrees 41 minutes West parallel to the centerline of said Butterfield Road 308 feet, more or less, to the Southern Right of Way line of the said Elgin, Joliet and Eastern Railway; thence Easterly along said Southern Right of Way line of the Elgin, Joliet and Eastern Railway, to the Place of Beginning, except the West 23.6 feet thereof, and except the North 75 feet thereof; and also except those parts Dedicated for Public Road purposes by Document 924540 and Document 3913708, in Lake County, Illinois.

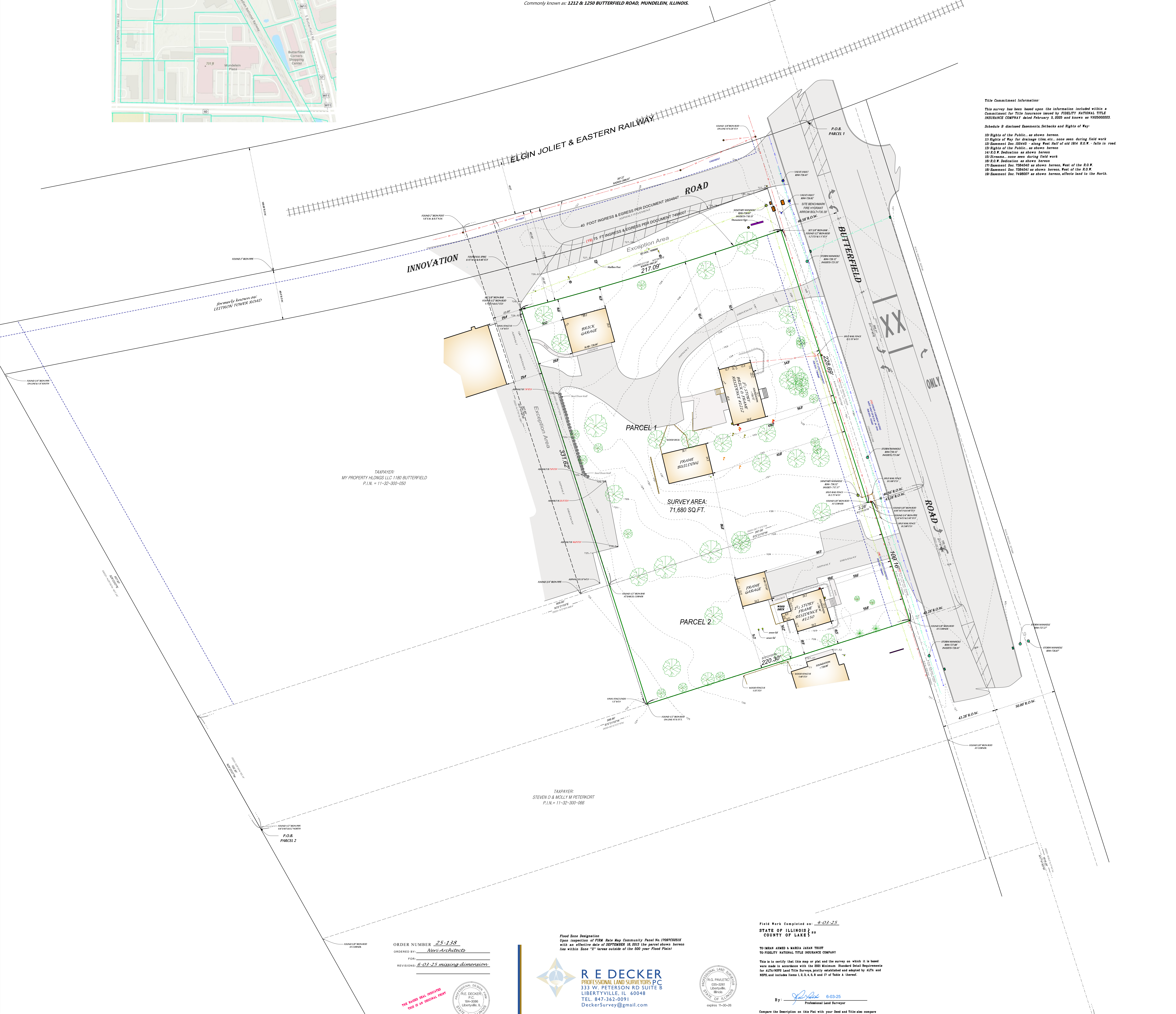
Parcel 2: The Easterly 264.10 feet of the following described parcel: that part of the Southwest Quarter of Section 32, Township 44 North, Range 11 East of the Third Principal Meridian, described as follows: Beginning on the South line of and 1,962.5 feet East from the Southwest corner of said Section 32 (said point being the intersection of South line of said Southwest 1/4 and the centerline of Butterfield Road); thence North 17 degrees 41 minutes West, along center of said Butterfield Road 1,818.5 feet; thence South 72 degrees 19 minutes West, 567.8 feet to the Eastern line of railroad and also Southwest corner and Point of Beginning of premises herein intended to be described; thence North 29 degrees 26 minutes West along said Eastern line of railroad, 102.14 to the Southwest corner of a tract of land conveyed to Robert A. Cooper and Helen Mae Cooper, his wife, by Deed dated November 21, 1984, and recorded December 18, 1984 as Document 407432; thence North 72 degrees 5 minutes East along the Southern line of said premises, 638.6 feet to the center of said Butterfield Road; thence South 17 degrees 41 minutes East, 100 feet; thence South 72 degrees 19 minutes West, 567.8 feet to the Point of Beginning, except those parts Dedicated for Public Road purposes by Document 924540 and Document 376606, in Lake County, Illinois.

Commonly known as: 1212 & 1250 BUTTERFIELD ROAD, MUNDELEIN, ILLINOIS.

Title Commitment Information:
 This survey has been based upon the information included within a Commitment for Title Insurance issued by FIDELITY NATIONAL TITLE INSURANCE COMPANY dated February 6, 2025 and known as 1905000222.

Schedule B disclosed Encumbrances, Easements and Rights of Way:

- (I) Rights of the Public, as shown hereon.
- (II) Rights of Way for drainage lines, etc., none seen during field work.
- (III) Easement Doc 155445 - along West Half of old 1914 R.O.W. - falls in road.
- (IV) Rights of the Public, as shown hereon.
- (V) R.O.W. Dedication as shown hereon.
- (VI) Easement, none seen during field work.
- (VII) R.O.W. Dedication as shown hereon.
- (VIII) Easement Doc 795440 as shown hereon, West of the R.O.W.
- (IX) Easement Doc 795404 as shown hereon, West of the R.O.W.
- (X) Easement Doc 749007 as shown hereon, affects land to the North.



TAXPAYER: MY PROPERTY HOLDINGS LLC 1180 BUTTERFIELD P.I.N. = 11-32-300-450

TAXPAYER: STEVEN D & MOLLY M PETERCHOT P.I.N. = 11-32-300-166

ORDER NUMBER: 25-138
 ORDERED BY: Neri Architects
 FOR: _____
 REVISIONS: 6-03-25 missing dimensions

Flood Zone Designation
 Upon inspection of FEMA Rate Map Community Panel No. 1709920020X
 with an effective date of SEPTEMBER 18, 2015 (the parcel shown hereon lies within Zone "X" (areas outside of the 500 year Flood Plain))

R E DECKER
 PROFESSIONAL LAND SURVEYORS PC
 333 W. PETERSON RD SUITE B
 LIBERTYVILLE, IL 60048
 TEL: 847-362-0091
 DeckerSurvey@gmail.com

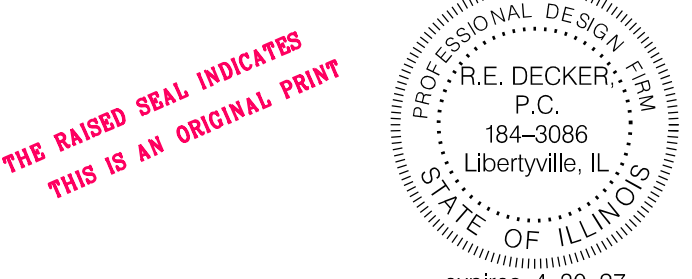
Field Work Completed on: 6-03-25
STATE OF ILLINOIS }
COUNTY OF LAKE } 25

TO: SHAWN JAMES & MARLA JAMES TRUST
TO: FIDELITY NATIONAL TITLE INSURANCE COMPANY

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, as amended and adopted by ALTA and NSPS, and include Items 1, 2, 3, 4, 5, 6 and 17 of Table A thereof.

By: [Signature] 6-03-25
Professional Land Surveyor

Compare the Description on this Plat with your Deed and Title also compare all stakes to this Plat before building by them, and report any differences at once. Dimensions are shown in feet and decimal parts thereof.



PRELIMINARY PLAT OF

1212-1250 BUTTERFIELD ROAD SUBDIVISION

of
part of the Southwest Quarter of Section 32, Township 44 North,
Range 11, East of the Third Principal Meridian, in Lake County, Illinois.

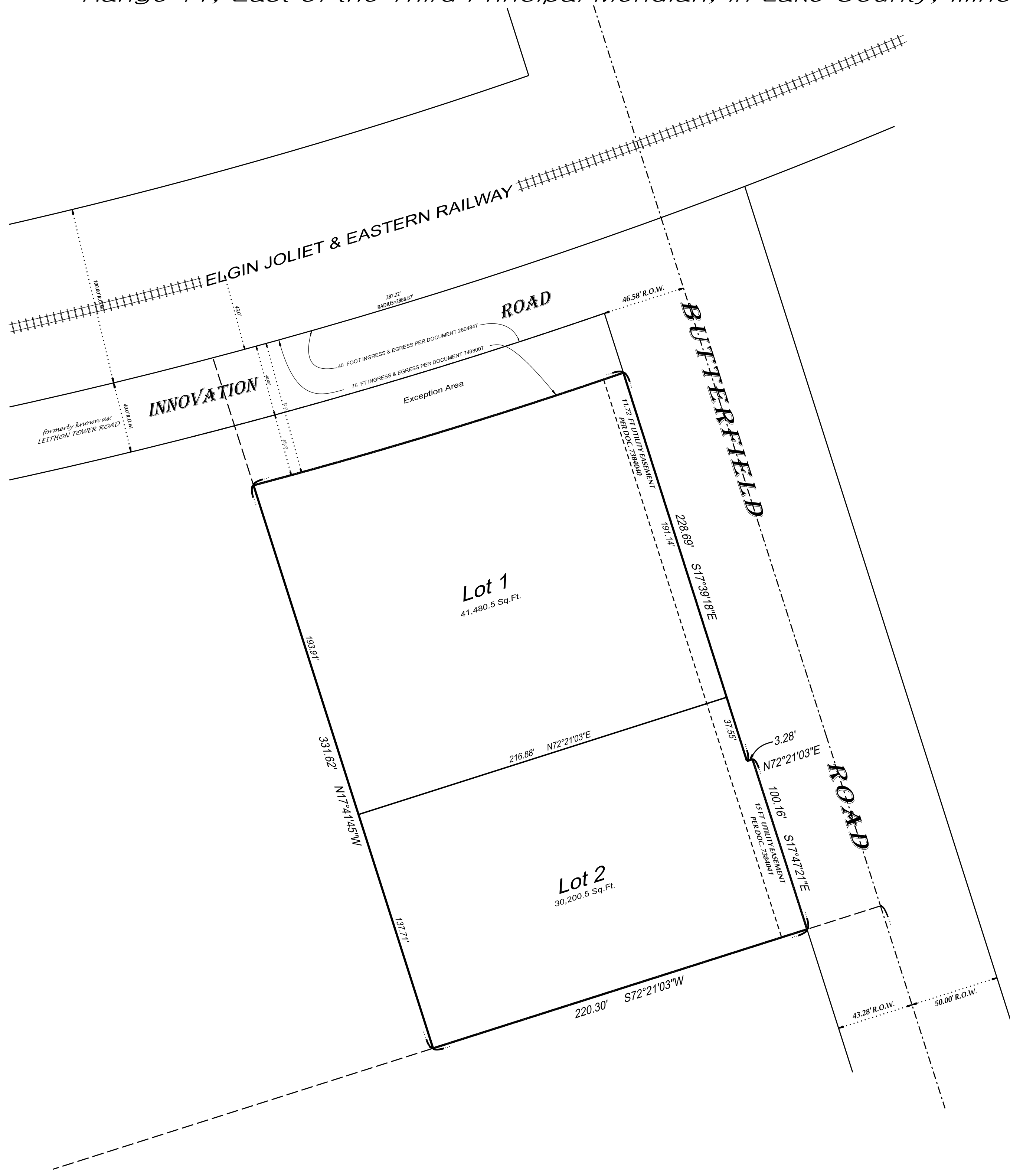
Space Reserved for Recorder



The Meridian is assumed but reflects the record Subdivision or Deed, except when noted.



Scale: 1" = 40 ft.



An easement for serving the subdivision and other property with electric and communication service is hereby reserved for and granted to

Commonwealth Edison Company and SBC, Grantees,

their respective licensees, successors, and assigns, jointly and severally, to construct, operate, repair, maintain, modify, reconstruct, replace, supplement, relocate and remove, from time to time, poles, guys, anchors, wires, cables, conduits, manholes, transformers, pedestals, equipment cabinets or other facilities used in connection with overhead and underground transmission and distribution of electricity, communications, sounds and signals in, over, under, across, along and upon the surface of the property shown within the dashed or dotted lines (or similar designation) on the plat and marked "Easement", "Utility Easement", "Public Utility Easement", "P.U.E." (or similar designation), the property designated in the Declaration of Condominium and/or on this plat as "Common Elements", and the property designated on the plat as "common area or areas", and the property designated on the plat for streets and alleys, whether public or private, together with the rights to install required service connections over or under the surface of each lot and common area or areas to serve improvements thereon, or on adjacent lots, and common area or areas, the right to cut, trim or remove trees, bushes, roots and saplings and to clear obstructions from the surface and subsurface as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. Obstructions shall not be placed over Grantee's facilities or in, upon or over the property within the dashed or dotted lines (or similar designation) marked "Easement", "Utility Easement", "Public Utility Easement", "P.U.E." (or similar designation) without the prior written consent of Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered in a manner so as to interfere with the proper operation and maintenance thereof.

The term "Common Elements" shall have the meaning set forth for such term in the "Condominium Property Act", Chapter 765 ILCS 605/2, as amended from time to time.

The term "common area or areas" is defined as a lot, parcel or area of real property, the beneficial use and enjoyment of which is reserved in whole or as an apportionment to separately owned lots, parcels or areas within the planned development, even though such be otherwise designated on the plat by terms such as "outlots", "common elements", "open space", "open area", "common ground", "parking", and "common area". The term "common area or areas", and "Common Elements" include real property surfaced with interior driveways and walkways, but excludes real property physically occupied by a building, Service Business District or structures such as a pool, retention pond or mechanical equipment.

Relocation of facilities will be done by Grantees at cost of the Grantor/Lot Owner, upon written request.

State of Illinois)
County of Lake)

This is to certify that I, Richard G. Pavletic, Illinois Professional Land Surveyor No. 3261 has surveyed and subdivided the property described in the legal description (on page 2) and as shown by the annexed plat which is a correct representation of said survey and subdivision. All distances are shown in feet and decimals thereof and corrected to the standard temperature.

Upon inspection of FIRM Rate Map Community Panel No. 17097C0251-K with an effective date of September 18, 2013 the subdivision shown hereon lies within a Zone "X" Area outside of the 500 year Flood Plain.

I further certify that this subdivision lies within the corporate limits of the Village of Mundelein which has adopted a City Plan and is exercising the Special Powers authorized by Division 12 of Article 11 of the Illinois Municipal Code.

Given under my hand and seal at Libertyville, Illinois this ___ day of _____, A.D. 20__.

Signed: _____
Professional Land Surveyor No. 3261

The person listed in the following note is hereby granted permission to record this plat on behalf of Richard G. Pavletic, Illinois Professional Land Surveyor.

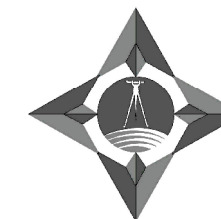
Signed: _____
Illinois Professional Land Surveyor No. 035-3261

This plat submitted for recording by and returned to once recorded:

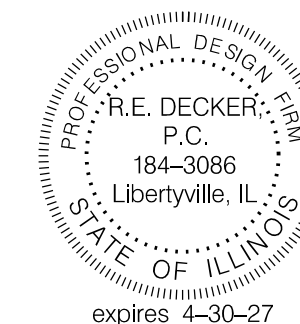
Name: _____
Business: Village of Mundelein Send Tax Bill to: _____
Address: 300 Plaza Circle
Mundelein, IL 60060

Prepared for:
Neri Architects
Michi Mho
222 S. Prospect Ave. 3rd Floor
Park Ridge, IL 60068

Order Number: 25-361-P
Field Work Completed on: 4-03-25
Date: 8-04-25 issued for review
8-08-25 early comments



R E DECKER
PROFESSIONAL LAND SURVEYORS PC
114 E. COOK AVENUE
LIBERTYVILLE, IL 60048
TEL. 847-362-0091
DECKERSURVEY@GMAIL.COM



PRELIMINARY PLAT OF

1212-1250 BUTTERFIELD ROAD SUBDIVISION

Space Reserved for Recorder

Parcel 1: That part of the North 1/2 of the South 1/2 of Section 32, Township 44 North, Range 11 East of the Third Principal Meridian, described as follows: Beginning at the intersection of the Southerly Right of Way line of the Elgin, Joliet and Eastern Railway and the centerline of the Butterfield Road (so called) said point of beginning being South 17 degrees 55 minutes East 571.8 feet from a point on the North line of and 1004.9 feet East from the Northwest corner of said North 1/2 of the South 1/2 of Section 32; thence South 17 degrees 41 minutes East along the centerline of said Butterfield Road, 302.8 feet; thence South 72 degrees 5 minutes West 287.7 feet; thence North 17 degrees 41 minutes West parallel to the centerline of said Butterfield Road, 308 feet, more or less, to the Southerly Right of Way line of the said Elgin, Joliet and Eastern Railway; thence Easterly along said Southerly Right of Way line of the Elgin, Joliet and Eastern Railway, to the Place of Beginning, except the West 23.6 feet thereof, and except the North 75 feet thereof, and also except those parts Dedicated for Public Road purposes by Document 924539 and Document 3913708, in Lake County, Illinois.

Parcel 2: The Easterly 264.10 feet of the following described parcel: that part of the Southwest Quarter of Section 32, Township 44 North, Range 11 East of the Third Principal Meridian, described as follows: Beginning on the South line of and 1,982.5 feet East from the Southwest corner of said Section 32 (said point being the intersection of South line of said Southwest 1/4 and the centerline of Butterfield Road); thence North 17 degrees 41 minutes West, along center of said Butterfield Road, 1,818.5 feet; thence South 72 degrees 19 minutes West, 567.8 feet to the Easterly line of Railroad and also Southwest corner and Point of Beginning of premises herein intended to be described; thence North 29 degrees 26 minutes West along said Easterly line of railroad, 102.14 to the Southwest corner of a tract of land conveyed to Robert A. Cooper and Helen Mae Cooper, his wife, by Deed dated November 21, 1934, and recorded December 18, 1934 as Document 407432; thence North 72 degrees 5 minutes East along the Southerly line of said premises, 608.6 feet to the center of said Butterfield Road; thence South 17 degrees 41 minutes East, 100 feet; thence South 72 degrees 19 minutes West, 567.8 feet to the Point of Beginning, except those parts Dedicated for Public Road purposes by Document 924540 and Document 3766696, in Lake County, Illinois.

State of Illinois)
County of Lake)

This is to certify that IMRAN AHMED and NARGIA JAHAN TRUST are the owners of the land described in the annexed plat, and has caused the same to be surveyed and subdivided, as indicated thereon, for the uses and purposes therein set forth, and does hereby acknowledge and adopt the same under the style and title thereon indicated.

The undersigned hereby dedicates for public use the land shown on this plat for throughfares, streets, alleys and public services; and hereby reserves for the public or applicable governmental body, as the case may be, all non-utility easements, to the extent indicated on this plat; and also hereby reserves to the Village of Mundelein and the utility companies operating therein all utility easement rights specified herein.

Dated this ___ day of _____, A.D. 20__.

Signed: _____

Signed: _____

State of Illinois)
County of Lake)

I, _____, a Notary Public in and for said County in the State aforesaid, do hereby certify that IMRAN AHMED and NARGIA JAHAN TRUST are personally known to me to be the same persons whose names are subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that they signed and delivered said instrument as their own free and voluntary act for the uses and purposes therein set forth.

Given under my hand and Notarial Seal this ___ day of _____, A.D. 20__.

Signed: _____
Notary Public

State of Illinois)
County of Lake)

This is to certify that IMRAN AHMED, an owner of the property described as 1212-1250 BUTTERFIELD ROAD SUBDIVISION and legally described on the plat of the same name, has determined to the best of his knowledge the school district in which each of the following lots lies.

Table with 3 columns: Lot, Elementary, High School. Row 1: 1, 73, 120. Row 2: 2, 73, 120.

Signed: _____

State of Illinois)
County of Lake)

This plat is hereby approved by the County Engineer of Lake County pursuant to Chapter 765, Act 205, Section 2 of the Illinois Compiled Statutes, as amended, as to roadway access to County Highway 57, also known as BUTTERFIELD ROAD.

Direct access either to or from County Highway shall be restricted as shown on this plat and shall be subject to the Lake County Highway access regulation ordinance which requires, in part, that application be made and an access permit be obtained from the County Engineer of Lake County prior to any access installation.

Dated this ___ day of _____, A.D. 20__.

Signed: _____
County Engineer

State of Illinois)
County of Lake)

Approved by the Mayor and the Board of Trustees of the Village of Mundelein, Lake County, Illinois this ___ day of _____, A.D. 20__.

Signed: _____ Name: _____
Mayor

Attest: _____ Name: _____
Village Clerk

State of Illinois)
County of Lake)

Approved by the Planning & Zoning Commission of the Village of Mundelein, Lake County, Illinois at a meeting held the ___ day of _____, A.D. 20__.

Dated this ___ day of _____, A.D. 20__.

Signed: _____ Name: _____
Chairman

Attest: _____ Name: _____
Recording Secretary

State of Illinois)
County of Lake)

I, _____, Finance Director for the Village of Mundelein do hereby certify that there are no delinquent or unpaid current or forfeited special assessments or any deferred installments thereof that have been apportioned against the tract of land in the annexed plat.

Dated this ___ day of _____, A.D. 20__.

Signed: _____
Finance Director

State of Illinois)
County of Lake)

I, _____, Engineer for the Village of Mundelein, do hereby certify that all matters pertaining to street requirements as prescribed in the regulations governing plats adopted by the Village Board of Trustees of the Village of Mundelein, Lake County, Illinois, insofar as they pertain to the subject Plat, have been complied with.

Dated this ___ day of _____, A.D. 20__.

Signed: _____
Village Engineer

State of Illinois)
County of Lake)

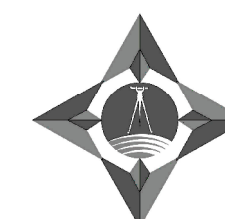
I, _____, County Clerk of Lake County, Illinois, do hereby certify that there are no delinquent general taxes, unpaid current general taxes, delinquent special assessments or unpaid current special assessments against any of the land included described property. I further certify that I have recieved all statutory fees in connection with the plat.

Given under my hand and seal of the County of Lake at Waukegan, Illinois, this ___ day of _____, A.D. 20__.

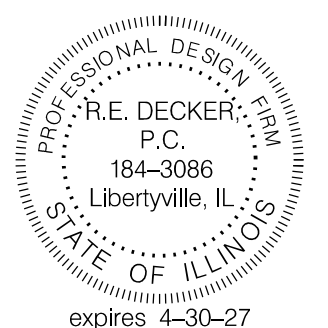
Signed: _____
County Clerk

Prepared for:
Neri Architects
Alcho Mho
222 S. Prospect Ave. 3rd Floor
Park Ridge, IL 60068

Order Number: 25-361-P
Field Work Completed on: 4-03-25
Date: 8-04-25 issued for review
8-08-25 early comments

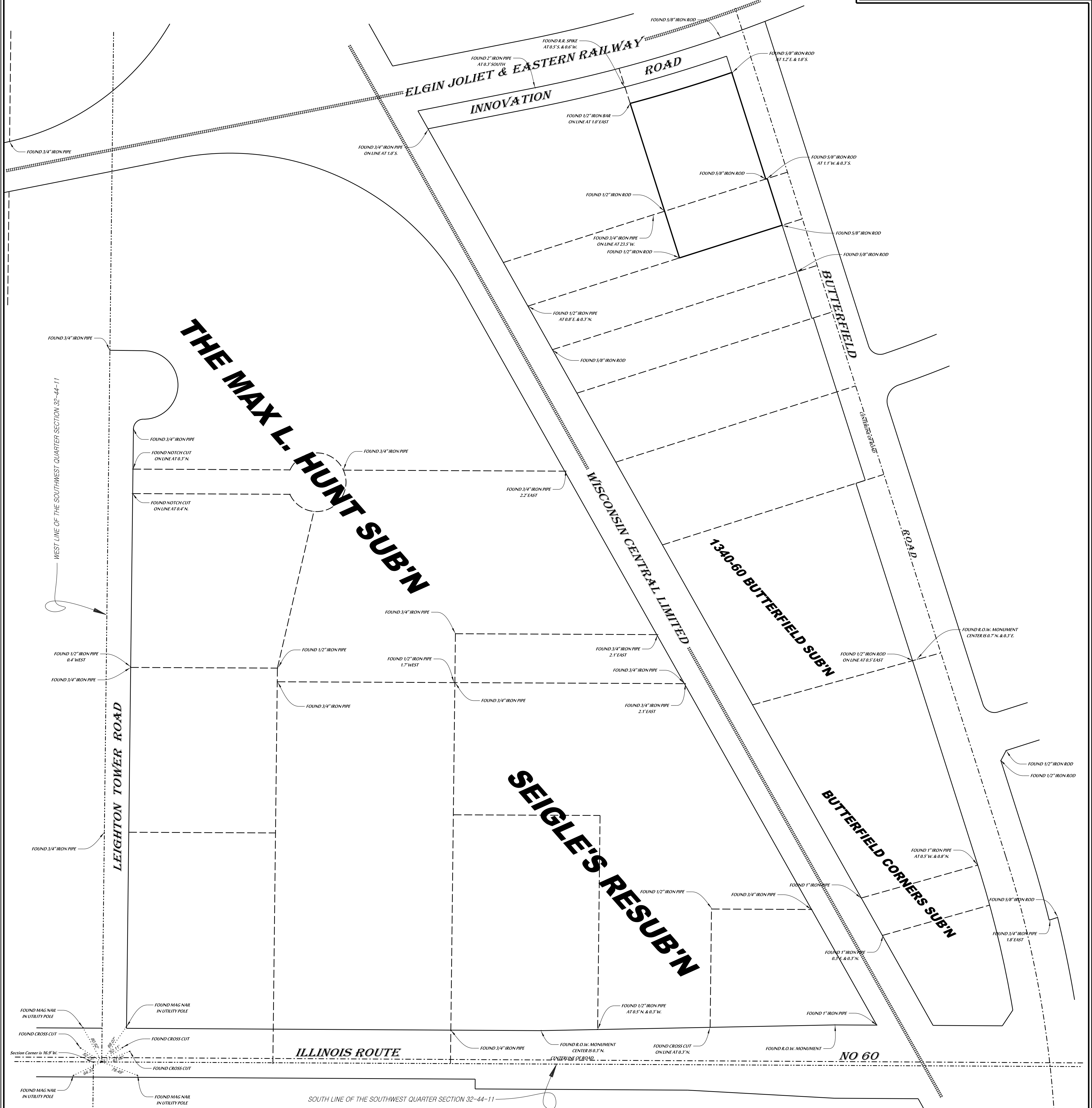


R E DECKER
PROFESSIONAL LAND SURVEYORS PC
114 E. COOK AVENUE
LIBERTYVILLE, IL 60048
TEL. 847-362-0091
DECKERSURVEY@GMAIL.COM



**PRELIMINARY PLAT OF
1212-1250 BUTTERFIELD ROAD SUBDIVISION**

Space Reserved for Recorder



<p>Prepared for: Neri Architects Michi Mho 222 S. Prospect Ave. 3rd Floor Park Ridge, IL 60068</p>	<p>Order Number: 25-361-P Field Work Completed on: 4-03-25 Date: 8-04-25 issued for review 8-08-25 early comments</p>		<p>R E DECKER PROFESSIONAL LAND SURVEYORS PC 114 E. COOK AVENUE LIBERTYVILLE, IL 60048 TEL. 847-362-0091 DECKERSURVEY@GMAIL.COM</p>	
---	--	--	--	--

FINAL PLAT OF 1212-1250 BUTTERFIELD ROAD SUBDIVISION

of
part of the Southwest Quarter of Section 32, Township 44 North,
Range 11, East of the Third Principal Meridian, in Lake County, Illinois.

Space Reserved for Recorder



The Meridian is assumed but reflects the record Subdivision or Deed, except when noted.

Scale: 1" = 40 ft.

An easement for serving the subdivision and other property with electric and communication service is hereby reserved for and granted to

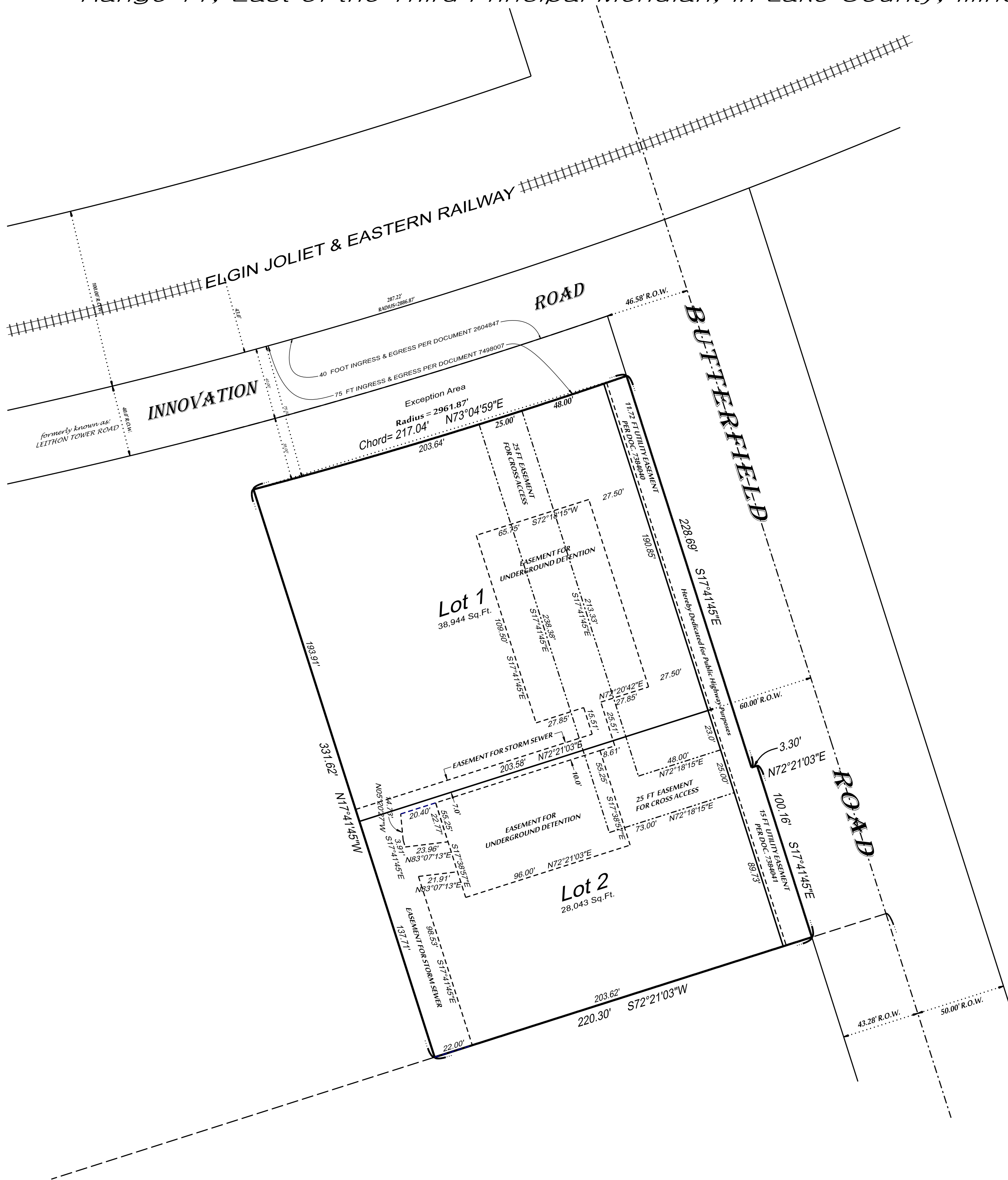
Commonwealth Edison Company and SBC, Grantees,

their respective licensees, successors, and assigns, jointly and severally, to construct, operate, repair, maintain, modify, reconstruct, replace, supplement, relocate and remove, from time to time, poles, guys, anchors, wires, cables, conduits, manholes, transformers, pedestals, equipment cabinets or other facilities used in connection with overhead and underground transmission and distribution of electricity, communications, sounds and signals in, over, under, across, along and upon the surface of the property shown within the dashed or dotted lines (or similar designation) on the plat and marked "Easement", "Utility Easement", "Public Utility Easement", "P.U.E." (or similar designation), the property designated in the Declaration of Condominium and/or on this plat as "Common Elements", and the property designated on the plat as "common area or areas", and the property designated on the plat for streets and alleys, whether public or private, together with the rights to install required service connections over or under the surface of each lot and common area or areas to serve improvements thereon, or on adjacent lots, and common area or areas, the right to cut, trim or remove trees, bushes, roots and saplings and to clear obstructions from the surface and subsurface as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. Obstructions shall not be placed over Grantee's facilities or in, upon or over the property within the dashed or dotted lines (or similar designation) marked "Easement", "Utility Easement", "Public Utility Easement", "P.U.E." (or similar designation) without the prior written consent of Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered in a manner so as to interfere with the proper operation and maintenance thereof.

The term "Common Elements" shall have the meaning set forth for such term in the "Condominium Property Act", Chapter 765 ILCS 605/2, as amended from time to time.

The term "common area or areas" is defined as a lot, parcel or area of real property, the beneficial use and enjoyment of which is reserved in whole or as an apportionment to separately owned lots, parcels or areas within the planned development, even though such be otherwise designated on the plat by terms such as "outlots", "common elements", "open space", "open area", "common ground", "parking", and "common area". The term "common area or areas", and "Common Elements" include real property surfaced with interior driveways and walkways, but excludes real property physically occupied by a building, Service Business District or structures such as a pool, retention pond or mechanical equipment.

Relocation of facilities will be done by Grantees at cost of the Grantor/ Lot Owner, upon written request.



State of Illinois)
County of Lake)

This is to certify that I, Richard G. Pavletic, Illinois Professional Land Surveyor No. 3261 has surveyed and subdivided the property described in the legal description (on page 2) and as shown by the annexed plat which is a correct representation of said survey and subdivision. All distances are shown in feet and decimals thereof and corrected to the standard temperature.

Upon inspection of FIRM Rate Map Community Panel No. 17097C0251-K with an effective date of September 18, 2013 the subdivision shown hereon lies within a Zone "X" Area outside of the 500 year Flood Plain.

I further certify that this subdivision lies within the corporate limits of the Village of Mundelein which has adopted a City Plan and is exercising the Special Powers authorized by Division 12 of Article 11 of the Illinois Municipal Code.

Given under my hand and seal at Libertyville, Illinois this ___ day of _____, A.D. 20__.

Signed: _____
Professional Land Surveyor No. 3261

The person listed in the following note is hereby granted permission to record this plat on behalf of Richard G. Pavletic, Illinois Professional Land Surveyor.

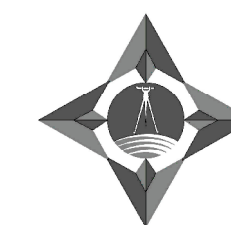
Signed: _____
Illinois Professional Land Surveyor No. 035-3261

This plat submitted for recording by and returned to once recorded:

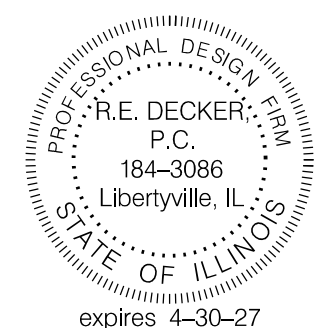
Name: _____
Business: Village of Mundelein Send Tax Bill to: _____
Address: 300 Plaza Circle
Mundelein, IL 60060

Prepared for:
Neri Architects
Michi Mho
222 S. Prospect Ave. 3rd Floor
Park Ridge, IL 60068

Order Number: 25-361-P
Field Work Completed on: 4-03-25
Date: 8-04-25 issued for review
8-08-25 early comments
10-24-25 LCDOT R.O.W.
10-29-25 EASEMENTS ADDED
12-2-25 FOR DETENTION



R E DECKER
PROFESSIONAL LAND SURVEYORS PC
114 E. COOK AVENUE
LIBERTYVILLE, IL 60048
TEL. 847-362-0091
DECKERSURVEY@GMAIL.COM



FINAL PLAT OF

1212-1250 BUTTERFIELD ROAD SUBDIVISION

Space Reserved for Recorder

Parcel 1: That part of the North 1/2 of the South 1/2 of Section 32, Township 44 North, Range 11 East of the Third Principal Meridian, described as follows: Beginning at the intersection of the Southerly Right of Way line of the Elgin, Joliet and Eastern Railway and the centerline of the Butterfield Road (so called) said point of beginning being South 17 degrees 55 minutes East 571.8 feet from a point on the North line of and 1004.9 feet East from the Northwest corner of said North 1/2 of the South 1/2 of Section 32; thence South 17 degrees 41 minutes East along the centerline of said Butterfield Road, 302.8 feet; thence South 72 degrees 5 minutes West 287.7 feet; thence North 17 degrees 41 minutes West parallel to the centerline of said Butterfield Road, 308 feet, more or less, to the Southerly Right of Way line of the said Elgin, Joliet and Eastern Railway; thence Easterly along said Southerly Right of Way line of the Elgin, Joliet and Eastern Railway, to the Place of Beginning, except the West 23.6 feet thereof, and except the North 75 feet thereof, and also except those parts Dedicated for Public Road purposes by Document 924539 and Document 3913708, in Lake County, Illinois.

Parcel 2: The Easterly 264.10 feet of the following described parcel: that part of the Southwest Quarter of Section 32, Township 44 North, Range 11 East of the Third Principal Meridian, described as follows: Beginning on the South line of and 1,982.5 feet East from the Southwest corner of said Section 32 (said point being the intersection of South line of said Southwest 1/4 and the centerline of Butterfield Road); thence North 17 degrees 41 minutes West, along center of said Butterfield Road, 1,818.5 feet; thence South 72 degrees 19 minutes West, 567.8 feet to the Easterly line of Railroad and also Southwest corner and Point of Beginning of premises herein intended to be described; thence North 29 degrees 26 minutes West along said Easterly line of railroad, 102.14 to the Southwest corner of a tract of land conveyed to Robert A. Cooper and Helen Mae Cooper, his wife, by Deed dated November 21, 1934, and recorded December 18, 1934 as Document 407432; thence North 72 degrees 5 minutes East along the Southerly line of said premises, 608.6 feet to the center of said Butterfield Road; thence South 17 degrees 41 minutes East, 100 feet; thence South 72 degrees 19 minutes West, 567.8 feet to the Point of Beginning, except those parts Dedicated for Public Road purposes by Document 924540 and Document 3766696, in Lake County, Illinois.

State of Illinois)
County of Lake)

This is to certify that IMRAN AHMED and NARGIA JAHAN TRUST are the owners of the land described in the annexed plat, and has caused the same to be surveyed and subdivided, as indicated thereon, for the uses and purposes therein set forth, and does hereby acknowledge and adopt the same under the style and title thereon indicated.

The undersigned hereby dedicates for public use the land shown on this plat for throughfares, streets, alleys and public services; and hereby reserves for the public or applicable governmental body, as the case may be, all non-utility easements, to the extent indicated on this plat; and also hereby reserves to the Village of Mundelein and the utility companies operating therein all utility easement rights specified herein.

Dated this ___ day of _____, A.D. 20__.

Signed: _____

Signed: _____

State of Illinois)
County of Lake)

I, _____, a Notary Public in and for said County in the State aforesaid, do hereby certify that IMRAN AHMED and NARGIA JAHAN TRUST are personally known to me to be the same persons whose names are subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that they signed and delivered said instrument as their own free and voluntary act for the uses and purposes therein set forth.

Given under my hand and Notarial Seal this ___ day of _____, A.D. 20__.

Signed: _____
Notary Public

State of Illinois)
County of Lake)

This is to certify that IMRAN AHMED, an owner of the property described as 1212-1250 BUTTERFIELD ROAD SUBDIVISION and legally described on the plat of the same name, has determined to the best of his knowledge the school district in which each of the following lots lies.

Lot	School District	
	Elementary	High School
1	73	120
2	73	120

Signed: _____

State of Illinois)
County of Lake)

This plat is hereby approved by the County Engineer of Lake County pursuant to Chapter 765, Act 205, Section 2 of the Illinois Compiled Statutes, as amended, as to roadway access to County Highway 57, also known as BUTTERFIELD ROAD.

Direct access either to or from County Highway shall be restricted as shown on this plat and shall be subject to the Lake County Highway access regulation ordinance which requires, in part, that application be made and an access permit be obtained from the County Engineer of Lake County prior to any access installation.

Dated this ___ day of _____, A.D. 20__.

Signed: _____
County Engineer

State of Illinois)
County of Lake)

Approved by the Mayor and the Board of Trustees of the Village of Mundelein, Lake County, Illinois this ___ day of _____, A.D. 20__.

Signed: _____ Name: _____
Mayor

Attest: _____ Name: _____
Village Clerk

State of Illinois)
County of Lake)

Approved by the Planning & Zoning Commission of the Village of Mundelein, Lake County, Illinois at a meeting held the ___ day of _____, A.D. 20__.

Dated this ___ day of _____, A.D. 20__.

Signed: _____ Name: _____
Chairman

Attest: _____ Name: _____
Recording Secretary

State of Illinois)
County of Lake)

I, _____, Finance Director for the Village of Mundelein do hereby certify that there are no delinquent or unpaid current or forfeited special assessments or any deferred installments thereof that have been apportioned against the tract of land in the annexed plat.

Dated this ___ day of _____, A.D. 20__.

Signed: _____
Finance Director

State of Illinois)
County of Lake)

I, _____, Engineer for the Village of Mundelein, do hereby certify that all matters pertaining to street requirements as prescribed in the regulations governing plats adopted by the Village Board of Trustees of the Village of Mundelein, Lake County, Illinois, insofar as they pertain to the subject Plat, have been complied with.

Dated this ___ day of _____, A.D. 20__.

Signed: _____
Village Engineer

State of Illinois)
County of Lake)

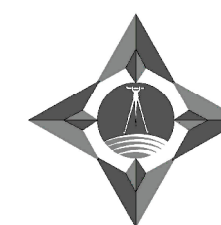
I, _____, County Clerk of Lake County, Illinois, do hereby certify that there are no delinquent general taxes, unpaid current general taxes, delinquent special assessments or unpaid current special assessments against any of the land included described property. I further certify that I have received all statutory fees in connection with the plat.

Given under my hand and seal of the County of Lake at Waukegan, Illinois, this ___ day of _____, A.D. 20__.

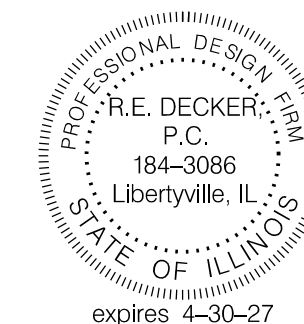
Signed: _____
County Clerk

Prepared for:
Neri Architects
Nicola Mito
222 S. Prospect Ave. 3rd Floor
Park Ridge, IL 60068

Order Number: 25-361-P
Field Work Completed on: 4-03-25
Date: 8-04-25 issued for review
8-08-25 early comments

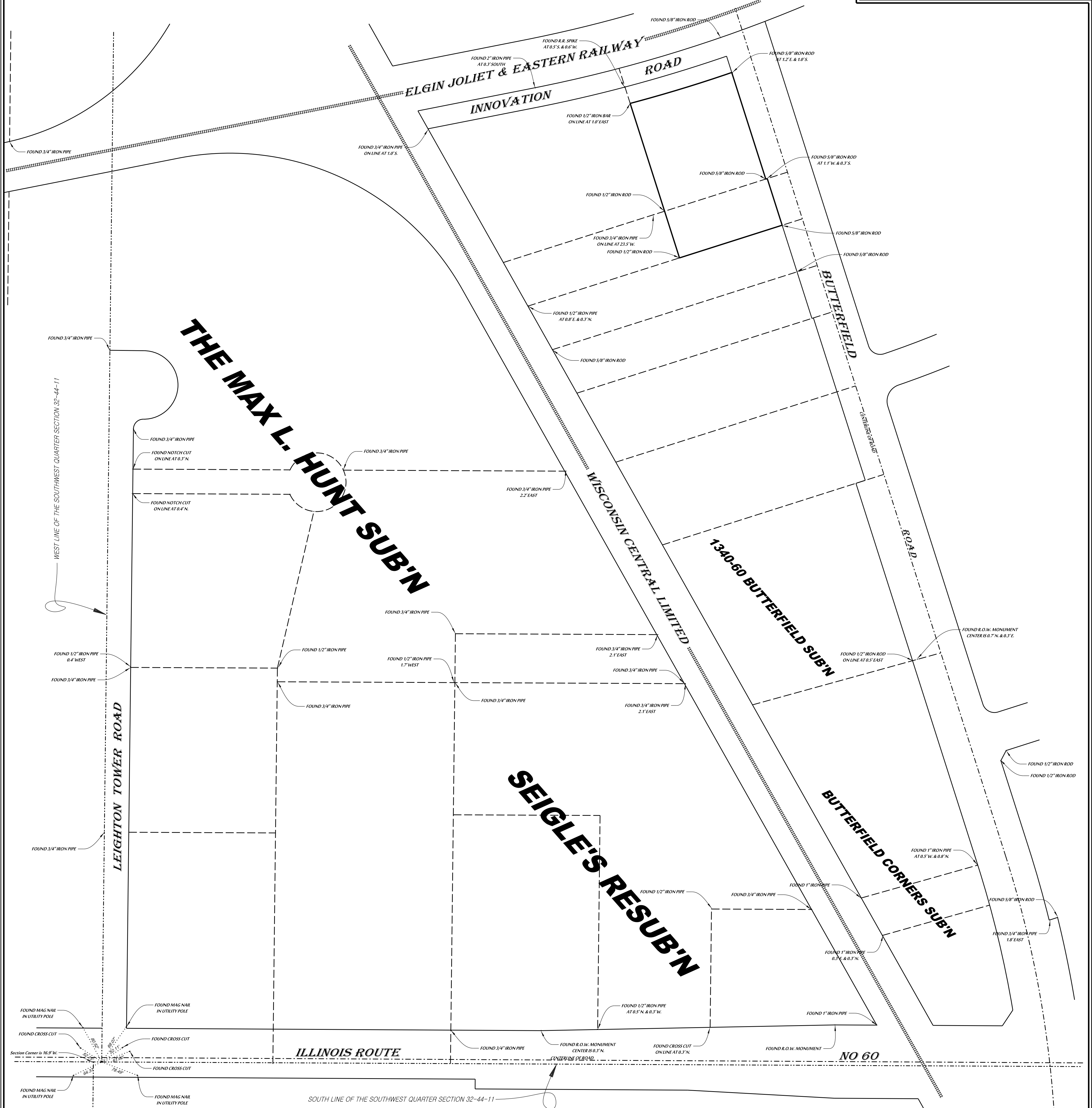


R E DECKER
PROFESSIONAL LAND SURVEYORS PC
114 E. COOK AVENUE
LIBERTYVILLE, IL 60048
TEL. 847-362-0091
DECKERSURVEY@GMAIL.COM



FINAL PLAT OF 1212-1250 BUTTERFIELD ROAD SUBDIVISION

Space Reserved for Recorder



<p>Prepared for:</p> <p style="text-align: center;"><i>Neri Architects</i> Michi Mho 222 S. Prospect Ave. 3rd Floor Park Ridge, IL 60068</p>	<p>Order Number: 25-361-P</p> <p>Field Work Completed on: 4-03-25 <i>Date: 8-04-25 issued for review</i> <i>8-08-25 early comments</i></p>		<p>R E DECKER PROFESSIONAL LAND SURVEYORS PC 114 E. COOK AVENUE LIBERTYVILLE, IL 60048 TEL. 847-362-0091 DECKERSURVEY@GMAIL.COM</p>	
---	--	--	--	--

To: Commission Members

From: Isabel Guadarrama, Senior Planner

For: Planning and Zoning Commission Meeting of February 4, 2026

Subject: Public Hearing - PZ2025-0031 - 1212 and 1250 S. Butterfield Road - Map Amendment and Variations

Attachments:

1. Location Map
2. Map Amendment Application
3. Sidewalk Variance Application
4. Photometrics Variance Application
5. 1250 S Butterfield - Site Plan and Building Renderings
6. 1212 S Butterfield - Site Plan and Building Renderings
7. 1212-1250 Butterfield Road - Civil Set Exhibit
8. Lighting Information

Background:

Michi Mho of Neri Architects, on behalf of the property owners Imran Ahmad and Nargis Jahan, is requesting approval of a map amendment and several variations to facilitate the development of a commercial strip and car wash on two parcels. Following approval of the Preliminary and Final Plat of Subdivision, the proposed construction of a commercial strip at 1250 S. Butterfield Road requires a map amendment to allow the proposed uses. In addition, the development requires variations related to access connections to the public right-of-way and lighting. The car wash development at 1212 S. Butterfield Road requires a lighting variation as well.

Prior to acquisition by the current owners, both properties contained nonconforming single-family residential uses within the M-1, General Manufacturing zoning district. The proposed redevelopment would replace these nonconforming uses with commercial uses that are consistent with and conforming to the respective zoning districts.

Map Amendment:

The subject property located at 1250 S. Butterfield Road is currently zoned M-1, General Manufacturing. Properties to the south include an animal hospital, self-storage facilities, and an existing commercial strip consisting of a variety of commercial uses, including personal service

establishments and restaurants. Approval of the requested map amendment would not constitute spot zoning, as it would extend the existing commercial corridor to the north and be compatible with the surrounding land uses.

The proposed commercial units are designed to accommodate general retail or service uses, with a drive-through restaurant proposed on the unit closest to the public right-of-way.

The property at 1212 S. Butterfield Road would remain M-1, General Manufacturing, where car wash uses are permitted by right.

Variation 1:

Section 20.32.040(A)(4) of the Zoning Ordinance requires that all buildings provide a public entrance from the sidewalk along the primary street frontage. While no public sidewalks currently exist along this segment of Butterfield Road, one of the intents of this regulation is to ensure that building entrances and façades are oriented toward the public right-of-way. Due to the rectangular shape and limited size of the subject property, strict compliance with this requirement would limit the functional use of the site. As a result, the proposed building is oriented toward the side of the lot to allow for more efficient land use while maintaining access and circulation.

Variation 2:

Section 20.52.040(A)(1) of the Zoning Ordinance requires that exterior lighting levels not exceed zero footcandles at any property line or public right-of-way. The purpose of this standard is to limit excessive lighting and prevent light spillover onto adjacent properties. It should be noted that this portion of Butterfield Road is currently not illuminated by Lake County. Street lighting is not present until Townline Road, approximately one-third of a mile to the south. The proposed lighting is designed to provide adequate site illumination for safe vehicular movement while remaining compatible with the surrounding area.

Comprehensive Plan:

The following policies from the Economic Development chapter of the Comprehensive Plan are generally applicable to the proposed project:

- Promote the appropriate mix and intensity of non-residential uses in the various districts throughout the Village.
- Promote the addition of new office and retail development in the Village, particularly in the commercial corridors and the downtown area, where it is supported by the market.
- Support and encourage an appropriate mix of retail, office, service commercial, and industrial activities to be organized by use and concentrated within or near areas of complementary uses.
- Encourage cross-access and shared parking areas between non-residential uses.
- Encourage the maximization of retail sales tax generating uses in all commercial corridors and centers.

Department Comments:

There are no outstanding comments at this time.

Public Comments:

There are no outstanding comments at this time.

Analysis:

The Village supports new development that is consistent with surrounding land uses and zoning objectives. In this case, staff does not object to the proposed uses, as the development would expand the existing commercial corridor and bring the subject properties into conformance with their respective zoning districts. No alternative development proposals for the properties have been submitted to the Village at this time.

The Community Development Department is currently evaluating potential updates to the Zoning Ordinance to better align with contemporary development practices. Through this review, staff has identified certain standards, including lighting regulations, that may be outdated. Industry practices for lighting design and measurement have evolved, and limited light spill beyond property lines may be appropriate in certain contexts to improve visibility and safety.

Given that this segment of Butterfield Road lacks street lighting and relies primarily on vehicle headlights for illumination, staff finds that allowing limited lighting at site entrances and exits may enhance safety for both site users and the surrounding area.

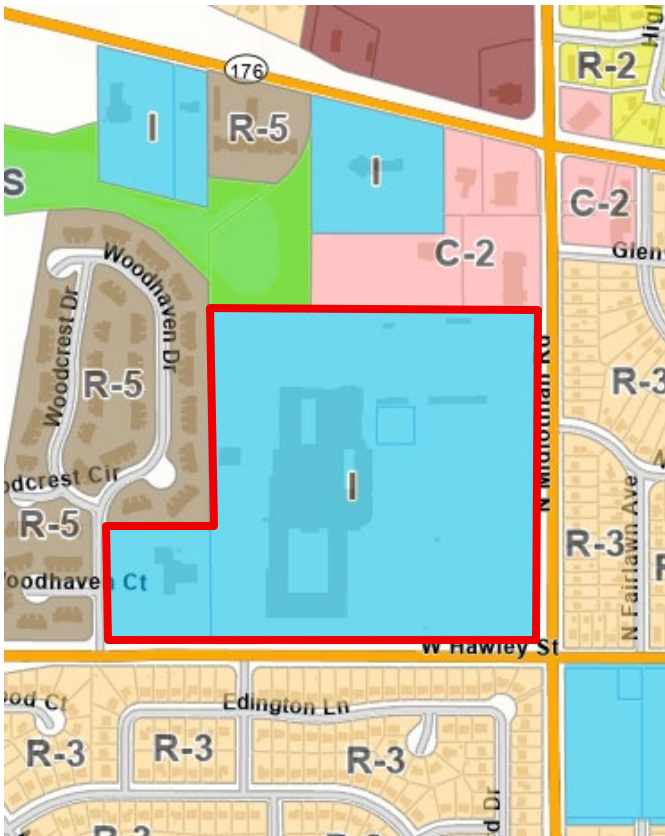
Recommendation:

Motion to recommend approval/denial of a map amendment to rezone the property located at 1250 S. Butterfield Road from M-1 General Manufacturing to C-2 General Commercial Zoning District.

Motion to recommend approval/denial of a variation to Section 20.32.040(A)(4) for the property located at 1250 S. Butterfield Road.

Motion to recommend approval/denial of a variation to Section 20.52.040(A)(1) for the properties located at 1212 and 1250 S. Butterfield Road.

Location Map: 1500 & 1350 W. Hawley Street



Legend:



Subject Property





TYPICAL PLANNING AND ZONING COMMISSION PROCESS

Meeting Schedule

The Planning and Zoning Commission consists of seven members who act as a recommending body to the Village Board. The Planning and Zoning Commission meets the first and third Wednesday of each month at the Village Hall, 300 Plaza Circle, Mundelein, Illinois. Meetings begin at 7:00 p.m.

Preliminary Conference

Prior to filling out this form you must first meet with a representative of Community Development to discuss the proposal and determine the necessary process for approval. To schedule a preliminary conference contact Community Development at (847) 949-3282.

Action by Planning and Zoning Commission

The Planning and Zoning Commission shall consider the proposed zoning amendment no more than 60 days of receipt of a complete application. If, in the Planning and Zoning Commission's judgment, the application does not contain sufficient information, the Commission may request additional information. In that event, the sixty (60) day period shall be suspended pending receipt of all requested information and/or the public hearing may be continued. Within sixty (60) days of the close of the public hearing, the Planning and Zoning Commission shall forward to the Village Board its recommendation.

Action by the Village Board

The Village Board shall consider the application within sixty (60) days of receiving the findings of fact and recommendation from the Planning and Zoning Commission. The Village Board may also refer the application back to the Planning and Zoning Commission for further consideration.

Limitations on Denials

No application for an amendment that has been denied by the Village Board shall be reconsidered for a period of one (1) year from that date of denial.

The initial submittal must contain:

- Completed Application – Pages 3-8
 (Write N/A where items do not apply)
- Current or accurate Plat of Survey or Preliminary Plat of Subdivision
 - a. (1) no larger than 11" x 17"
- Analysis or Report justifying requested rezoning
- Application Fee:

MAP AMENDMENTS/REZONING FEES	
REZONING TYPE	Fee
Map Amendment – Residential Single Family	
Less than 2 acres	\$150
2 acres, but less than 5 acres	\$200
5 acres, but less than 10 acres	\$250
10-20 acres	\$300
Each additional acre	\$15 each
Map Amendment – Residential Developer	
Less than 2 acres	\$400
2 acres, but less than 5 acres	\$500
5 acres, but less than 10 acres	\$1,000
10-20 acres	\$1,500
Each additional acre	\$15 each
Map Amendment – Non-Residential	
Less than 2 acres	\$1,000
2 acres, but less than 5 acres	\$1,500
5 acres, but less than 10 acres	\$2,000
10-20 acres	\$2,500
Each additional acre	\$100 each

(Additional fees may apply if additional actions are required)

Additional submittal requirements:

- Affidavit of Notification and Certified Mail receipts, return receipts, and undeliverable envelopes
 (See Exhibit A and B. Must be submitted to Community Development prior to public hearing)

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

PROPERTY INFORMATION

Address 1212 Butterfield Rd
Property Index Numbers (PIN) 11-32-300-089-0000
11-32-300-082-0000
Size of Property 30,202 s.f. (sq. ft. /acres)
Size of Building Space _____ (sq. ft.)
Size of Space Utilized _____

ZONING

Current Zoning M-1
Proposed Zoning C-2
Current Use single family residence
Proposed Use commercial/retail

PETITIONER INFORMATION

Business/Org. Name Neri Architects
Name Michi Mho
Title Director of Architecture
Address 222 S Prospect Ave, 3rd Floor
City, State, Zip Park Ridge, IL 60068
Phone 847-825-9400
Email mmho@neriarchitects.com

PROPERTY OWNER INFORMATION

Imran Ahmad and Nargis
Business/Org. Name Jahan Trust
Name Imran Ahmad, Nargis Jahan
Title Owner
Address 1845 Haven Lane
City, State, Zip Green Oaks, IL 60048
Phone 847-371-1847
Email mr.adam.ahmad@gmail.com

Petitioner Status: Owner Lessee Contract Purchaser

SECTION OF ZONING ORDINANCE: _____

DESCRIPTION OF PROPOSED MAP AMENDMENT: *(Attach sheet if additional space is needed)*

Change of existing zoning from General Manufacturing (M-1) to General Commercial (C-2) to allow for
commercial/retail/restaurant uses. Request is in conjunction with a plat of resubdivision which will result in a
property lot size of 30,202 s.f.

The current use is a single family residence which is inconsistent with the current M-1 zoning. The owner
therefore requests a map amendment to reclassify a portion of the property to C-2, which is consistent with
the adjacent parcels to the south.

STANDARDS FOR GRANTING A MAP AMENDMENT

The Planning and Zoning Commission recommendation and the Village Board decision on any zoning amendment is a matter of legislative discretion that is not controlled by any particular standard. However, in making their recommendation and decision, the Planning and Zoning Commission and the Village Board shall consider the following standards. The approval of amendments is based on a balancing of these standards. **Please provide a detailed response to each of the following criteria** (*attach additional pages, if necessary*):

- a. The existing use and zoning of nearby property.
- b. The extent to which property values of the subject property are diminished by the existing zoning.
- c. The extent to which the proposed amendment promotes the public health, safety, and welfare of the Village.
- d. The relative gain to the public, as compared to the hardship imposed upon the applicant.
- e. The suitability of the property for the purposes for which it is presently zoned, i.e., the feasibility of developing the property in question for one (1) or more uses permitted under the existing zoning classification.
- f. The length of time that a property in question has been vacant, as presently zoned, considered in the context of development in the area where the property is located.
- g. The evidence, or lack of evidence, of community need for the use proposed by the applicant.
- h. The consistency of the proposed amendment with the Comprehensive Plan.
- i. That the proposed amendment will benefit the residents of the Village as a whole, and not just the applicant, property owner(s), neighbors of any property under consideration, or other special interest groups, and the extent to which the proposed use would be in the public interest and would not serve solely on the interest of the applicant.
- j. The extent to which the proposed amendment creates nonconformities.
- k. The trend of development, if any, in the general area of the property in question; and
- l. Whether adequate public facilities are available including, but not limited to, schools, parks, police and fire protection, roads, sanitary sewers, storm sewers, and water lines, or are reasonably capable of being provided prior to the development of the uses, which would be permitted on the subject property if the amendment were adopted.

AFFIDAVIT OF OWNERSHIP AND AUTHORIZATION

COUNTY OF LAKE)
)
STATE OF ILLINOIS)

I, Imran Ahmad, under oath, state that I am

_____ the sole)
X _____ an) owner of the property
_____ an authorized officer of the)

commonly described as (Address) 1212-1250 Butterfield Rd and that such property is owned by
Imran Ahmad and Nargis Jahan Trust

(Printed Name) _____ as of this date. As owner of the property, I do

hereby authorize Adam Ahmad (Printed Name or Not Applicable) to represent me in the following
Planning and Zoning Commission/Village Board matter, Map Amendment

_____ (Action).

Imran Ahmad
Signature

Subscribed and sworn to before me

this 24th day of June, 2025.

Shoukath M. Ali
Notary Public Signature



SITE VISIT AUTHORIZATION

I hereby grant employees of the Village of Mundelein, their agents, and members of the Mundelein Planning and Zoning Commission permission to enter on the property located at the following address:
(Address) 1212-1250 Butterfield Rd, Mundelein IL

Visual inspection of the site shall be accomplished during reasonable hours to examine only those portions of the property relating to this application. This permission is granted in regards to the Mundelein Planning and Zoning Commission Petition for the above-cited property.

If Owner or if Owner is a Corporation or Partnership:

Imran Ahmad 06/24/2025
Signature of Owner Date

By _____
↳ Imran Ahmad and Nargis Jahan Trust
Owner
Title/Full Corporate Name

If Contract Purchaser:

Signature of Contract Purchaser Date

By _____

Title/Full Corporate Name

If Lessee (Corporate or Partnership):

Signature of Lessee Date

By _____

Title/Full Corporate Name
REQUIRED SIGNATURES

The undersigned states under oath that he/she/they are the **Legal Owner(s)** of record of the realty described in this Planning and Zoning Commission Application, and the statements that he/she/they made in the foregoing application are true in substance and in fact.

Signature (Owner): Imran Ahmad
Printed Name: IMRAN AHMAD

Date: 06/24/2025
Title: owner

Signature (Owner): Nargis Jahan
Printed Name: NARGIS JAHAN

Date: 06/24/2025
Title: owner

The undersigned states under oath that he/she/they are the **Contract Purchaser** of record of the realty described in this Planning and Zoning Commission Application, and the statements that he/she/they made in the foregoing application are true in substance and in fact.

Signature Contract Purchaser: _____
Printed Name: _____

Date: _____
Title: _____

The undersigned states under oath that he/she/they are the **Lessee** of record of the realty described in this Planning and Zoning Commission Application, and the statements that he/she/they made in the foregoing application are true in substance and in fact.

Signature Lessee: _____
Printed Name: _____

Date: _____
Title: _____

EXHIBIT A

NOTIFICATION REQUIREMENTS

The petitioner is required to notify all property owners and taxpayers within two hundred and fifty (250) feet of the subject property **after the Planning and Zoning Commission hearing date has been scheduled and staff has given authorization to send.** (Please see Exhibit B for sample letter). The notification must be sent USPS Certified Mail, Return Receipt Requested. Mailing labels must contain the property owner name or taxpayer name, address, and property identification number (PIN). Notification must be postmarked no more than thirty (30) days and no less than fifteen (15) days prior to the public hearing date. All certified receipts must be submitted to Community Development. Petitioners can obtain property owner information from the following sources:

Lake County
18 North County Street
Waukegan, IL 60085
847-377-2323

Fremont Township
22376 West Erhart Road
Mundelein, Illinois 60060
847-223-2847
Fax 847-223-2858

Libertyville Township
359 Merrill Court
Libertyville, Illinois 60048
847-816-6800
Fax 847-816-0861

Vernon Township
3050 North Main Street
Buffalo Grove, IL 60089
847-634-4600
Fax 847-634-1569

A Public Hearing Notice sign is required on the subject property and will be placed by the Village. Postings of the public notice will be done no more than thirty (30) days and no less than fifteen (15) days prior to the public hearing date.

The Village will publish the notification in the *Daily Herald*. The *Daily Herald* requires five (5) day lead time for publishing public notices. Therefore, in order to have the notification published no later than fifteen (15) days prior to the public hearing, we must be able to provide the necessary information twenty-one (21) days prior to the date of the hearing.

FAILURE TO COMPLY WITH THE NOTIFICATION REQUIREMENTS WILL CAUSE THE

PUBLIC HEARING TO BE POSTPONED

EXHIBIT B

NEIGHBOR NOTIFICATION LETTER SAMPLE

DATE

**NOTICE
TO ALL INTERESTED PARTIES**

The Planning and Zoning Commission will address the petition for NAME/COMPANY. (Case PZC-XX-YEAR), ADDRESS _____, Mundelein, concerning a petition requesting _____. The Planning and Zoning Commission will address this petition on DATE, at TIME, at the Village Hall, 300 Plaza Circle, Mundelein, Illinois 60060. All interested parties may attend this meeting and voice their opinions and concerns.

If you have any questions, please do not hesitate to call Community Development at (847) 949-3282, Monday through Friday, 8:00 a.m. to 5:00 p.m.

Sincerely,

October 4, 2025

Village of Mundelein
Planning Department
300 Plaza Circle
Mundelein, IL 60060

Re: Address: 1212 S BUTTERFIELD RD
Review Type: Zoning Map Amendment application

Below are responses to each of the following criteria used in evaluating the zoning map amendment for the property referenced above

- a. The existing use and zoning of nearby property.
The most recent use of the property was single family (2 residences) on lots zoned M-1. The property to the south is zoned C-2 and those to the west are zoned M-1
- b. The extent to which property values of the subject property are diminished by the existing zoning.
The property would yield a higher return with uses allowed in the C-2 district
- c. The extent to which the proposed amendment promotes the public health, safety, and welfare of the Village.
The current use of the property as a single family home doesn't promote any public health, or safety, benefit to the Village. The property would yield higher taxes in the form of sales tax as a commercial property.
- d. The relative gain to the public, as compared to the hardship imposed upon the applicant.
Rezoning the property to C-2 would extend the current commercial uses along Butterfield to the north and would provide additional tax revenue.
- e. The suitability of the property for the purposes for which it is presently zoned, i.e., the feasibility of developing the property in question for one (1) or more uses permitted under the existing zoning classification.
A C-2 zoning would be a natural extension of the already existing commercial district along the west side of Butterfield Rd
- f. The length of time that a property in question has been vacant, as presently zoned, considered in the context of development in the area where the property is located.
Property was not vacant
- g. The evidence, or lack of evidence, of community need for the use proposed by the applicant.
Rezoning the property to C-2 would extend the current commercial uses along Butterfield to the north and would provide additional tax revenue.

- h. The consistency of the proposed amendment with the Comprehensive Plan.
The comprehensive plan designates this site as Office/Business Park in which most uses allowed are allowed under the C-2 zoning. The C-2 zoning however, would provide for additional flexibility in proposed uses.
- i. That the proposed amendment will benefit the residents of the Village as a whole, and not just the applicant, property owner(s), neighbors of any property under consideration, or other special interest groups, and the extent to which the proposed use would be in the public interest and would not serve solely on the interest of the applicant.
Rezoning the property to C-2 would expand potential retail uses, including restaurant(s) which would be a benefit to the office and business uses in the immediate area.
- j. The extent to which the proposed amendment creates nonconformities.
The proposed amendment will not create any nonconformities
- k. The trend of development, if any, in the general area of the property in question; and
Recent trends are away from large office developments and, considering that the property immediately to the south is zoned C-2, rezoning this property would be a natural extension of the commercial/retail zoning and would be in-line with current trends away from strictly office uses.
- l. Whether adequate public facilities are available including, but not limited to, schools, parks, police and fire protection, roads, sanitary sewers, storm sewers, and water lines, or are reasonably capable of being provided prior to the development of the uses, which would be permitted on the subject property if the amendment were adopted.
The current roads, sanitary sewers and water lines are adequate to support the development. Additional storm water management/mitigation measures are being taken as part of the proposed design of the development.

Sincerely,



Michi Mho
Director of Architecture
Neri Architects
mmho@neriarchitects.com//03/06/2025

TYPICAL PLANNING AND ZONING COMMISSION PROCESS

Meeting Schedule

The Planning and Zoning Commission consists of seven members who act as a recommending body to the Village Board. The Planning and Zoning Commission meet the first and third Wednesday of each month at the Village Hall, located at 300 Plaza Circle, Mundelein, Illinois. Meetings begin at 7:00 p.m.

Preliminary Conference

Prior to filling out this form you must first meet with a representative of Community Development to discuss the proposal and determine the necessary process for approval. A concept plan consisting of measurable sketches with a scale/ruler, existing and proposed site data, and site photo(s) should be available for review by a planner. To schedule a preliminary conference contact Community Development at (847) 949-3282.

Petition Submittal

Submit one (1) legible copy, no larger than 11" x 17" of the full petition application to Community Development. The petition must be complete with all attachments. Applications and fees can be mailed to Community Development, 300 Plaza Circle, Mundelein, Illinois 60060. Community Development staff will review the application and may request additional materials prior to acceptance.

Internal Department Review

After Community Development accepts the Draft Petition the Fire, Police, Public Works and Engineering, Building Department, and Community Development Divisions will review the proposal and provide comments. Petitioners may be asked to provide additional and/or electronic copies of the petition at this time. Upon review, staff will provide feedback to the petitioner, if applicable. If it is determined that the documents are in compliance with Village codes, a Planning and Zoning Commission hearing will be scheduled. If changes are required, the petitioner shall resubmit revised plans for another departmental review, which will delay the date for a public hearing.

Final Petition

After all issues have been adequately addressed, staff will direct the petitioner through the public hearing process. The Planning and Zoning Commission shall evaluate the application, based upon the evidence presented at the public hearing, recommend approval, approval with conditions, or denial of the application, and forward its recommendation to the Village Board within sixty (60) days. The Village Board shall consider the variation within sixty (60) days of receipt of the Planning and Zoning Commission recommendation.

The initial submittal must contain:

- Completed Application – Pages 3-7
 (Write N/A where items do not apply)
- Current or accurate Plat of Survey or Preliminary Plat of Subdivision
 - a. One (1) no larger than 11” x 17”
- Preliminary Drawings
 - a. Site Plan – indicating all site improvements, such as sign locations, screened trash container areas, loading docks, fire lanes, area lighting, parking, handicap parking, all dimensions and project data (building area, land area, floor area ratio, coverage, parking calculations, etc.)
 - b. Preliminary Building Elevations, including height (if applicable)
 - c. Preliminary Floor Plan (if applicable)
 - d. Tree Preservation Plan (if applicable)
 - e. Preliminary Engineering (if applicable)
- Photos of the property
- Other Supporting Documentation (if applicable)
 - Traffic Impact Study
 - Market Study
 - _____
 - _____
- Application Fee:

VARIATION FEES	
Variation Type	Fee
Variation - Single Family Residential	\$150
<i>Each Additional Variation</i>	\$50 each
<i>Without a Permit</i>	\$200
Variation - Residential Developer	\$300
<i>Each Additional Variation</i>	\$50 each
<i>Without a Permit</i>	\$300
Variation - Non-Residential	\$300
<i>Each Additional Variation</i>	\$50 each
<i>Without a Permit</i>	\$600

(Additional fees may apply if additional actions are required)

Additional submittal requirements:

- Affidavit of Notification and Certified Mail receipts, return receipts, and undeliverable envelopes
 (See Exhibit A and B. Must be submitted to Community Development prior to public hearing)

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

PROPERTY INFORMATION

Address _____
Property Index Numbers (PIN) _____

Size of Property _____ (sq. ft./acres)
Size of Building Space _____ (sq. ft.)
Size of Space Utilized _____

ZONING

Current Zoning _____
Proposed Zoning _____
Current Use _____
Proposed Use _____

PETITIONER INFORMATION

Business/Org. Name _____
Name _____
Title _____
Address _____
City, State, Zip _____
Phone _____
Email _____

PROPERTY OWNER INFORMATION

Business/Org. Name _____
Name _____
Title _____
Address _____
City, State, Zip _____
Phone _____
Email _____

Petitioner Status: Owner Lessee Contract Purchaser

SECTION OF ZONING ORDINANCE: _____

DESCRIPTION OF PROPOSED ZONING VARIATION *(Attach additional pages, if necessary)*

STANDARDS FOR GRANTING A VARIATION

In evaluating the proposed variation, the Zoning Administrator, Planning and Zoning Commission and Village Board will make findings based on the standards imposed by Section 20.16.020 of the Zoning Ordinance. **Please provide a detailed response to each of the following criteria** (*attach additional pages, if necessary*):

- a. The strict application of the terms of this Ordinance will result in undue hardship.
- b. The plight of the owner is due to unique circumstances.
- c. The variation, if granted, will not alter the essential character of the locality

The Zoning Administrator, Planning and Zoning Commission, and Village Board, in making its findings, may further inquire into the following evidentiary issues, as well as any others deemed appropriate. **Please provide a detailed response to each of the following criteria** (*attach additional pages, if necessary*):

- a. The particular physical surroundings, shape, or topographical conditions of the specific property impose a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of regulations were to be carried out.
- b. The alleged difficulty or hardship has not been created by any person presently having a proprietary interest in the property in question.
- c. The granting of the variation will not be detrimental to the public welfare in the neighborhood in which the property is located.
- d. The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, endanger the public safety, or impair property values within the neighborhood.
- e. The proposed variation is consistent with the spirit and intent of this Ordinance and Village land use policies.
- f. The value of the property in question will be substantially reduced if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located.

SITE VISIT AUTHORIZATION

I hereby grant employees of the Village of Mundelein, their agents, and members of the Mundelein Planning and Zoning Commission permission to enter on the property located at the following address:
(Address) 1212-1250 Butterfield Rd, Mundelein IL

Visual inspection of the site shall be accomplished during reasonable hours to examine only those portions of the property relating to this application. This permission is granted in regards to the Mundelein Planning and Zoning Commission Petition for the above-cited property.

**If Owner or if Owner is a
Corporation or Partnership:**

Imran Ahmad 9/29/2025
Signature of Owner Date

By IMRAN AHMAD
Imran Ahmad and Nargis Jahan Trust
Title/Full Corporate Name

If Contract Purchaser:

Signature of Contract Purchaser Date
By _____

Title/Full Corporate Name

If Lessee (Corporate or Partnership):

Signature of Lessee Date
By _____

Title/Full Corporate Name

REQUIRED SIGNATURES

The undersigned states under oath that he/she/they are the **Legal Owner(s)** of record of the realty described in this Planning and Zoning Commission Application, and the statements that he/she/they made in the foregoing application are true in substance and in fact.

Signature (Owner): Imran Ahmad
Printed Name: Imran Ahmad

Date: 9/29/2025
Title: Owner

Signature (Owner): _____
Printed Name: _____

Date: _____
Title: _____

The undersigned states under oath that he/she/they are the **Contract Purchaser** of record of the realty described in this Planning and Zoning Commission Application, and the statements that he/she/they made in the foregoing application are true in substance and in fact.

Signature Contract Purchaser: _____
Printed Name: _____

Date: _____
Title: _____

The undersigned states under oath that he/she/they are the **Lessee** of record of the realty described in this Planning and Zoning Commission Application, and the statements that he/she/they made in the foregoing application are true in substance and in fact.

Signature Lessee: _____
Printed Name: _____

Date: _____
Title: _____

AFFIDAVIT OF NOTIFICATION

(See Exhibit A)

COUNTY OF LAKE)
)
STATE OF ILLINOIS)

I, Imran Ahmad _____, under oath, state that I am

_____ the sole)
X _____ an) owner of the property
_____ an authorized officer of the)

Hereby swear and affirm that in accordance with the provisions of Chapter 3.3 of the Zoning Ordinance, have notified by certified mail, return receipt requested, all property owners and taxpayers within two hundred and fifty (250) feet of the subject property, attached hereto as Exhibit A, on this 29 day of September, 2025.

Imran Ahmad
Signature

Subscribed and sworn to before me

this 29th day of September, 2025.

Shoukath M. Ali
Notary Public

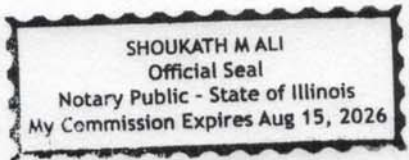


EXHIBIT A

NOTIFICATION REQUIREMENTS

The petitioner is required to notify all property owners and tax payers within 250 feet of the subject property **after the Planning and Zoning Commission hearing date has been scheduled and staff has given authorization to send.** (Please see Exhibit B for sample letter). The notification must be sent USPS Certified Mail, Return Receipt Requested. Mailing labels must contain the property owner name or taxpayer name, address, and property identification number (PIN). Notification must be postmarked no more than thirty (30) days and no less than fifteen (15) days prior to the public hearing date. All certified receipts must be submitted to Community Development. Petitioners can obtain property owner information from the following sources:

Lake County
18 North County Street
Waukegan, IL 60085
847-377-2323

Fremont Township
22376 West Erhart Road
Mundelein, Illinois 60060
847-223-2847
Fax 847-223-2858

Libertyville Township
359 Merrill Court
Libertyville, Illinois 60048
847-816-6800
Fax 847-816-0861

Vernon Township
3050 North Main Street
Buffalo Grove, IL 60089
847-634-4600
Fax 847-634-1569

A Public Hearing Notice sign is required on the subject property and will be placed by the Village. Postings of the public notice will be done no more than thirty (30) days and no less than fifteen (15) days prior to the public hearing date.

The Village will publish the notification in the *Daily Herald*. The *Daily Herald* requires five-day lead time for publishing public notices. Therefore, in order to have the notification published no later than fifteen (15) days prior to the public hearing, we must be able to provide the necessary information twenty-one (21) days prior to the date of the hearing.

FAILURE TO COMPLY WITH THE NOTIFICATION REQUIREMENTS WILL CAUSE THE PUBLIC HEARING TO BE POSTPONED

EXHIBIT B

NEIGHBOR NOTIFICATION LETTER SAMPLE

DATE

**NOTICE
TO ALL INTERESTED PARTIES**

The Planning and Zoning Commission will address the petition for NAME/COMPANY. (Case PZC-XX-YEAR), ADDRESS _____, Mundelein, concerning a petition requesting _____. The Planning and Zoning Commission will address this petition on **DATE**, at **TIME**, at the Village Hall, 300 Plaza Circle, Mundelein, Illinois 60060. All interested parties may attend this meeting and voice their opinions and concerns.

If you have any questions, please do not hesitate to call Community Development at (847) 949-3282, Monday through Friday, 8:00 a.m. to 5:00 p.m.

Sincerely,

AFFIDAVIT OF NOTIFICATION

(See Exhibit A)

COUNTY OF LAKE)
)
STATE OF ILLINOIS)

I, _____, under oath, state that I am

_____ the sole)
_____ an) owner of the property
_____ an authorized officer of the)

Hereby swear and affirm that in accordance with the provisions of Chapter 3.3 of the Zoning Ordinance, have notified by certified mail, return receipt requested, all property owners and taxpayers within two hundred and fifty (250) feet of the subject property, attached hereto as Exhibit A, on this ____ day of _____, 20____.

Signature

Subscribed and sworn to before me

this ____ day of _____, 20____.

Notary Public

October 1, 2025

Village of Mundelein
Planning Department
300 Plaza Circle
Mundelein, IL 60060

Re: Address: **1250 S BUTTERFIELD RD**
Review Type: **Variance application**

Below are responses to each of the following criteria used in evaluating the variance to section 20.32.040 (A)(4) (*all buildings shall have a public entrance from the sidewalk along the primary street frontage*) for the property referenced above

- a. The strict application of the terms of this Ordinance will result in undue hardship.
No public sidewalk exists along this portion of Butterfield Rd.
- b. The plight of the owner is due to unique circumstances.
This section of Butterfield road is primarily vehicular based where there is no sidewalk. The site has been designed to maximize vehicular use and parking.
- c. The variation, if granted, will not alter the essential character of the locality
The design of the site is comparable to properties in the area which includes drive access along the front of the building and parking along the side.

Below are responses to each of the following evidentiary issues, used in evaluating the variance to section 20.32.040 (A)(4) (*all buildings shall have a public entrance from the sidewalk along the primary street frontage*) for the property referenced above

- a. The particular physical surroundings, shape, or topographical conditions of the specific property impose a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of regulations were to be carried out.
There is no public sidewalk along this section of Butterfield Rd. and therefore is primarily vehicular based (there is no sidewalk). The site has been designed to maximize vehicular use and parking. The orientation of the building and associated parking has been designed to maximize the use of the lot.
- b. The alleged difficulty or hardship has not been created by any person presently having a proprietary interest in the property in question.
No public sidewalk exists along this portion of Butterfield Rd from Townline Rd to the train tracks

- c. The granting of the variation will not be detrimental to the public welfare in the neighborhood in which the property is located.
The granting of the variance will not be detrimental to the welfare of the neighborhood, as the same condition exists elsewhere along the street
- d. The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, endanger the public safety, or impair property values within the neighborhood.
The granting of the requested variation has no effect on this criterion.
- e. The proposed variation is consistent with the spirit and intent of this Ordinance and Village land use policies.
This area is primarily vehicular in nature (vs pedestrian) and therefore maintaining that character is appropriate
- f. The value of the property in question will be substantially reduced if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located.
The site plan has been designed to maximize and take advantage of the vehicular nature of the area for the benefit of the tenant(s) and end-users and is therefore expected to attract tenants accordingly.

Sincerely,



Michi Mho
Director of Architecture
Neri Architects
mmho@neriarchitects.com//03/06/2025

TYPICAL PLANNING AND ZONING COMMISSION PROCESS

Meeting Schedule

The Planning and Zoning Commission consists of seven members who act as a recommending body to the Village Board. The Planning and Zoning Commission meet the first and third Wednesday of each month at the Village Hall, located at 300 Plaza Circle, Mundelein, Illinois. Meetings begin at 7:00 p.m.

Preliminary Conference

Prior to filling out this form you must first meet with a representative of Community Development to discuss the proposal and determine the necessary process for approval. A concept plan consisting of measurable sketches with a scale/ruler, existing and proposed site data, and site photo(s) should be available for review by a planner. To schedule a preliminary conference contact Community Development at (847) 949-3282.

Petition Submittal

Submit one (1) legible copy, no larger than 11" x 17" of the full petition application to Community Development. The petition must be complete with all attachments. Applications and fees can be mailed to Community Development, 300 Plaza Circle, Mundelein, Illinois 60060. Community Development staff will review the application and may request additional materials prior to acceptance.

Internal Department Review

After Community Development accepts the Draft Petition the Fire, Police, Public Works and Engineering, Building Department, and Community Development Divisions will review the proposal and provide comments. Petitioners may be asked to provide additional and/or electronic copies of the petition at this time. Upon review, staff will provide feedback to the petitioner, if applicable. If it is determined that the documents are in compliance with Village codes, a Planning and Zoning Commission hearing will be scheduled. If changes are required, the petitioner shall resubmit revised plans for another departmental review, which will delay the date for a public hearing.

Final Petition

After all issues have been adequately addressed, staff will direct the petitioner through the public hearing process. The Planning and Zoning Commission shall evaluate the application, based upon the evidence presented at the public hearing, recommend approval, approval with conditions, or denial of the application, and forward its recommendation to the Village Board within sixty (60) days. The Village Board shall consider the variation within sixty (60) days of receipt of the Planning and Zoning Commission recommendation.

The initial submittal must contain:

- Completed Application – Pages 3-7
 (Write N/A where items do not apply)
- Current or accurate Plat of Survey or Preliminary Plat of Subdivision
 - a. One (1) no larger than 11” x 17”
- Preliminary Drawings
 - a. Site Plan – indicating all site improvements, such as sign locations, screened trash container areas, loading docks, fire lanes, area lighting, parking, handicap parking, all dimensions and project data (building area, land area, floor area ratio, coverage, parking calculations, etc.)
 - b. Preliminary Building Elevations, including height (if applicable)
 - c. Preliminary Floor Plan (if applicable)
 - d. Tree Preservation Plan (if applicable)
 - e. Preliminary Engineering (if applicable)
- Photos of the property
- Other Supporting Documentation (if applicable)
 - Traffic Impact Study
 - Market Study
 - _____
 - _____
- Application Fee:

VARIATION FEES	
Variation Type	Fee
Variation - Single Family Residential	\$150
<i>Each Additional Variation</i>	\$50 each
<i>Without a Permit</i>	\$200
Variation - Residential Developer	\$300
<i>Each Additional Variation</i>	\$50 each
<i>Without a Permit</i>	\$300
Variation - Non-Residential	\$300
<i>Each Additional Variation</i>	\$50 each
<i>Without a Permit</i>	\$600

(Additional fees may apply if additional actions are required)

Additional submittal requirements:

- Affidavit of Notification and Certified Mail receipts, return receipts, and undeliverable envelopes
 (See Exhibit A and B. Must be submitted to Community Development prior to public hearing)

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

PROPERTY INFORMATION

Address _____
Property Index Numbers (PIN) _____

Size of Property _____ (sq. ft./acres)
Size of Building Space _____ (sq. ft.)
Size of Space Utilized _____

ZONING

Current Zoning _____
Proposed Zoning _____
Current Use _____
Proposed Use _____

PETITIONER INFORMATION

Business/Org. Name _____
Name _____
Title _____
Address _____
City, State, Zip _____
Phone _____
Email _____

PROPERTY OWNER INFORMATION

Business/Org. Name _____
Name _____
Title _____
Address _____
City, State, Zip _____
Phone _____
Email _____

Petitioner Status: Owner Lessee Contract Purchaser

SECTION OF ZONING ORDINANCE: _____

DESCRIPTION OF PROPOSED ZONING VARIATION *(Attach additional pages, if necessary)*

STANDARDS FOR GRANTING A VARIATION

In evaluating the proposed variation, the Zoning Administrator, Planning and Zoning Commission and Village Board will make findings based on the standards imposed by Section 20.16.020 of the Zoning Ordinance. **Please provide a detailed response to each of the following criteria** (*attach additional pages, if necessary*):

- a. The strict application of the terms of this Ordinance will result in undue hardship.
- b. The plight of the owner is due to unique circumstances.
- c. The variation, if granted, will not alter the essential character of the locality

The Zoning Administrator, Planning and Zoning Commission, and Village Board, in making its findings, may further inquire into the following evidentiary issues, as well as any others deemed appropriate. **Please provide a detailed response to each of the following criteria** (*attach additional pages, if necessary*):

- a. The particular physical surroundings, shape, or topographical conditions of the specific property impose a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of regulations were to be carried out.
- b. The alleged difficulty or hardship has not been created by any person presently having a proprietary interest in the property in question.
- c. The granting of the variation will not be detrimental to the public welfare in the neighborhood in which the property is located.
- d. The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, endanger the public safety, or impair property values within the neighborhood.
- e. The proposed variation is consistent with the spirit and intent of this Ordinance and Village land use policies.
- f. The value of the property in question will be substantially reduced if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located.

AFFIDAVIT OF OWNERSHIP AND AUTHORIZATION

COUNTY OF LAKE)
)
STATE OF ILLINOIS)

I, Imran Ahmad _____, under oath, state that I am

_____ the sole)
X _____ an) owner of the property
_____ an authorized officer of the)

commonly described as (Address) 1250 Butterfield Rd _____ and that such property is owned by
(Printed Name) Imran Ahmad and Nargis Jahan Trust _____ as of this date. As owner of the property, I do
hereby authorize N/A _____ (Printed Name or Not Applicable) to represent me in the following
Planning and Zoning Commission/Village Board matter, Exception to section 20.32.040 (A)(4) of the zoning
all buildings shall have a public entrance from the sidewalk along the primary street frontage _____ (Action).

Imran Ahmad
Signature

Subscribed and sworn to before me
this 29th day of September, 2025.

Shoukath M. Ali
Notary Public Signature



SITE VISIT AUTHORIZATION

I hereby grant employees of the Village of Mundelein, their agents, and members of the Mundelein Planning and Zoning Commission permission to enter on the property located at the following address:
(Address) 1212-1250 Butterfield Rd, Mundelein IL

Visual inspection of the site shall be accomplished during reasonable hours to examine only those portions of the property relating to this application. This permission is granted in regards to the Mundelein Planning and Zoning Commission Petition for the above-cited property.

If Owner or if Owner is a Corporation or Partnership:

Imran Ahmad 9/29/2025
Signature of Owner Date

By IMRAN AHMAD
Imran Ahmad and Nargis Jahan Trust
Title/Full Corporate Name

If Contract Purchaser:

Signature of Contract Purchaser Date

By _____

Title/Full Corporate Name

If Lessee (Corporate or Partnership):

Signature of Lessee Date

By _____

Title/Full Corporate Name

REQUIRED SIGNATURES

The undersigned states under oath that he/she/they are the **Legal Owner(s)** of record of the realty described in this Planning and Zoning Commission Application, and the statements that he/she/they made in the foregoing application are true in substance and in fact.

Signature (Owner): Imran Ahmad
Printed Name: Imran Ahmad

Date: 9/29/2025
Title: Owner

Signature (Owner): _____
Printed Name: _____

Date: _____
Title: _____

The undersigned states under oath that he/she/they are the **Contract Purchaser** of record of the realty described in this Planning and Zoning Commission Application, and the statements that he/she/they made in the foregoing application are true in substance and in fact.

Signature Contract Purchaser: _____
Printed Name: _____

Date: _____
Title: _____

The undersigned states under oath that he/she/they are the **Lessee** of record of the realty described in this Planning and Zoning Commission Application, and the statements that he/she/they made in the foregoing application are true in substance and in fact.

Signature Lessee: _____
Printed Name: _____

Date: _____
Title: _____

AFFIDAVIT OF NOTIFICATION

(See Exhibit A)

COUNTY OF LAKE)
)
STATE OF ILLINOIS)

I, Imran Ahmad _____, under oath, state that I am

_____ the sole)
X _____ an) owner of the property
_____ an authorized officer of the)

Hereby swear and affirm that in accordance with the provisions of Chapter 3.3 of the Zoning Ordinance, have notified by certified mail, return receipt requested, all property owners and taxpayers within two hundred and fifty (250) feet of the subject property, attached hereto as Exhibit A, on this 29 day of September, 2025.

Imran Ahmad
Signature

Subscribed and sworn to before me

this 29th day of September, 2025.

Shoukath M. Ali
Notary Public

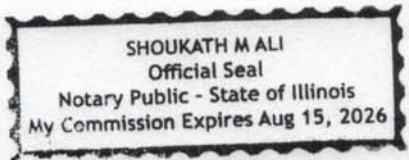


EXHIBIT A

NOTIFICATION REQUIREMENTS

The petitioner is required to notify all property owners and tax payers within 250 feet of the subject property **after the Planning and Zoning Commission hearing date has been scheduled and staff has given authorization to send.** (Please see Exhibit B for sample letter). The notification must be sent USPS Certified Mail, Return Receipt Requested. Mailing labels must contain the property owner name or taxpayer name, address, and property identification number (PIN). Notification must be postmarked no more than thirty (30) days and no less than fifteen (15) days prior to the public hearing date. All certified receipts must be submitted to Community Development. Petitioners can obtain property owner information from the following sources:

Lake County
18 North County Street
Waukegan, IL 60085
847-377-2323

Fremont Township
22376 West Erhart Road
Mundelein, Illinois 60060
847-223-2847
Fax 847-223-2858

Libertyville Township
359 Merrill Court
Libertyville, Illinois 60048
847-816-6800
Fax 847-816-0861

Vernon Township
3050 North Main Street
Buffalo Grove, IL 60089
847-634-4600
Fax 847-634-1569

A Public Hearing Notice sign is required on the subject property and will be placed by the Village. Postings of the public notice will be done no more than thirty (30) days and no less than fifteen (15) days prior to the public hearing date.

The Village will publish the notification in the *Daily Herald*. The *Daily Herald* requires five-day lead time for publishing public notices. Therefore, in order to have the notification published no later than fifteen (15) days prior to the public hearing, we must be able to provide the necessary information twenty-one (21) days prior to the date of the hearing.

FAILURE TO COMPLY WITH THE NOTIFICATION REQUIREMENTS WILL CAUSE THE PUBLIC HEARING TO BE POSTPONED

EXHIBIT B

NEIGHBOR NOTIFICATION LETTER SAMPLE

DATE

**NOTICE
TO ALL INTERESTED PARTIES**

The Planning and Zoning Commission will address the petition for NAME/COMPANY. (Case PZC-XX-YEAR), ADDRESS _____, Mundelein, concerning a petition requesting _____. The Planning and Zoning Commission will address this petition on **DATE**, at **TIME**, at the Village Hall, 300 Plaza Circle, Mundelein, Illinois 60060. All interested parties may attend this meeting and voice their opinions and concerns.

If you have any questions, please do not hesitate to call Community Development at (847) 949-3282, Monday through Friday, 8:00 a.m. to 5:00 p.m.

Sincerely,

AFFIDAVIT OF NOTIFICATION

(See Exhibit A)

COUNTY OF LAKE)
)
STATE OF ILLINOIS)

I, _____, under oath, state that I am

_____ the sole)
_____ an) owner of the property
_____ an authorized officer of the)

Hereby swear and affirm that in accordance with the provisions of Chapter 3.3 of the Zoning Ordinance, have notified by certified mail, return receipt requested, all property owners and taxpayers within two hundred and fifty (250) feet of the subject property, attached hereto as Exhibit A, on this ____ day of _____, 20____.

Signature

Subscribed and sworn to before me

this ____ day of _____, 20____.

Notary Public

October 4, 2025

Village of Mundelein
Planning Department
300 Plaza Circle
Mundelein, IL 60060

Re: Address: 1212 S BUTTERFIELD RD
Review Type: Variance application

Below are responses to each of the following criteria used in evaluating the variance to section 20.52.040 – Exterior lighting. (A)1 (*The light level shall be no greater than zero (0) footcandles at any property line or public right-of-way line.*) for the property referenced above

- a. The strict application of the terms of this Ordinance will result in undue hardship.
In order to provide safe vehicular movement entering and leaving the site
- b. The plight of the owner is due to unique circumstances.
Entrances to the site are required and therefore safe light levels are required
- c. The variation, if granted, will not alter the essential character of the locality
Light levels elsewhere along the property line(s) will remain at zero, similar to other properties in the vicinity as well as the increase in light levels at entrance drives will be similar to other commercial properties.

Below are responses to each of the following evidentiary issues, used in evaluating the variance to section 20.52.040 – Exterior lighting. (A)1 (*The light level shall be no greater than zero (0) footcandles at any property line or public right-of-way line.*) for the property referenced above

- a. The particular physical surroundings, shape, or topographical conditions of the specific property impose a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of regulations were to be carried out.
Entrances to the site are required and therefore safe light levels are required
- b. The alleged difficulty or hardship has not been created by any person presently having a proprietary interest in the property in question.
Entrances to the site are required and therefore safe light levels are required
- c. The granting of the variation will not be detrimental to the public welfare in the neighborhood in which the property is located.
To the contrary - the increase in light levels is minor and is requested in order to provide safe vehicular movement entering and leaving the site
- d. The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, endanger the public safety, or impair property values within the neighborhood.

The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, endanger the public safety, or impair property values within the neighborhood.

- e. The proposed variation is consistent with the spirit and intent of this Ordinance and Village land use policies.
It is our understanding that the Village is in support of slightly higher levels near the entrances of commercial properties in order to provide safe vehicular movements.
- f. The value of the property in question will be substantially reduced if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located.
Owners of commercial properties will expect safe vehicular access for their patrons and tenants and will not be able to lease spaces if access drives are not visible or clearly lit

Sincerely,



Michi Mho
Director of Architecture
Neri Architects
mmho@neriarchitects.com//03/06/2025

ARCHITECT

NERI ARCHITECTS

222 S. PROSPECT AVE. 3rd FLOOR
 PARK RIDGE, IL 60068
 P. 847.825.9400

LICENSE # 001-12341
 EXPIRATION DATE: NOVEMBER, 2026

DEVELOPER INFO

Adam Ahmad
 Imran Ahmad and Nargis Jahan Trust
 5420 Belmont Ct. Libertyville, IL 60048
 mr.adam.ahmad@gmail.com
 847-371-1847

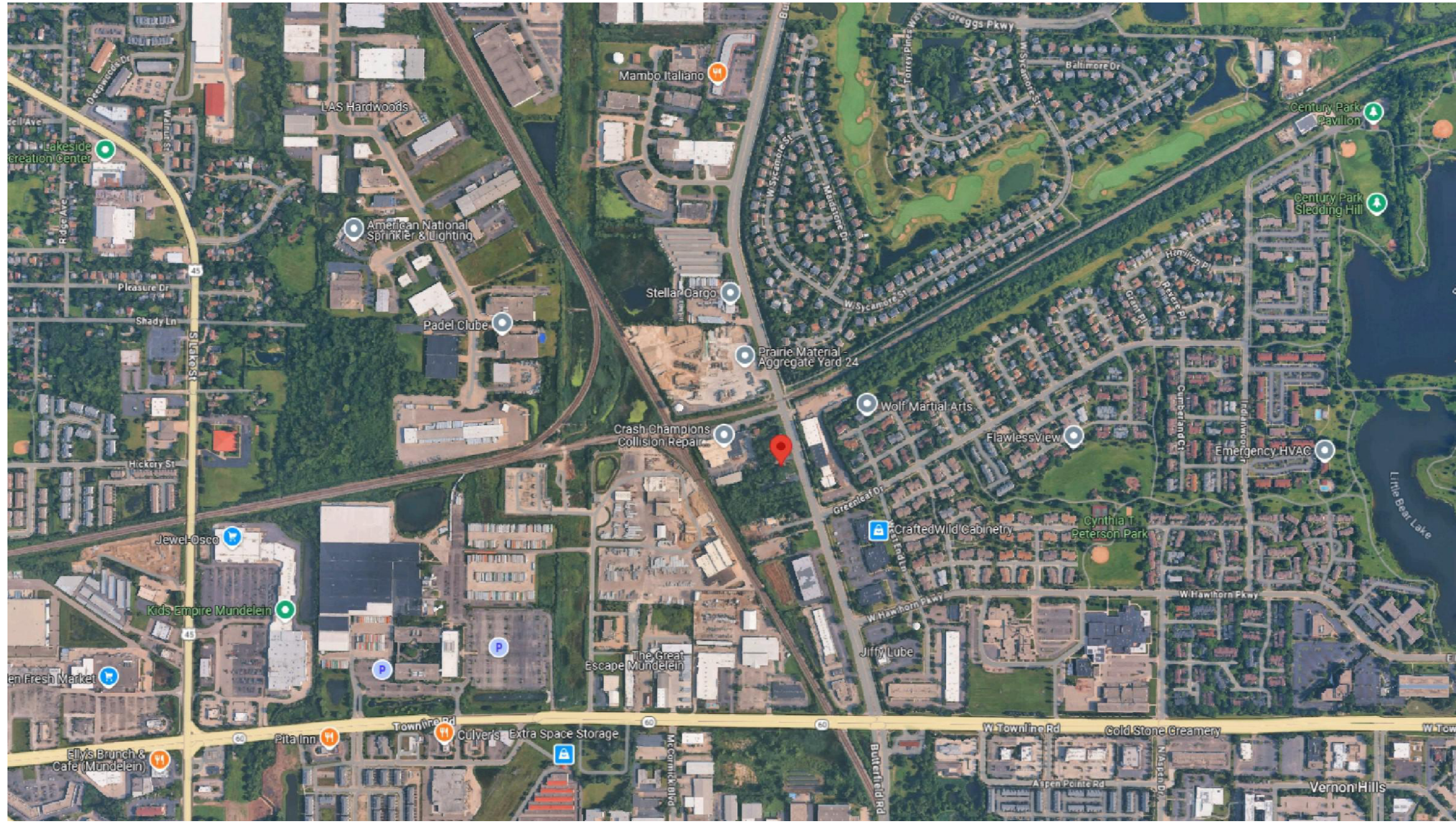
CONSULTANTS INFO:

CIVIL ENGINEER
 TERRA CONSULTING GROUP, LTD.
 600 BUSSE HWY, PARK RIDGE, IL 60068
 Phone: 847-698-6400

MEP ENGINEER
 Dr. Al Gonzalez P.E.
 DOTec Engineering
 424 Jefferson Street
 St. Charles, MO 63301
 Ph 636-724-9872 | Fx 636-724-9032
 noahj@dotecengineering.com

STRUCTURAL ENGINEER
 DG STRUCTURAL ENGINEERING LLC
 111 N WABASH, Suite100-#3436
 Chicago, IL 60602
 Phone: 708-668-1380
 Email: deepak@dgstructural.com

LOCATION MAP



ZONING DATA

ADDRESS: 1250 BUTTERFIELD RD. MUNDELEIN, IL
 PIN#: 11-32-300-089-0000 and 11-32-300-082-0000
 ACREAGE: TOTAL = ± 0.693 AC.
 ZONING: CURRENT - M-1 (General Manufacturing)
 PROPOSED - C-2 (General Commercial)

PROJECT DATA

SCOPE OF WORK: NEW COMMERCIAL BUILDING

APPLICABLE CODES:
 (Building codes have been adopted by the Village of Mundelein)

- 2018 INTERNATIONAL BUILDING CODE, w/ LOCAL AMENDMENTS*
- 2018 STATE OF ILLINOIS ACCESSIBILITY CODE
- 2021 INTERNATIONAL ENERGY CONSERVATION CODE
- 2018 INTERNATIONAL FIRE PREVENTION CODE, w/ LOCAL AMENDMENTS
- 2017 NATIONAL ELECTRIC CODE, w/ LOCAL AMENDMENTS*
- 2018 INTERNATIONAL MECHANICAL CODE
- 2014 STATE OF ILLINOIS PLUMBING CODE
- 2018 INTERNATIONAL PROPERTY MAINTENANCE CODE, w/ LOCAL AMENDMENTS*

CLIMATE ZONE: 5A

EXISTING USE: COMMERCIAL BUILDING

BUILDING DESCRIPTION

USE GROUP: OFFICE / RESTAURANT/ RETAIL
BULDING HEIGHT: ONE STORY (25'-1 1/2")
CONSTRUCTION TYPE: IIB / NON-SPRINKLERED
PROPOSED BUILDING AREA: 6,690 SQ. FT.

ZONING CALCS

1250 Butterfield Rd, Mundelein IL

current lot zoning:	M-1 (General Manufacturing)	
Proposed lot zoning:	C-2 (General Commercial)	
lot area:	30,202 s.f.	
use:	Office / Restaurant/ Retail	
MIN. LOT AREA CALCULATIONS:	PROPOSED	REQD
	30,202 s.f.	NA
MIN. LOT WIDTH:	PROPOSED	REQD
	137.71'	NA
MAX BLDG HT:	PROPOSED	ALLOWED
	TBD	40' and 3 stories
YARDS:	PROPOSED	REQUIRED
FRONT YARD:	53'-10"	10'-0" min
INT SIDE YARD:	17'-0"	NA
CORNER SIDE YARD:	NA	10'-0"
REAR YARD:	24'-4"	20'-0"
LOT COVERAGE CALCULATIONS:	PROPOSED	ALLOWED
footprint area of building:	6,690 s.f.	
TOTAL LOT COVERAGE	6,690 s.f.	NA
OPEN SPACE:	PROPOSED	REQUIRED
footprint area of building:	6,690 s.f.	
hardscape:	16,389 s.f.	
TOTAL IMPERVIOUS AREA:	23,079 s.f.	NA
TOTAL OPEN SPACE:	7,123 s.f.	NA
FLOOR AREA CALCULATIONS:	PROPOSED	ALLOWED
TOTAL FLOOR AREA		
Ground floor	6,690 s.f.	
TOTAL AREA OF BUILDING:	6,690 s.f.	
PARKING CALCULATIONS:	PROPOSED	REQUIRED
Office / Retail (4,826.0 s.f.)	14 sp	14.4 sp (3 per 1,000sf GFA)
drive thru restaurant (956.5 s.f. of seating (EST))	10 sp	9.5 sp (1 per 100sf of public seating area (excluding any outdoor dining area) + 4 stacking spaces per drive through lane)
TOTAL PARKING SPACES:	24 sp	23.9 sp

PROJECT NOTES CODES, STANDARDS, AND PROCEDURES

- ALL CONSTRUCTION SHALL COMPLY WITH STATE OF ILLINOIS BUILDING CODES, VILLAGE OF MUNDELEIN ZONING AND BUILDING CODES, AND ALL OF THE UNITED STATES OF AMERICA FEDERAL AGENCY REQUIREMENTS.
- BEFORE DOING ANY CONSTRUCTION, CONTACT LOCAL ELECTRIC COMPANY AND ASK FOR THE "NEW BUSINESS GROUP". REQUEST AN ONSITE MEETING AND COORDINATION OF PROPOSED WORK. BRING ARCHITECTURAL DRAWINGS AND OBTAIN APPROVAL ON CLEARANCES FOR ALL NEW STRUCTURES BEING BUILT AND/ OR ELECTRIC SERVICE BEING MOVED AND/ OR UPGRADED.
- BEFORE DOING ANY CONSTRUCTION, CONTACT J.U.L.I.E. TO DETERMINE THE LOCATION OF ANY UNDERGROUND UTILITIES WHICH MAY AFFECT PROPOSED SITE WORK. 8-1-1 IS THE NATIONWIDE TOLL-FREE NUMBER FOR LOCATION SERVICES. CALL JULIE'S TOLL-FREE NUMBER 1-800-892-0123.
- ALL CARWASH EQUIPMENT SHALL BE PROVIDED BY NCS WASH SOLUTIONS AND COORDINATED W/ NERI ARCHITECTS' INFORMATION.
- ALL REFERENCES TO CODES, SPECIFICATIONS, AND STANDARDS, REFERRED TO IN THE SPECIFICATIONS AND / OR DRAWINGS SHALL MEAN THE LATEST EDITION, AMENDMENT OR REVISION OF SUCH REFERENCE IN EFFECT AS OF THE LATEST DATE OF THE CONTRACT DOCUMENTS.
- ALL WORK SHALL COMPLY WITH THE REQUIREMENTS, POLICIES, AND PROCEDURES OF THE OWNER.
- DRAWINGS AND SPECIFICATIONS ARE TO BE ISSUED TO THE SUBCONTRACTORS IN COMPLETE SETS SO THAT THE FULL EXTENT OF WORK IS SHOWN AND COORDINATION OF WORK IS MADE POSSIBLE.
- ALL WORK SHALL BE OF THE HIGHEST QUALITY FOLLOWING THE CONTRACT DOCUMENTS, PROJECT SPECIFICATIONS, MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS, AND THE BEST ACCEPTED TRADE PRACTICES AND STANDARDS.
- DETAILS SHOWN ARE INTENDED TO BE INDICATIVE OF THE PROFILES AND TYPES OF DETAILING REQUIRED FOR THE WORK. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE DETAILED.
- PROVIDE ALL SHOP DRAWINGS, CATALOG CUTS, SAMPLES, ETC. FOR THE NECESSARY WORK REQUIRED AND FOR ARCHITECTS REVIEW PRIOR TO COMMENCEMENT OF THE WORK.
- EACH CONTRACTOR SHALL KEEP ACCURATE RECORDS OF ALL WORK WHICH DIFFERS FROM CONTRACT DOCUMENTS SO THAT ACCURATE RECORD DRAWINGS AND SPECIFICATIONS CAN BE KEPT AND PROVIDED TO THE OWNER AT PROJECT CLOSEOUT.
- EACH CONTRACTOR SHALL VISIT THE SITE AND BE KNOWLEDGEABLE OF CONDITIONS THERE OF. FAILURE TO EXAMINE THE SITE AND DETERMINE EXISTING CONDITIONS OR NATURE OF NEW CONSTRUCTION, OR NATURE AND EXTENT OF WORK TO BE PERFORMED BY OTHER TRADES WILL NOT BE CONSIDERED A BASIS FOR GRANTING OF ADDITIONAL COMPENSATION.
- THE CONTRACTOR SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL REQUIREMENTS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY CONDITIONS CONTRARY TO THE CONSTRUCTION DOCUMENTS THAT REQUIRE MODIFICATION BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING SITE ELEMENTS FROM DAMAGE DUE TO THE CONSTRUCTION OPERATIONS, AND REPAIR OR REPLACE ANY ELEMENTS DAMAGED DURING THE PROJECT.
- ANY UTILITY SHUT-OFFS AS REQUIRED BY THE CONTRACTOR FOR COMPLETION OF THEIR WORK SUCH AS ELECTRICAL, GAS, WATER AND COORDINATED W/ NERI ARCHITECTS' INFORMATION.

SHEET INDEX

TITLE	T-1.0	COVERSHEET & PROJECT INFO	S-201	FOUNDATION & 1st FLOOR PLAN	
CIVIL	C-1	TITLE SHEET	S-202	ROOF FRAMING PLAN	
C-2A	SPECIFICATIONS	C-2B	SPECIFICATIONS	S-301	SECTIONS & DETAILS
C-3	EXISTING CONDITIONS & DEMOLITION PLAN	C-4	GEOMETRIC PLAN	S-302	SECTIONS & DETAILS
C-5	GRADING PLAN	C-6	UTILITY PLAN		
C-7	STORMWATER POLLUTION PREVENTION PLAN	C-8	STORMWATER POLLUTION PREVENTION DETAILS		
C-9	DRAINAGE EXHIBIT	C-10	DETAILS		
C-11	DETAILS	C-12	DETAILS		
C-13	DETAILS				
GENERAL NOTES	G-1.1	GENERAL NOTES	M2-0	SITE PLAN	
G-1.2	SITE PLAN		M2-1	FLOOR & ROOF PLAN	
LANDSCAPE	L1.1	LANDSCAPE PLAN	M2-2	FLOOR & ROOF PLAN	
ARCHITECTURAL	A2.0	FOUNDATION PLAN BUILDING #1	M2-3	MECH SCHEDULES, NOTES, DETAILS	
A2.1	FLOOR PLAN	A2.2-1	CEILING PLAN	M3-0	MECH SCHEDULES, NOTES, DETAILS
A2.3-1	ROOF & TOWER PLANS BUILDING #1	A3.4-1	BATHROOM PLANS & ELEVATIONS	M3-1	MECH SCHEDULES, NOTES, DETAILS
A3.4-1	BATHROOM PLANS & ELEVATIONS	A5.0	MAIN ELEVATIONS	M3-2	MECH SCHEDULES, NOTES, DETAILS
A5.0	MAIN ELEVATIONS	A5.1	MAIN ELEVATIONS	M3-3	MECH SCHEDULES, NOTES, DETAILS
A6.0-1	BUILDING SECTIONS	A6.1-1	DETAIL SECTIONS		
A6.1-1	DETAIL SECTIONS	A7.0	MONUMENT SIGN, REFUSE ENCLOSURE		
A7.0	MONUMENT SIGN, REFUSE ENCLOSURE	A8.0-1	DOOR SCHEDULE & HATCH DETAILS		
A8.0-1	DOOR SCHEDULE & HATCH DETAILS				
STRUCTURAL	S-101	GENERAL NOTES	ELECTRICAL	E1-0	ELECTRIC SITE PLAN
			E2-1	1ST FLR PLAN & EQUIP. PLAN	
			E2-2	REFLECTED CEILING PLAN	
			E2-3	ROOF & TOWER PLANS	
			E2-4	PAY-STATION DETAILS	
			E3-0	ELEC SCHEDULES, NOTES, & DETAILS	
			E3-1	ELEC SCHEDULES, NOTES, & DETAILS	
			E3-2	ELEC SCHEDULES, NOTES, & DETAILS	
			E3-3	ELEC SCHEDULES, NOTES, & DETAILS	
			E3-4	MOTOR CONTROL CENTER	
			E3-5	ELECTRIC CONTROLS	
			E3-6	ELECTRIC MOTORS	
			E3-7	ELECTRIC UNDERGROUND	
			E3-8	ELECTRIC EQUIPMENT SCHD.	
			PLUMBING	P1-0	PLUMBING SITE PLAN
			P2-1	PLUMBING FLOOR PLAN	
			P3-0	SCHEDULES & RISERS	
			P3-1	PLUMBING EQUIP. PLAN	
			P3-2	PLUMBING PIPING & UNDERGROUND	
			P3-3	WATER EQUIP. SCHEDULE	
			P3-4	AIR PIPING PLAN & RISER	
			P3-5	AIR EQUIPMENT SCHEDULE	

NERI ARCHITECTS

6400 N NORTHWEST HWY
 SUITE 4
 CHICAGO, IL 60631
 TEL 847.825.9400

PROJECT # 2421
 DATE: 08/08/24

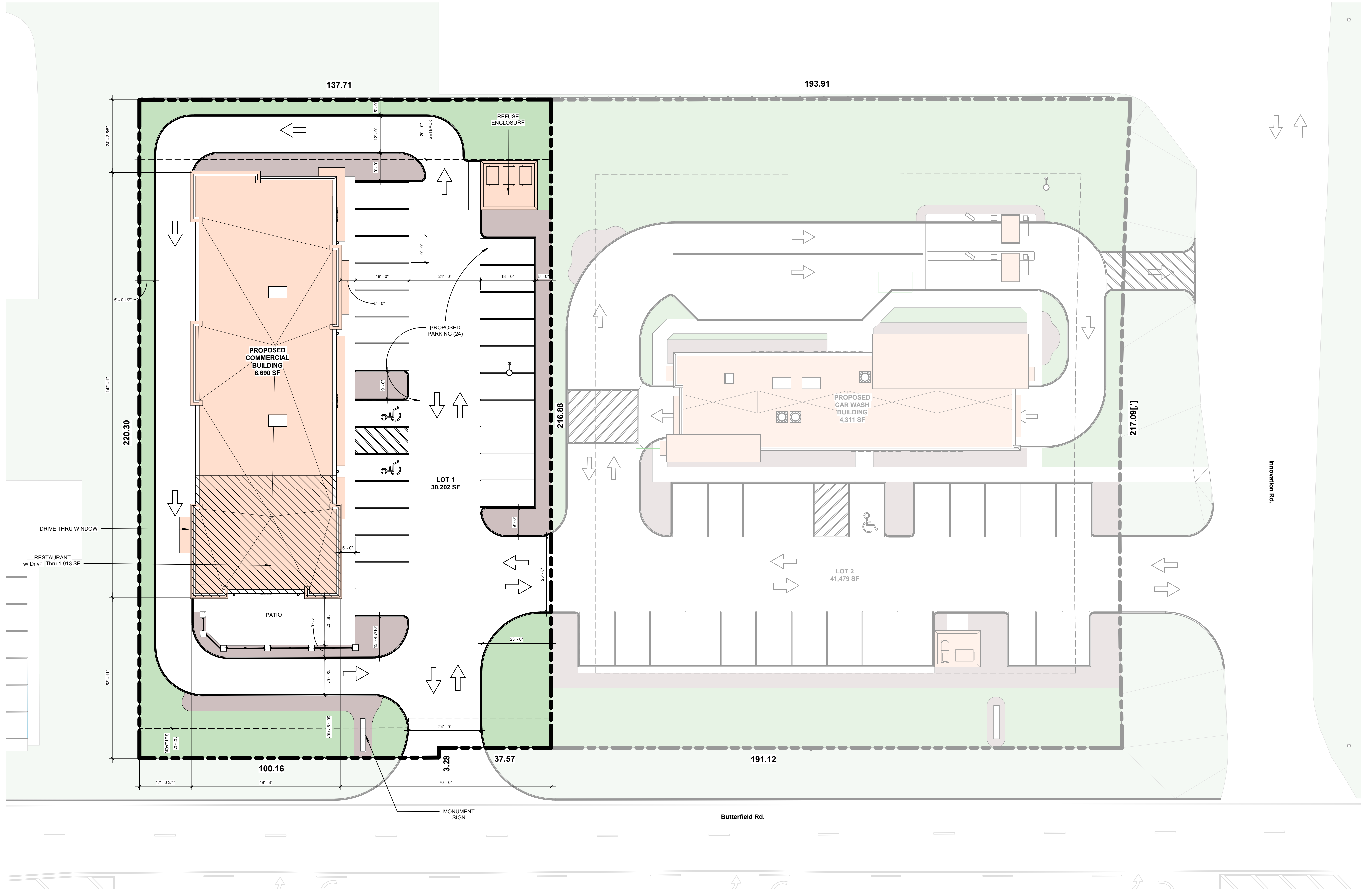


NEW RETAIL/COMMERCIAL DEVELOPMENT BUILDING

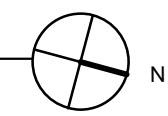
1250 BUTTERFIELD RD.
 MUNDELEIN, IL

ZONING REVIEW - NOT FOR CONSTRUCTION

07.10.25	ZONING REVIEW
REVISIONS	
DRAWN BY:	RAM
APPROVED BY:	GCN / MAM
SCALE:	AS NOTED
DESCRIPTION:	COVERSHEET & PROJECT INFO
SHEET NO.	T-1.0



1 LANDSCAPE PLAN
SCALE: 1/16" = 1'-0"



PROJECT # 2421
DATE: 08/08/24

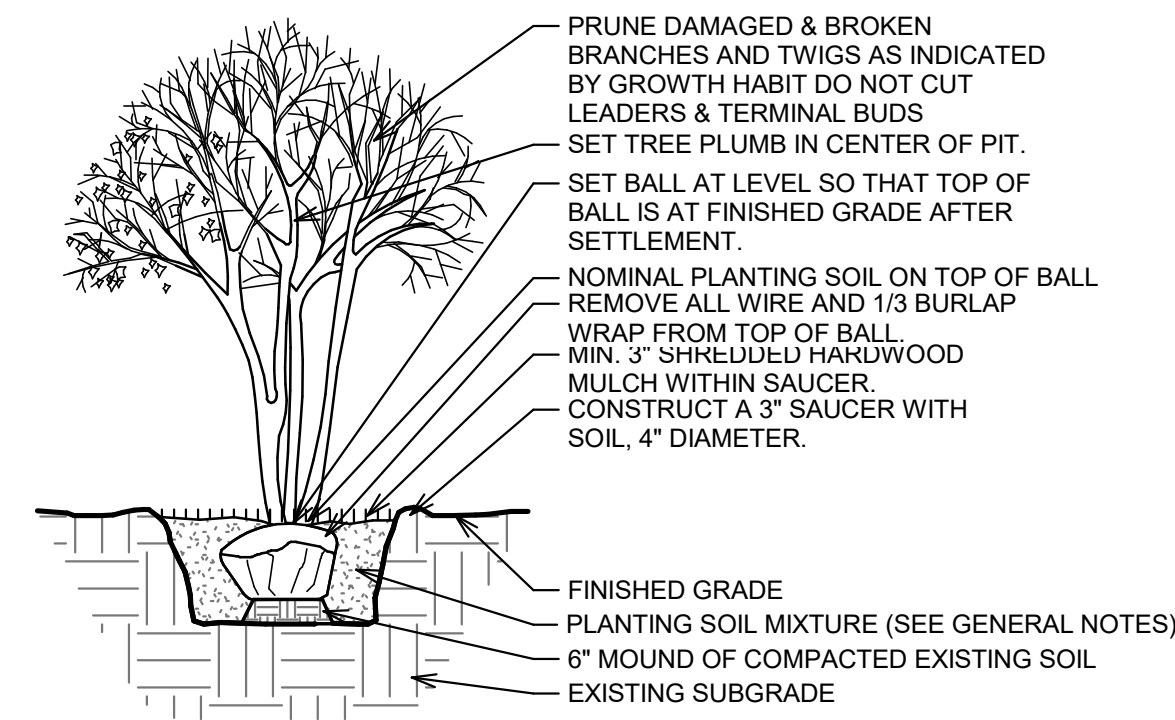


NEW RETAIL/COMMERCIAL DEVELOPMENT BUILDING
1250 BUTTERFIELD RD.
MUNDELEIN, IL
ZONING REVIEW - NOT FOR CONSTRUCTION

DATE	REVISIONS
07.10.25	ZONING REVIEW

DRAWN BY: RAM
APPROVED BY: GCN / MAM
SCALE: AS NOTED
DESCRIPTION: SITE PLAN

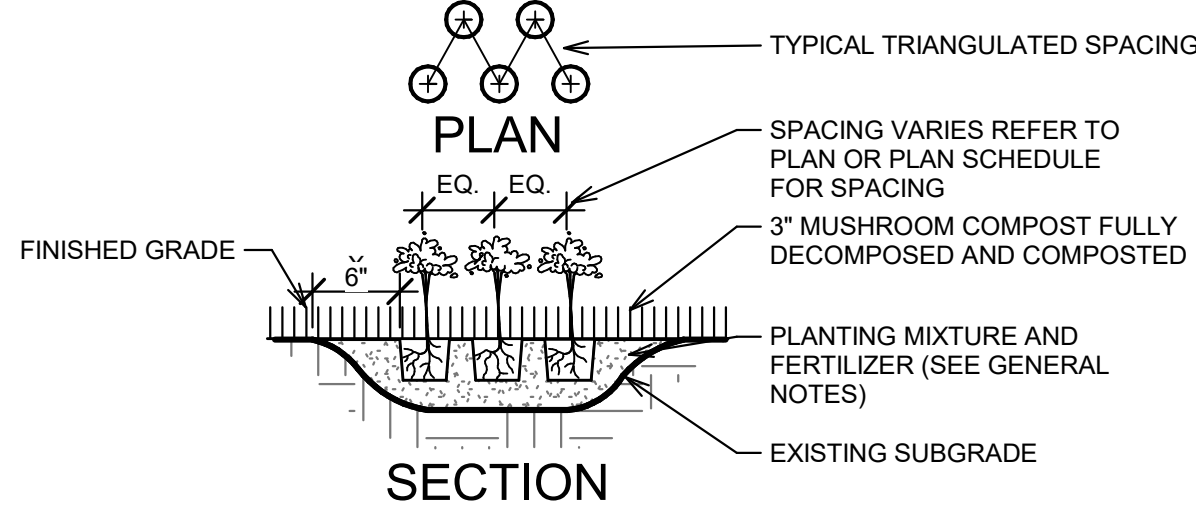
SHEET NO. **G-1.2**



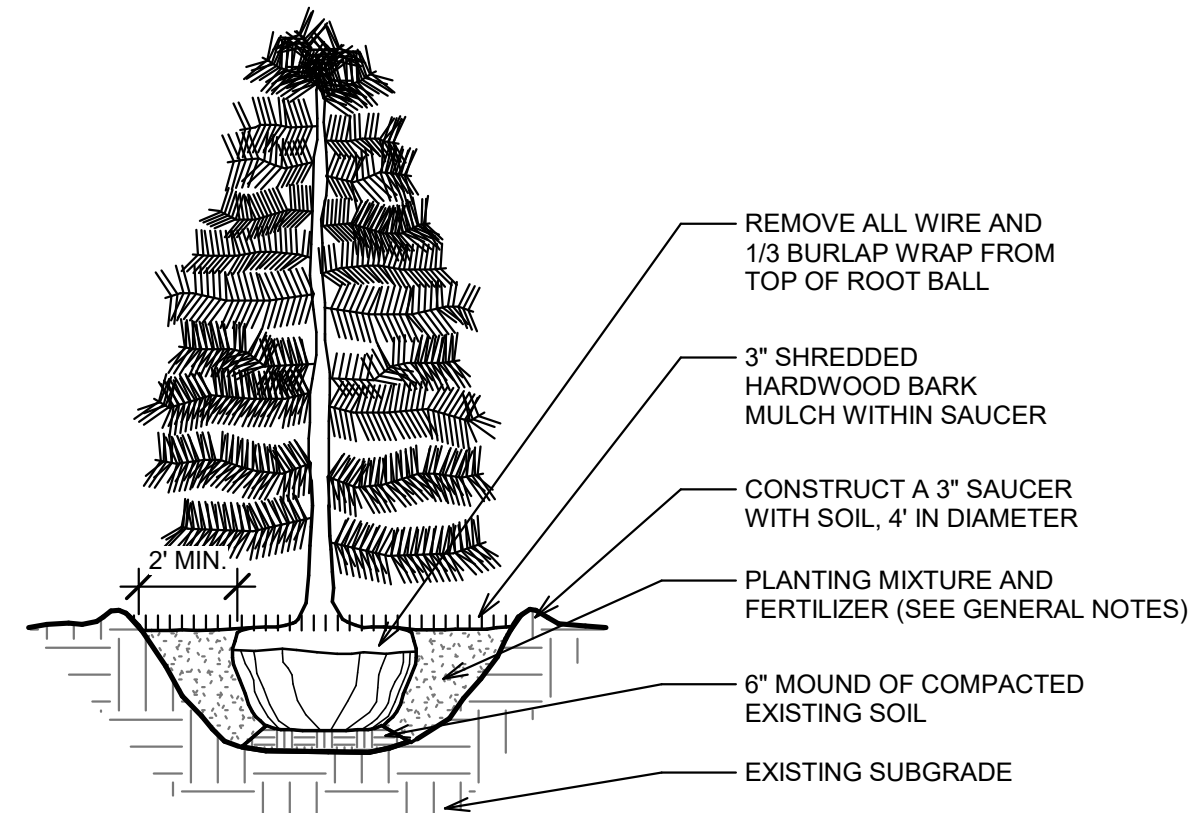
1 SMALL SHRUB PLANTING DETAIL
SCALE: 3/8" = 1'-0"



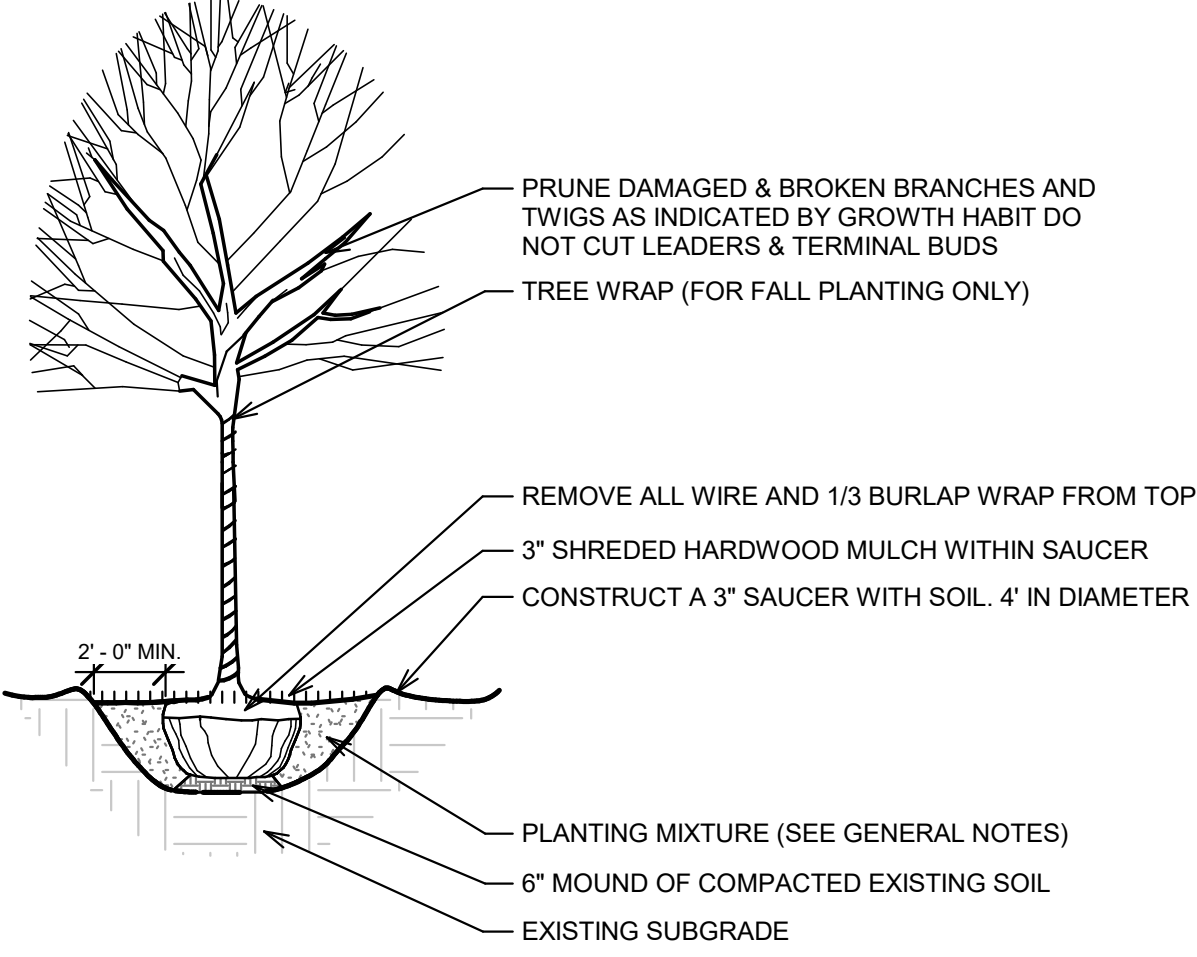
- GENERAL NOTES
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT /OWNER IMMEDIATELY OF ANY DISCREPANCIES, OBSTACLES AND/OR PROBLEMS.
 - VERIFICATION OF DIMENSIONS AND GRADES, BOTH EXISTING AND PROPOSED, SHALL BE THE CONTRACTOR'S RESPONSIBILITY PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES.
 - ALL SURFACE DRAINAGE SHALL BE DIRECTED AWAY FROM STRUCTURES. SURFACE DRAINAGE SHALL BE DIRECTED TO EXISTING CATCH BASINS DESIGNATED FOR THE COLLECTION OF SURFACE RUN-OFF.
 - CONTRACTOR SHALL NOTIFY OWNER OF ANY UNDESIRABLE DRAINAGE CONDITIONS AND RECOMMEND SUITABLE SOLUTIONS, WHERE NECESSARY TO ACHIEVE PROPER DRAINAGE, UNDER DRAINAGE FOR TREE PITS SHALL BE INSTALLED AT THE DIRECTION OF THE LANDSCAPE ARCHITECT.
 - LANDSCAPE CONTRACTOR SHALL REPAIR IN KIND ALL AREAS DAMAGED AS A RESULT OF LANDSCAPE OPERATIONS.
 - ALL TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 3" OF SHREDDED HARDWOOD MULCH.
 - ALL GROUND COVER/ PERENNIAL BEDS TO RECEIVE A MINIMUM 2" OF MUSHROOM COMPOST.
 - SIZES SHOWN ON PLANTING PLAN ARE MINIMUM ACCEPTABLE SIZES.
 - LANDSCAPE CONTRACTOR SHALL WARRANT ALL TREES, SHRUBS, VINES, GROUNDCOVERS AND PERENNIALS UNDER THIS CONTRACT WILL BE HEALTHY AND IN FLOURISHING CONDITION OF ACTIVE GROWTH ONE YEAR FROM DATE OF FINAL ACCEPTANCE.
 - SOIL TO BE USED FOR THE PLANTING MEDIUM FOR THE PROJECT SHALL BE FERTILE, WELL DRAINED, OF UNIFORM QUALITY, FREE OF STONES OVER 1" IN DIAMETER, STICKS, OILS, CHEMICALS, PLASTER, CONCRETE AND OTHER DELETERIOUS MATERIALS.
 - THE LANDSCAPE CONTRACTOR SHALL PREPARE PLANTING BEDS BY ADDING SOIL AMENDMENTS TO TOPSOIL MIX IN THE FOLLOWING QUANTITIES: TOPSOIL MIX FOR TREES AND SHRUBS SHALL BE THREE (3) PARTS TOPSOIL, ONE (1) PART PEAT, AND ONE (1) PART SAND. TOPSOIL MIX FOR PERENNIALS, BULBS, AND GROUND COVERS SHALL BE THREE (3) PARTS TOPSOIL, ONE (1) PART SAND, AND TWO (2) PARTS DECOMPOSED MUSHROOM COMPOST. SOIL SHALL MEET THE FOLLOWING REQUIREMENTS: SOIL COMPOSITION-45-77% SILT, 0-25% CLAY, 25-33% SAND; SOIL ACIDITY: Ph 6.0-7.0; SOIL ORGANIC CONTENT: THREE (3) TO FIVE (5) PERCENT.
 - ALL PLANTS TO BE BALLED IN BURLAP OR CONTAINER GROWN AS SPECIFIED ON PLANTING PLAN. ALL PLASTIC ROOT WRAPPING MATERIAL AND METAL WIRE BASKETS SHALL BE REMOVED.
 - LANDSCAPE CONTRACTOR SHALL STAKE THE LOCATION OF ALL TREES AND PLANTING BED LINES AND HAVE LAOUT APPROVED BY LANDSCAPE ARCHITECT/OWNER PRIOR TO PLANTING.
 - WATER ALL PLANTS IMMEDIATELY AFTER PLANTING. FLOOD PLANTS TWICE DURING FIRST TWENTY-FOUR HOUR PERIOD AFTER PLANTING.
 - ALL NEW AND TRANSPLANTED PLANTS TO BE SPRAYED WITH AN ANTIDESSICANT WITHIN TWENTY FOUR HOURS AFTER PLANTING. ANTI-TRANSPIRANT SHALL BE EQUAL TO "WILTPROOF".
 - ALL MUD SHALL BE REMOVED FROM ALL TIRES BEFORE LEAVING THE SITE AND ROADS SHALL BE KEPT CLEAR OF MUD AND DEBRIS AT ALL TIMES.
 - ALL GRASS AREAS SHALL BE 6 INCHES OF TOPSOIL AND KENTUCKY BLUEGRASS SOD.



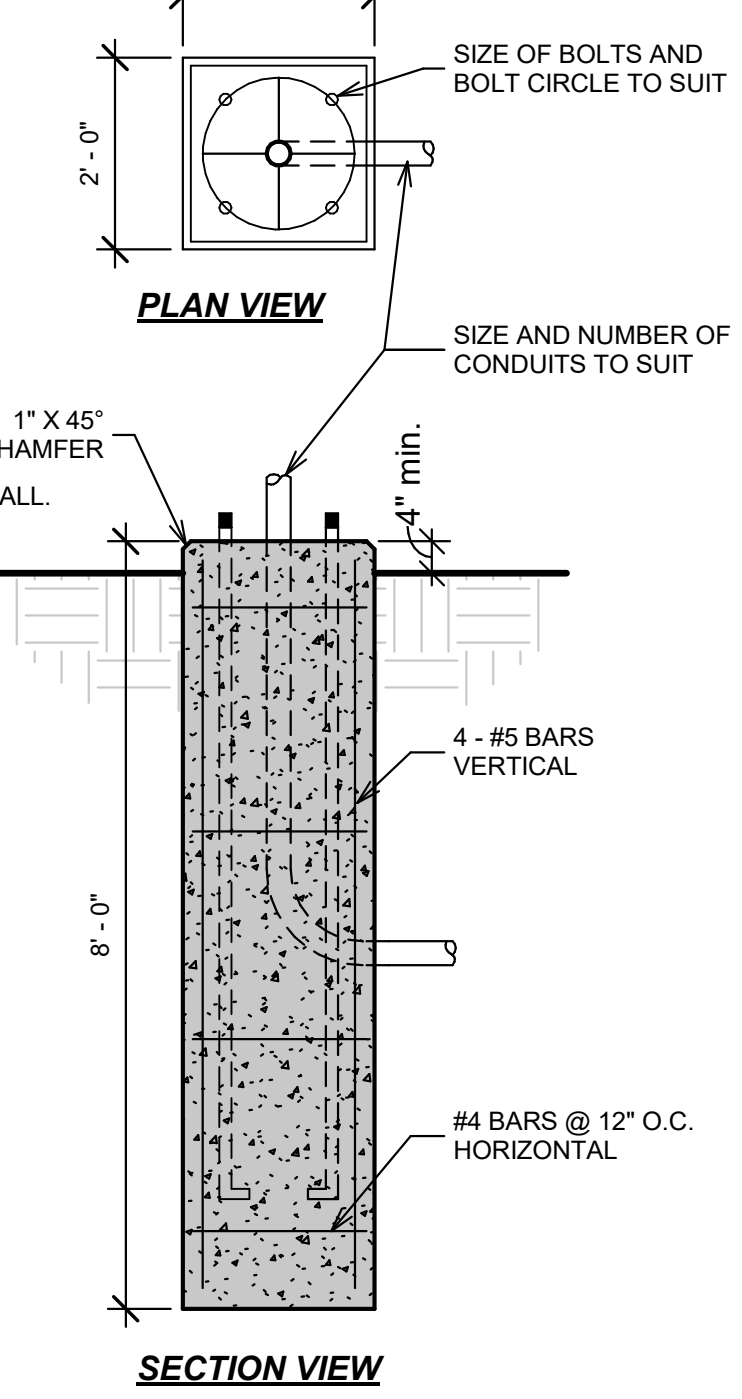
5 GROUND COVER PLANTING DETAIL
SCALE: 3/8" = 1'-0"



2 ORNAMENTAL TREE PLANTING DETAIL
SCALE: 1/4" = 1'-0"



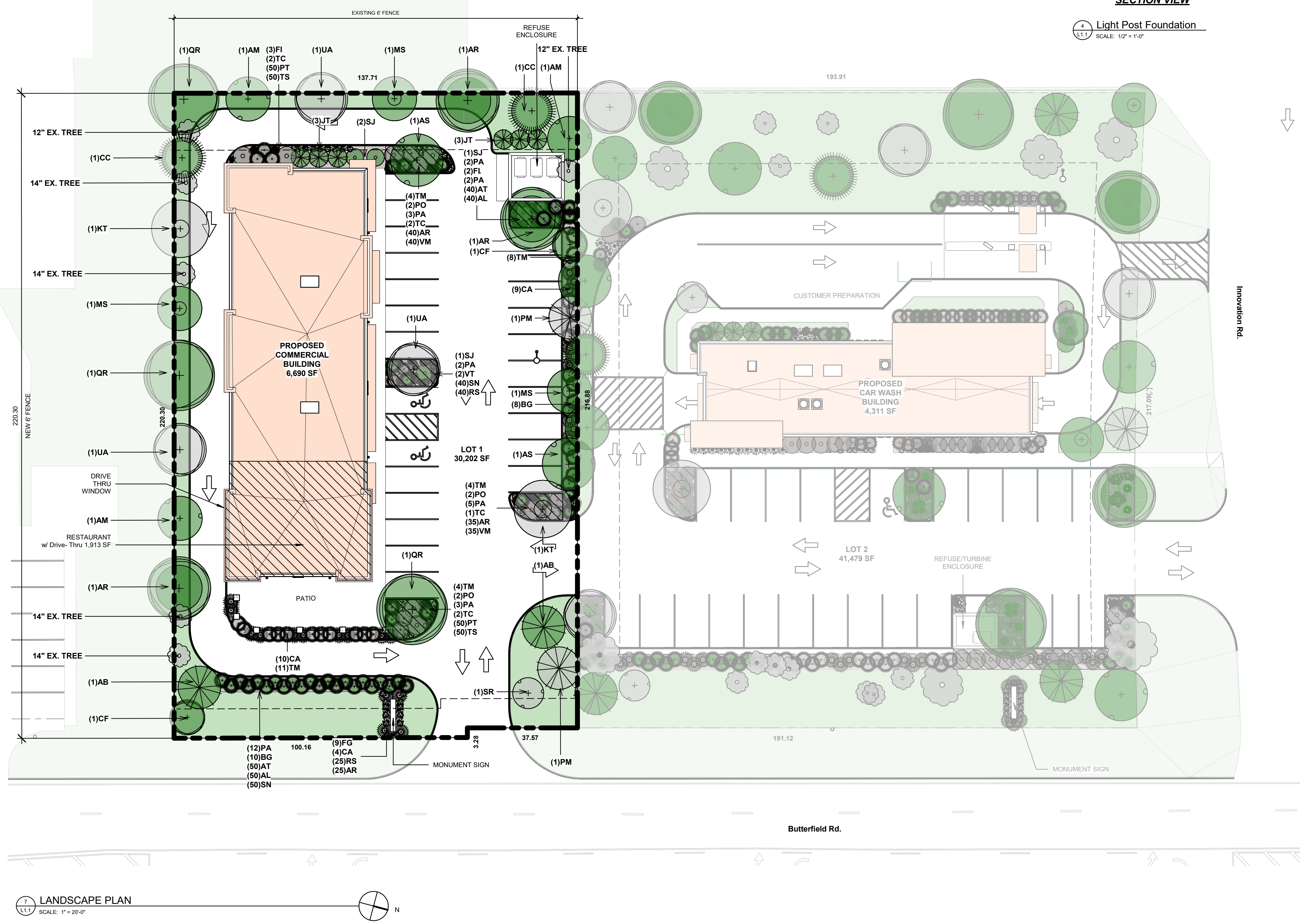
6 DECIDUOUS TREE PLANTING DETAIL
SCALE: 3/16" = 1'-0"



4 Light Post Foundation
SCALE: 1/2" = 1'-0"

LEGEND	QUANT	BOTANICAL NAME	COMMON NAME	MIN. SIZE	NOTES/SPECIAL CONDITIONS
SHADE / PARKWAY DECIDUOUS TREES (Min. Size at planting 3" Caliper) - Parkway Trees shall be max 40' apart					
AR	3	Acer Rubrum	Red Maple	3" caliper / 8' ht	
QR	3	Quercus Rubra	Northern Red Oak	3" caliper / 8' ht	
AS	2	Acer Saccharum	Sugar Maple	3" caliper / 8' ht	
UA	3	Ulmus Americana	American Elm	3" caliper / 8' ht	
KT	2	Cercidiphyllum Japonicum	Katsura Tree	3" caliper / 8' ht	
ORNAMENTAL DECIDUOUS TREES (Min. Size at planting 8' hgt. or 2.5" Caliper)					
CC	2	Cercis Canadensis	Eastern Redbud	3" caliper / 8' ht	
AM	3	Amelanchier Spp.	Serviceberry	3" caliper / 8' ht	
CF	2	Cornus Florida 'Rubra'	Red Flowering Dogwood	3" caliper / 8' ht	
MS	3	Malus Sylvestris	Crabapple	3" caliper / 8' ht	
SR	1	Syringa Reticulata	Japanese Lilac Tree	3" caliper / 8' ht	
EVERGREEN TREES (Min. Size at planting 6' hgt.)					
AB	2	Abies Balsamea	Balsam Fir	6' ht.	
PM	2	Picea Mariana	Black Spruce	6' ht.	
JT	6	Juniperus virginiana 'Taylor'	Taylor Juniper	6' ht.	
EVERGREEN SHRUBS (All Hedges to be maintained and kept below @ max. 4'-0" tall)					
TC	7	Taxus Canadensis	Canada Yew	30" spr. / 36" ht	
BG	18	Buxus x 'Green Velvet'	Green Velvet Boxwood	30" spr. / 36" ht	
TM	19	Taxus x media 'Hicksal'	Hicks Yew Hedge	30" spr. / 36" ht	
DECIDUOUS SHRUBS - (Height at Time of planting dwarf shrubs - 18 inches / shrubs - 26 inches)					
SJ	4	Spiraea Japonica	Japanese Spiraea	30" spr. / 36" ht	
PO	6	Physocarpus Opulifolius	Ninebark	30" spr. / 36" ht	
FI	5	Forsythia x intermedia	Border Forsythia	30" spr. / 36" ht	
VT	2	Viburnum Trilobum	American Cranberry Bush	30" spr. / 36" ht	
ORNAMENTAL GRASS					
CA	23	Calamagrostis Acutiflora 'Karl Foerster'	Feather Reed Grass		
PA	29	Pennisetum Alopecuroides	Fountain Grass		
FG	9	Festuca Glausa	Blue Fescue		
PERENNIALS, GROUNDCOVERS - (plants in mulch beds)					
PT	100	Pachysandra Terminalis	Pachysandra	18" spread / 2' pots	groundcover
TS	100	Thymus Serpyllum	Creeping Thyme	18" spread / 2' pots	groundcover
AR	100	Ajuga Reptans	Ajuga	18" spread / 2' pots	groundcover
VM	75	Vinca Minor	Vinca Minor	18" spread / 2' pots	groundcover
AT	90	Asclepias Tuberosa	Butterfly Weed	18" spread / 2' pots	perennials
AL	90	Allium Lustanicum	Allium Summer Beauty	18" spread / 2' pots	perennials
SN	90	Symphotrichum Novae-Angliae	New England Aster	18" spread / 2' pots	perennials
RS	65	Rudbeckia Speciosa	Black-eyed Susan	18" spread / 2' pots	perennials

- NOTES
- BUFFER YARD LANDSCAPING IS REQUIRED ALONG THE WEST AND SOUTH PROPERTY LINES (A MINIMUM OF 5' IN WIDTH, AND THE FOLLOWING LANDSCAPING IS REQUIRED)
 - SHADE TREES SHALL BE PLANTED ON AN AVERAGE OF 1 TREE FOR EVERY 25 LINEAR FEET OF YARD LENGTH. AS PART OF THE LANDSCAPE PLAN APPROVAL, TREES MAY BE SPACED AT VARIOUS INTERVALS BASED ON SPECIFIC SITE REQUIREMENTS OR DESIGN SCHEME, BUT THE TOTAL NUMBER OF TREES PLANTED WILL BE NO LESS THAN THE AMOUNT REQUIRED BY A LINEAR PLANTING SPACE 25 FEET APART.
 - AN OPAQUE MASONRY WALL, SOLID WOOD OR SIMULATED WOOD SCREEN FENCE, OR DENSE EVERGREEN HEDGE AT LEAST 6' IN HEIGHT SHALL BE ERRECTED ALONG 100% OF THE YARD LENGTH.
 - SHRUBS SHALL BE PLANTED ON AN AVERAGE OF 1 SHRUB FOR EVERY 3 FEET OF YARD LENGTH. AS PART OF THE LANDSCAPE PLAN APPROVAL, SHRUBS MAY BE SPACED AT VARIOUS INTERVALS BASED ON SPECIFIC SITE REQUIREMENTS OR DESIGN SCHEME, BUT THE TOTAL NUMBER OF SHRUBS PLANTED WILL BE NO LESS THAN THE AMOUNT REQUIRED BY A LINEAR PLANTING SPACED 3 FEET APART.
 - IRRIGATION, LANDSCAPE DESIGN PURSUANT TO THE REQUIREMENTS OF THIS CHAPTER SHALL RECOGNIZE THE NEED FOR IRRIGATION AND WATER CONSERVATION. SPRINKLER IRRIGATION SYSTEMS MAY BE REQUIRED FOR CERTAIN LANDSCAPED AREAS, AS DETERMINED BY A LANDSCAPE ARCHITECT. THE NEED FOR SPRINKLER IRRIGATION SYSTEMS SHALL BE DETERMINED BY THE TYPE OF PLANT MATERIAL, AND THE CONDITION/GROWING MEDIUM THAT THEY ARE INSTALLED IN. FOR INSTANCE, WHETHER THERE IS A PERMANENT MEANS AVAILABLE TO WATER PLANT MATERIAL, SUCH AS HOSE BIBS, SHALL BE A CONSIDERATION. ALL IRRIGATION SYSTEMS SHALL BE DESIGNED TO MINIMIZE THE USE OF WATER.



7 LANDSCAPE PLAN
SCALE: 1" = 20'-0"

NERI ARCHITECTS
6400 N NORTHWEST HWY SUITE 4 CHICAGO, IL 60631 TEL 847.825.9400

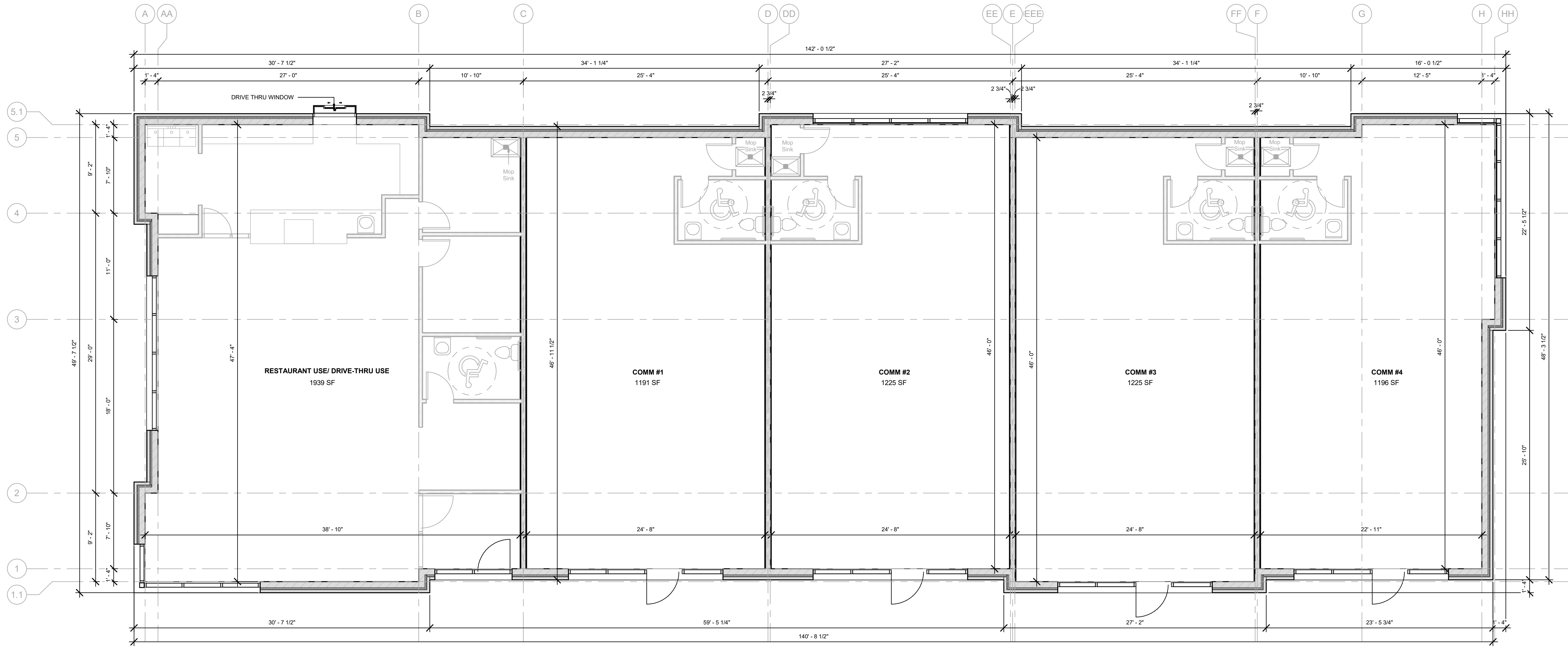
PROJECT # 2421
DATE: 08/08/24

STATE OF ILLINOIS
GUIDO C NERI
#001-12341
PARK RIDGE ILLINOIS
LICENSED ARCHITECT

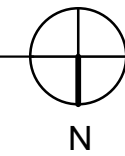
NEW RETAIL/COMMERCIAL DEVELOPMENT BUILDING
1250 BUTTERFIELD RD. MUNDELEIN, IL
ZONING REVIEW - NOT FOR CONSTRUCTION

07.10.25	ZONING REVIEW
REVISIONS	
DRAWN BY:	RAM
APPROVED BY:	GCN / MAM
SCALE:	AS NOTED
DESCRIPTION:	LANDSCAPE PLAN
SHEET NO.	L1.1

Page 115 of 150



1 FIRST FLOOR PLAN
A2.1 SCALE: 3/16" = 1'-0"



PROJECT # 2421
DATE: 08/08/24



**NEW RETAIL/COMMERCIAL
DEVELOPMENT BUILDING**

1250 BUTTERFIELD RD.
MUNDELEIN, IL

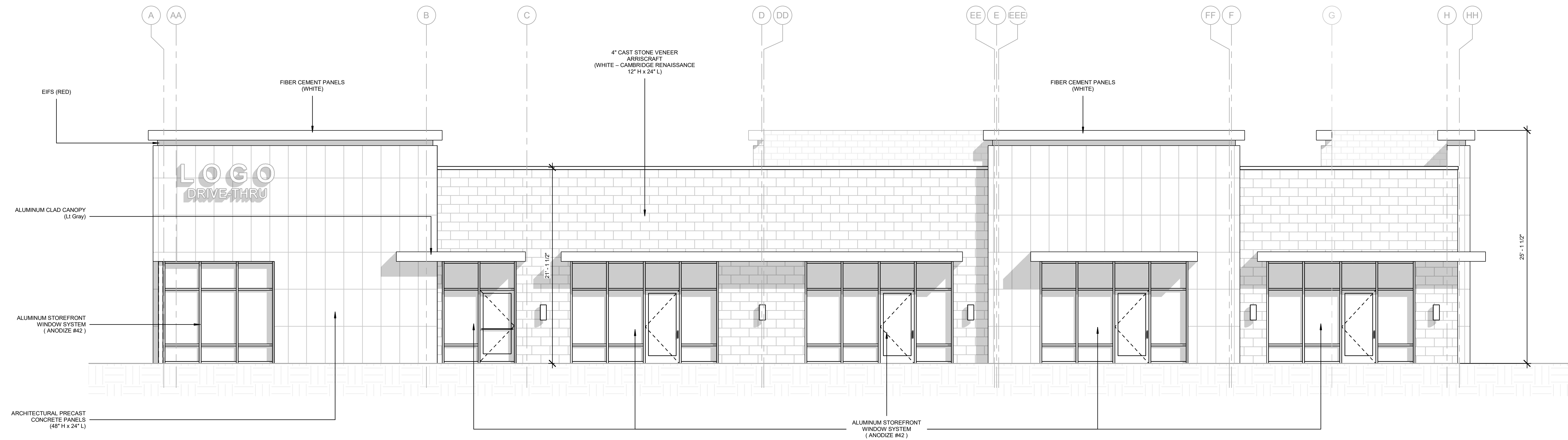
ZONING REVIEW - NOT FOR CONSTRUCTION

07.10.25	ZONING REVIEW
REVISIONS	
DRAWN BY:	RAM
APPROVED BY:	GCN / MAM
SCALE:	AS NOTED
DESCRIPTION:	FLOOR PLAN

SHEET NO.
A2.1



2 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



1 NORTH ELEVATION
SCALE: 3/16" = 1'-0"

PROJECT # 2421
DATE: 08/08/24



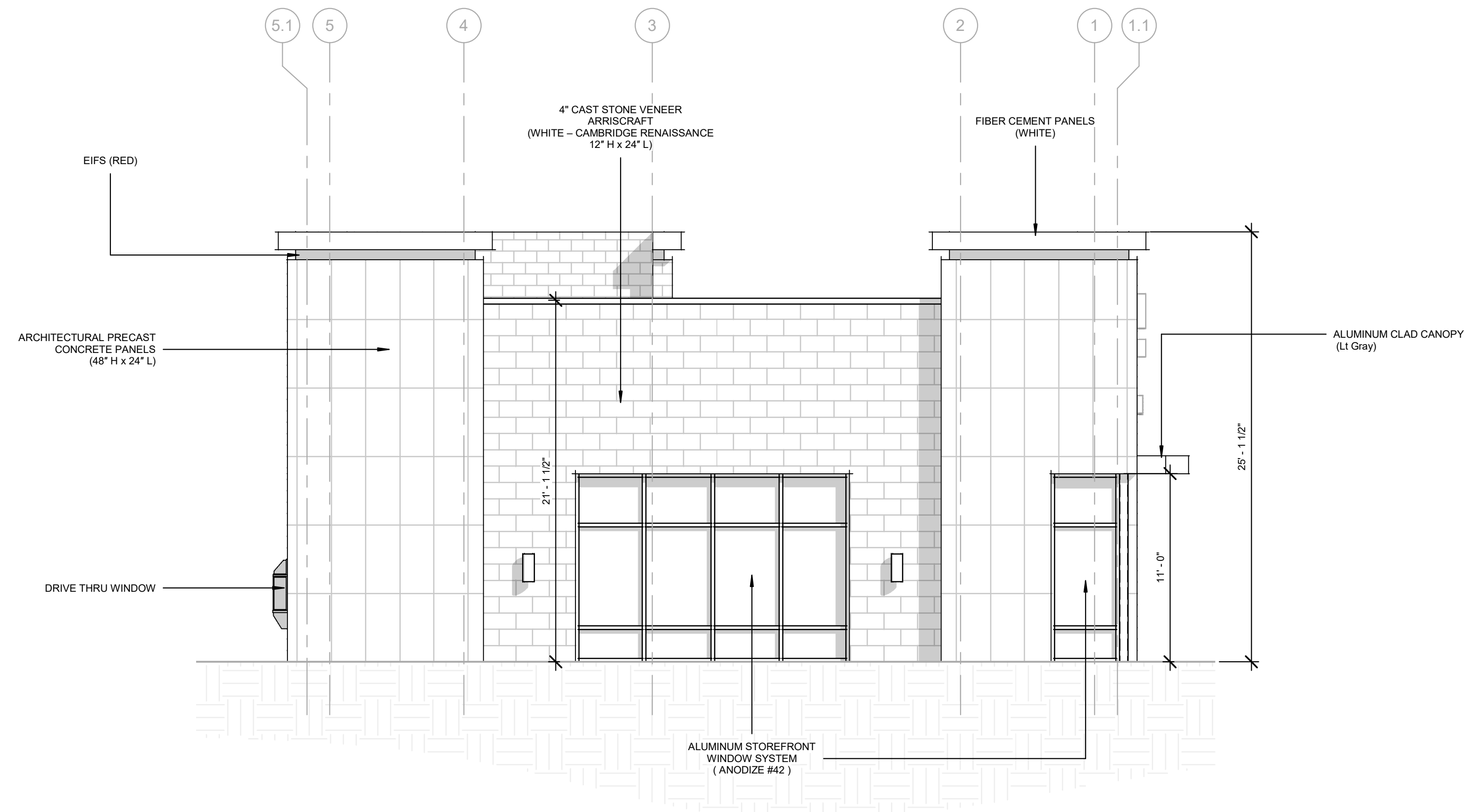
NEW RETAIL/COMMERCIAL DEVELOPMENT BUILDING

1250 BUTTERFIELD RD.
MUNDELEIN, IL

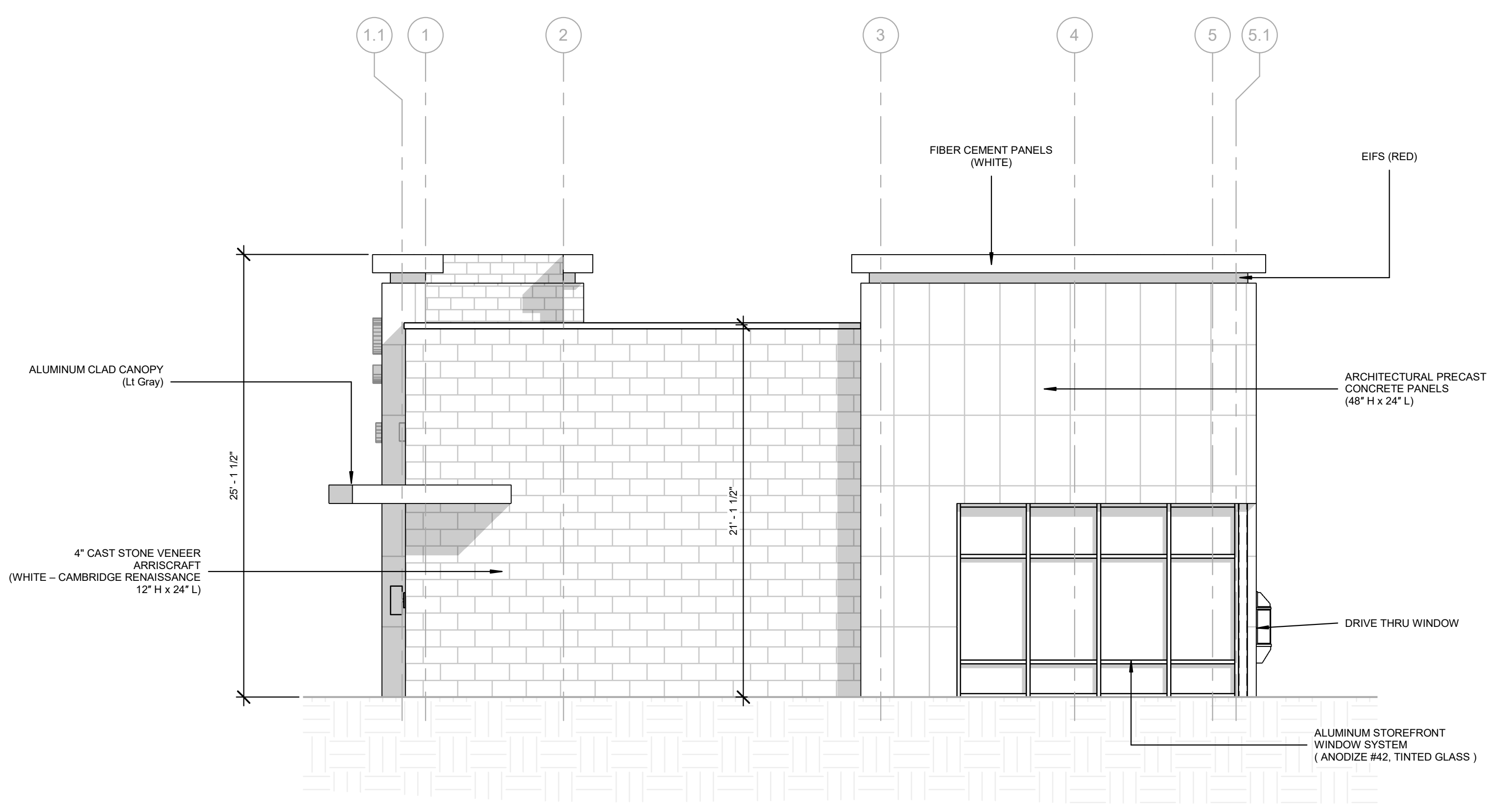
ZONING REVIEW - NOT FOR CONSTRUCTION

07.10.25	ZONING REVIEW
REVISIONS	
DRAWN BY:	RAM
APPROVED BY:	GCN / MAM
SCALE:	AS NOTED
DESCRIPTION:	MAIN ELEVATIONS

SHEET NO. **A5.0**



1 EAST ELEVATION
SCALE: 3/16" = 1'-0"



2 WEST ELEVATION
SCALE: 3/16" = 1'-0"

PROJECT # 2421
DATE: 08/08/24



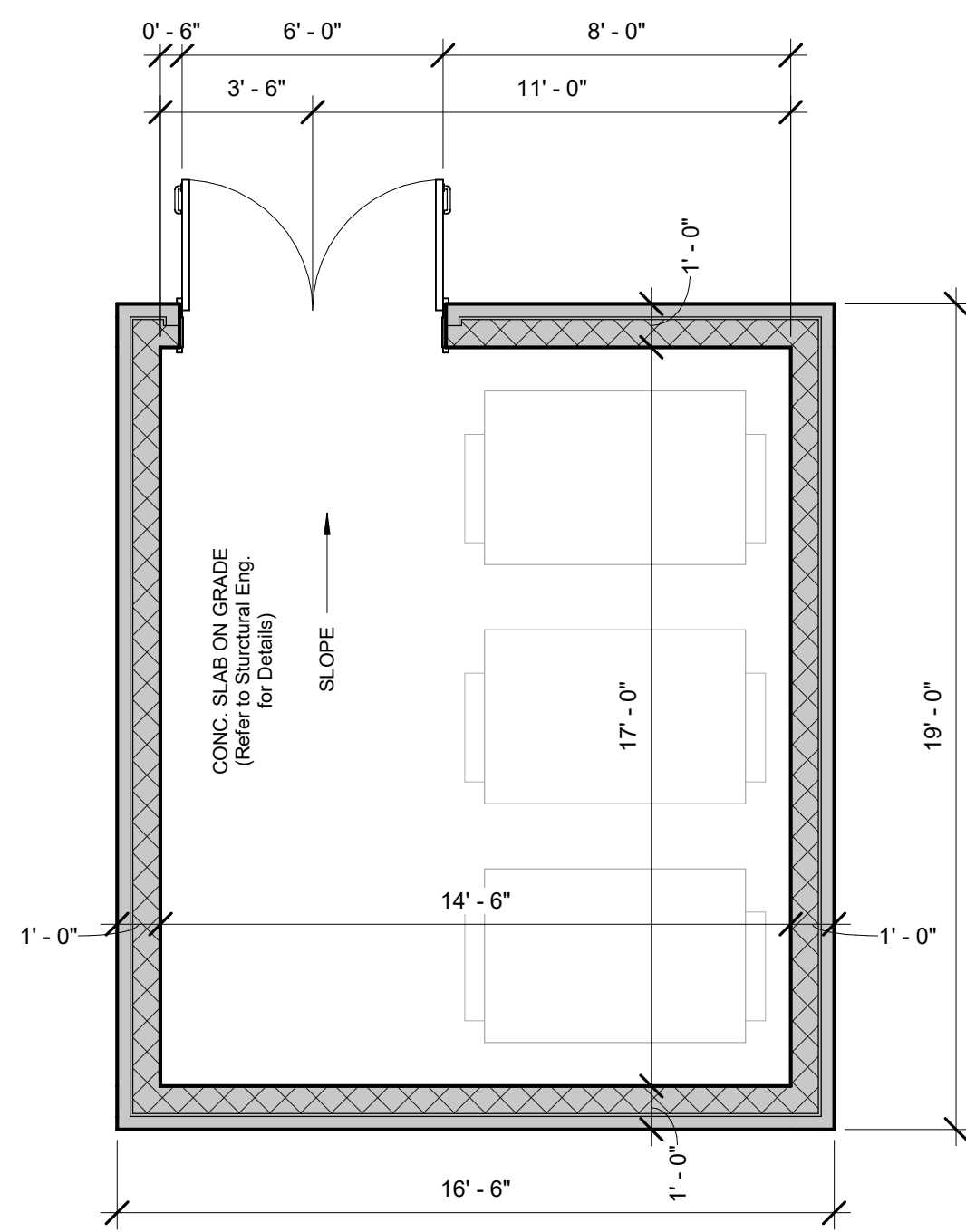
NEW RETAIL/COMMERCIAL DEVELOPMENT BUILDING

1250 BUTTERFIELD RD.
MUNDELEIN, IL

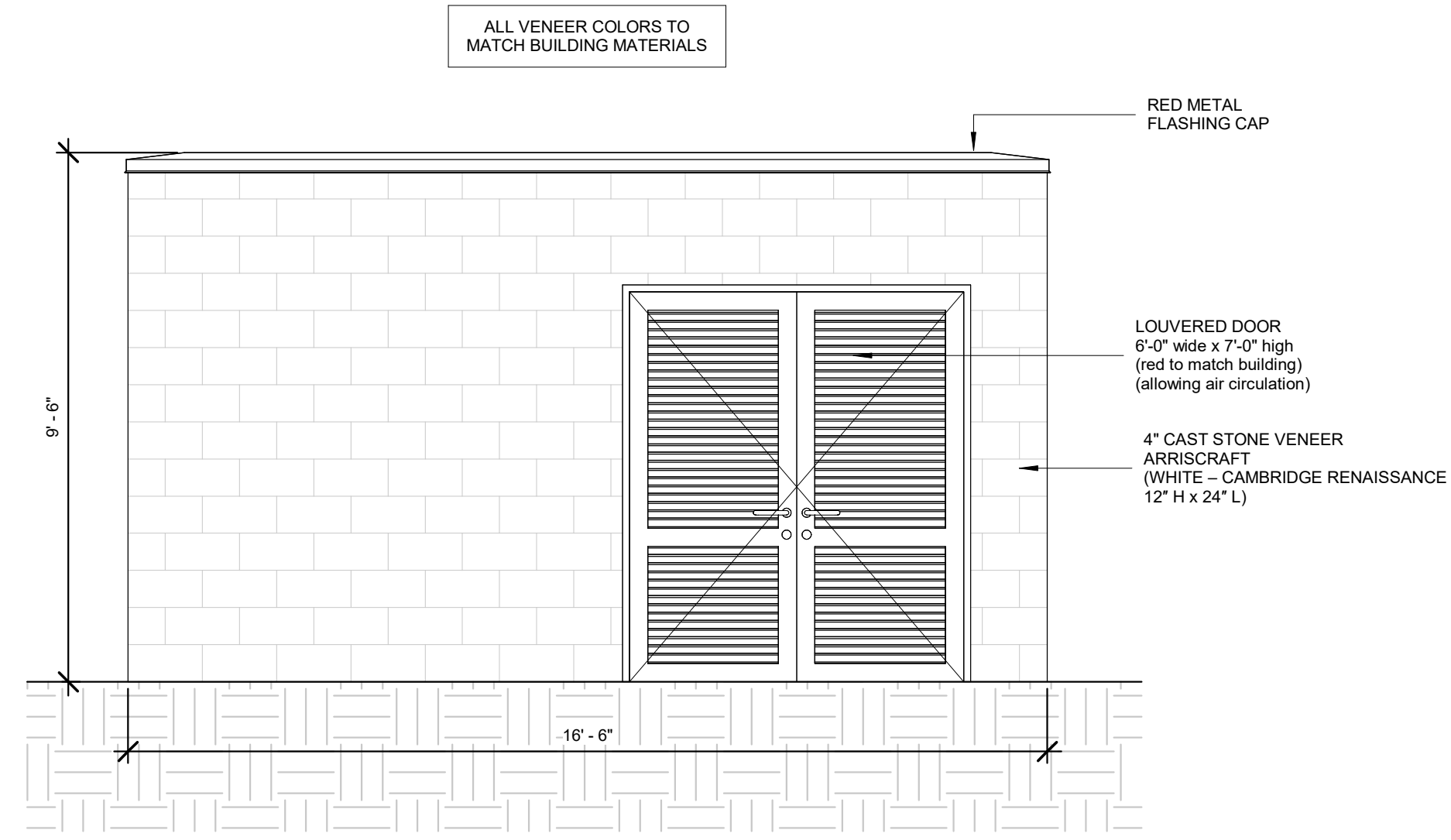
ZONING REVIEW - NOT FOR CONSTRUCTION

07.10.25	ZONING REVIEW
REVISIONS	
DRAWN BY:	RAM
APPROVED BY:	GCN / MAM
SCALE:	AS NOTED
DESCRIPTION:	MAIN ELEVATIONS

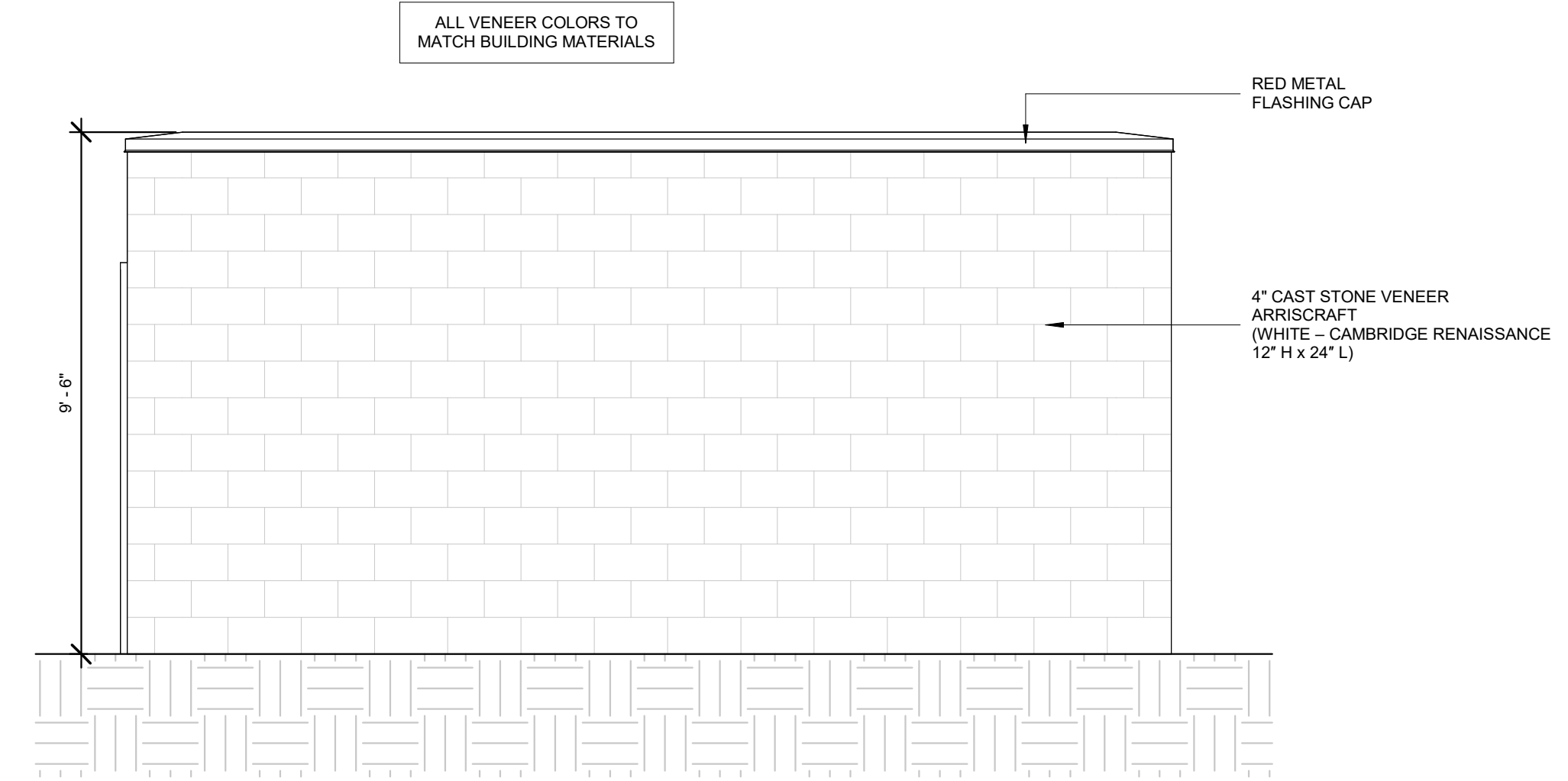
SHEET NO. **A5.1**



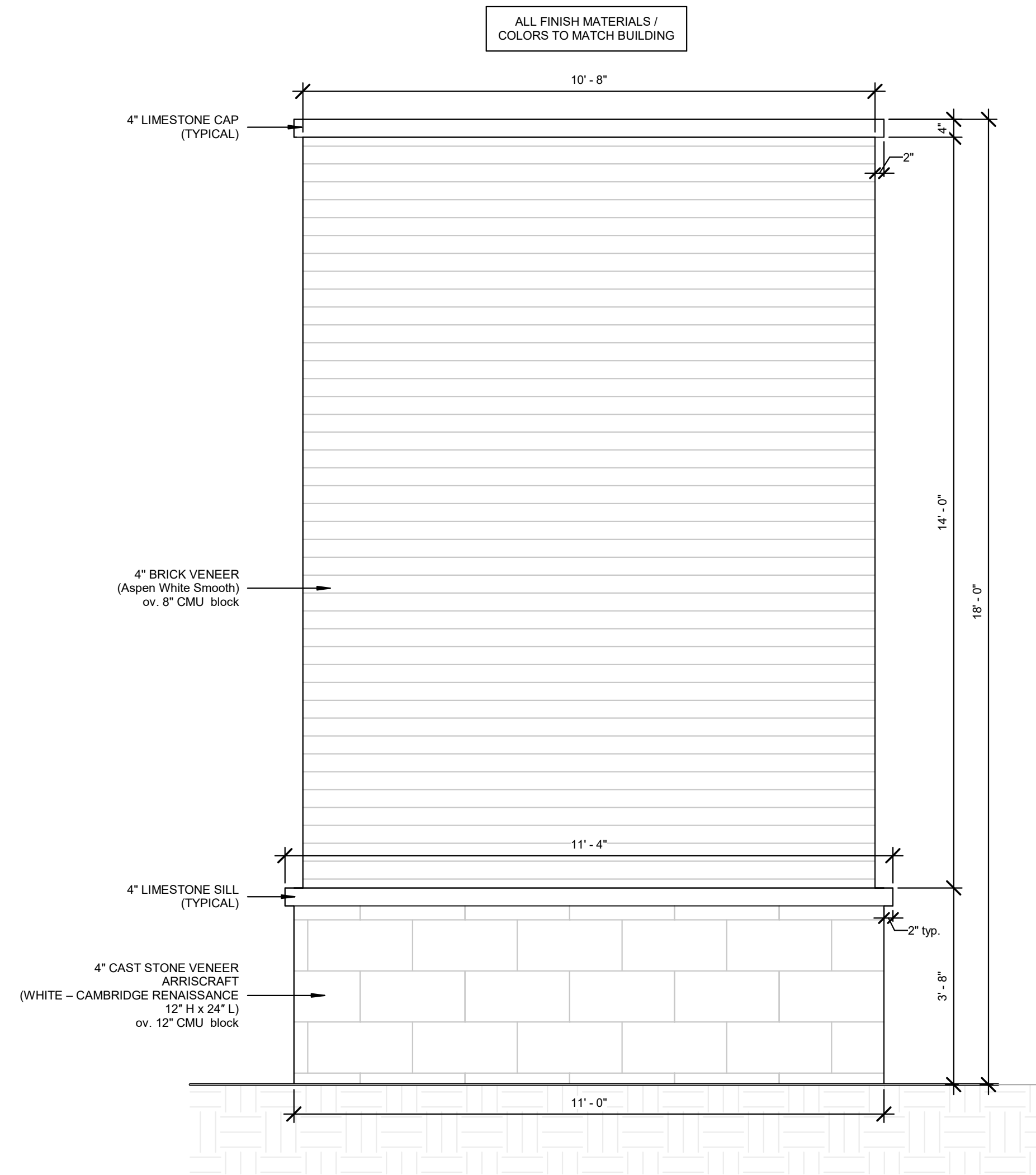
1 REFUSE PLAN
SCALE: 1/4" = 1'-0"



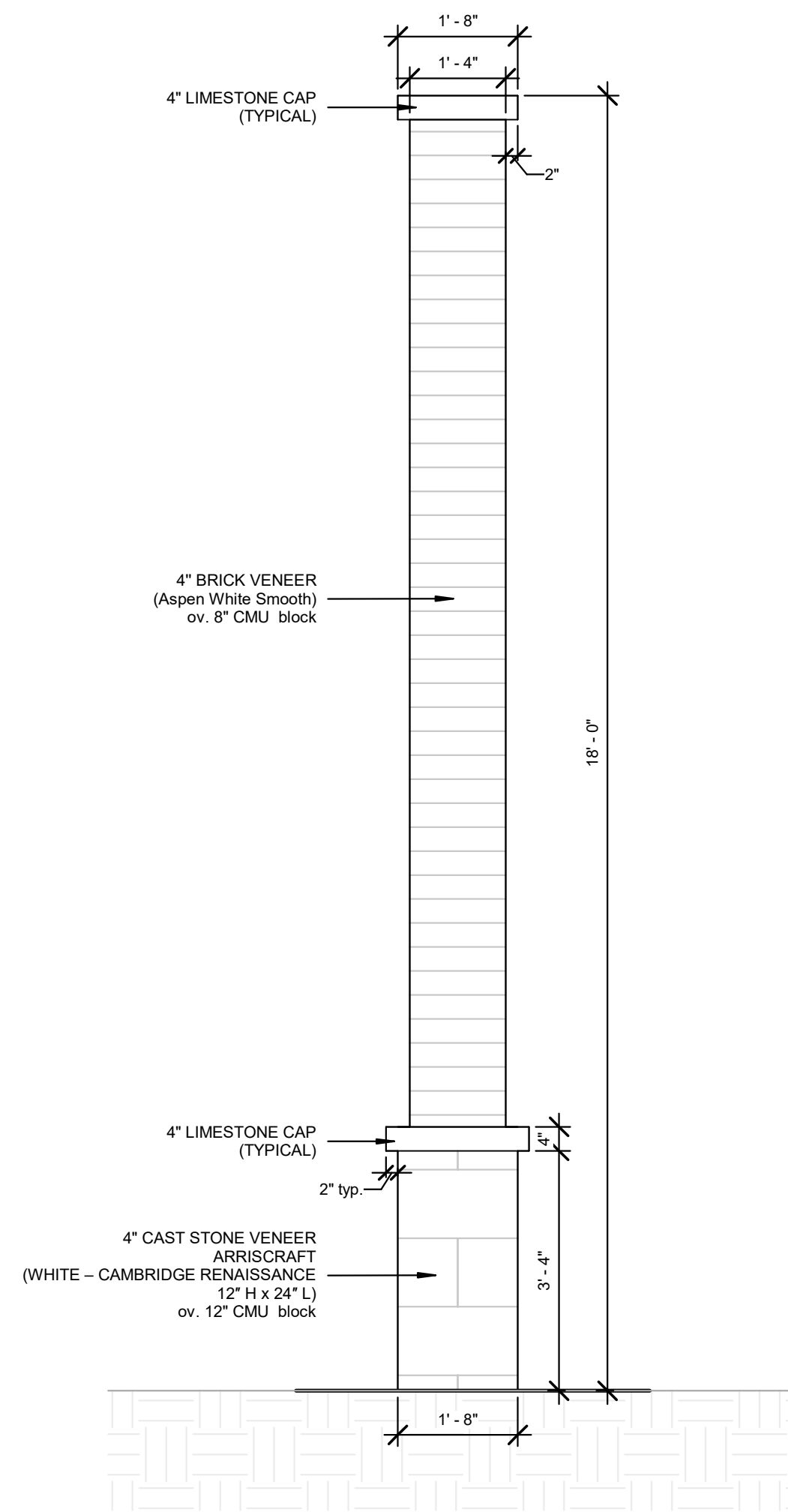
2 REFUSE (Entry)
SCALE: 3/8" = 1'-0"



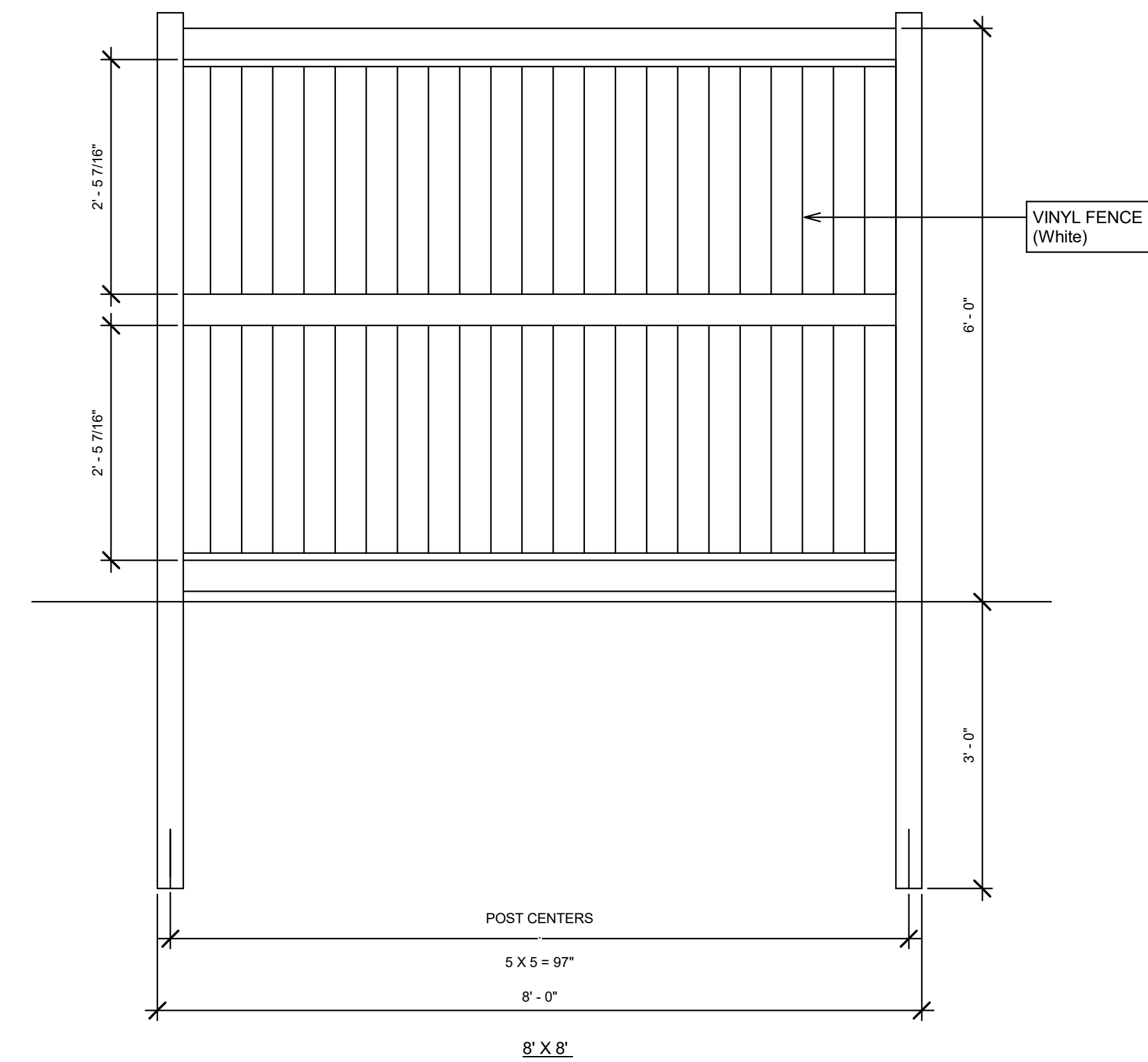
3 REFUSE (Sides)
SCALE: 3/8" = 1'-0"



4 MULTI-TENANT MONUMENT SIGN - FACE
SCALE: 1/2" = 1'-0"



5 MULTI-TENANT MONUMENT SIGN - SIDE
SCALE: 1/2" = 1'-0"



6 PRIVACY FENCE DETAIL
SCALE: 3/4" = 1'-0"



NEW RETAIL/COMMERCIAL
DEVELOPMENT BUILDING

1250 BUTTERFIELD RD.
MUNDELEIN, IL

ZONING REVIEW - NOT FOR CONSTRUCTION

PROJECT # 2421
DATE: 08/08/24

07.10.25 ZONING REVIEW
DRAWN BY: RAM
APPROVED BY: GCN / MAM
SCALE: AS NOTED
DESCRIPTION: MONUMENT SIGN, REFUSE ENCLOSURE
SHEET NO.

A7.0



2515
07.10.25
Z-13

1
Z-13 VIEW LOOKING SOUTHEAST (COMM. BLDG)
SCALE: 1 1/2" = 1'-0"



2515
07.10.25
Z-14

1
Z-14 VIEW LOOKING SOUTHWEST (COMM. BLDG)
SCALE: 1 1/2" = 1'-0"



2515
07.10.25
Z-15

1
Z-15 VIEW LOOKING NORTHWEST (COMM. BLDG)
SCALE: 1 1/2" = 1'-0"

ARCHITECT

NERI ARCHITECTS

222 S. PROSPECT AVE. 3RD FLOOR
PARK RIDGE, IL 60068
P. 847.825.9400

LICENSE # 001-12341
EXPIRATION DATE: NOVEMBER, 2026

DEVELOPER INFO

Adam Ahmad
Imran Ahmad and Nargis Jahan Trust
5420 Belmont Ct. Libertyville, IL 60048
mr.adam.ahmad@gmail.com
847-371-1847

CONSULTANTS INFO:

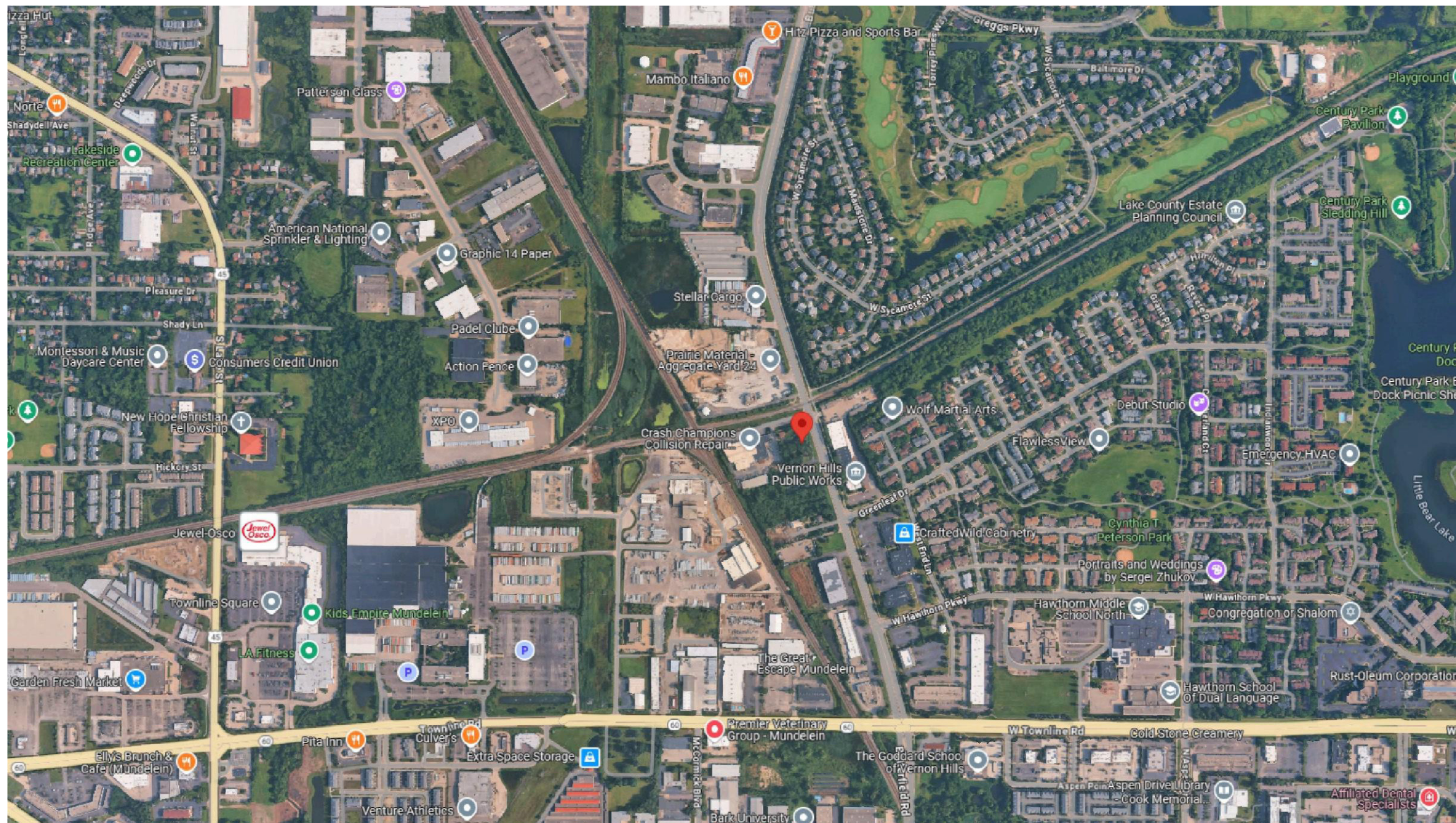
CIVIL ENGINEER
TERRA CONSULTING GROUP, LTD.
600 BUSSE HWY, PARK RIDGE, IL 60068
Phone: 847-698-6400

MEP ENGINEER
Dr. Al Gonzalez P.E.
DOTec Engineering
424 Jefferson Street
St. Charles, MO 63301
Ph 636-724-9872 | Fx 636-724-9032
noahj@dotecengineering.com

STRUCTURAL ENGINEER
DG STRUCTURAL ENGINEERING LLC
111 N WABASH, Suite100-#3436
Chicago, IL 60602
Phone: 708-668-1380
Email: deepak@dgstructural.com

EQUIPMENT DESIGNER
NCS WASH SOLUTIONS
Patrick De Prisco
VP System Sales
National Carwash Solutions
d: 602.267.1457 - m: 602.721.7760

LOCATION MAP



ZONING DATA

ADDRESS: 1212 BUTTERFIELD RD. MUNDELEIN, IL
PIN#: 11-32-300-089-0000
ACREAGE: TOTAL = ± 0.952 AC.
ZONING: M-1 (General Manufacturing)

PROJECT DATA

SCOPE OF WORK: NEW COMMERCIAL BUILDING

APPLICABLE CODES:
(Building codes have been adopted by the Village of Mundelein)

- 2018 INTERNATIONAL BUILDING CODE, w/ LOCAL AMENDMENTS*
- 2018 STATE OF ILLINOIS ACCESSIBILITY CODE
- 2021 INTERNATIONAL ENERGY CONSERVATION CODE
- 2018 INTERNATIONAL FIRE PREVENTION CODE, w/ LOCAL AMENDMENTS
- 2018 NATIONAL ELECTRIC CODE, w/ LOCAL AMENDMENTS*
- 2017 NATIONAL FIRE PREVENTION CODE, w/ LOCAL AMENDMENTS*
- 2018 INTERNATIONAL MECHANICAL CODE
- 2014 STATE OF ILLINOIS PLUMBING CODE
- 2018 INTERNATIONAL PROPERTY MAINTENANCE CODE, w/ LOCAL AMENDMENTS*

CLIMATE ZONE: 5A

EXISTING USE: COMMERCIAL BUILDING

BUILDING DESCRIPTION

USE GROUP: COMMERCIAL CARWASH
BUILDING HEIGHT: ONE STORY (24'-2")
CONSTRUCTION TYPE: IIB / NON-SPRINKLERED
PROPOSED BUILDING AREA: 4,311 SQ. FT.

ZONING CALC

1212 Butterfield Rd, Mundelein IL
current lot zoning: M-1 (General Manufacturing)
lot area: 41,479 s.f.
use: Car Wash

MIN. LOT AREA CALCULATIONS:	PROPOSED	REQD
41,479 s.f.	41,479 s.f.	10,000.0 s.f.
MIN. LOT WIDTH:	PROPOSED	REQD
191.12'	191.12'	100.0'
MAX BLDG HT:	PROPOSED	ALLOWED
30'-7"	30'-7"	47'-0"
YARDS:	PROPOSED	REQUIRED
FRONT YARD: 27'-0"	27'-0"	25'-0"
INT SIDE YARD: 31'-5"	31'-5"	15'-0"
CORNER SIDE YARD: NA	NA	25'-0"
REAR YARD: 79'-0"	79'-0"	25'-0"
LOT COVERAGE CALCULATIONS:	PROPOSED	ALLOWED
footprint area of building: 4,311 s.f.	4,311 s.f.	NA
TOTAL LOT COVERAGE	4,311 s.f.	NA
OPEN SPACE:	PROPOSED	REQUIRED
footprint area of building: 4,311 s.f.	4,311 s.f.	NA
hardscape: 22,601 s.f.	22,601 s.f.	NA
TOTAL IMPERVIOUS AREA:	26,912 s.f.	NA
TOTAL OPEN SPACE: 14,567 s.f.	14,567 s.f.	NA
FLOOR AREA CALCULATIONS:	PROPOSED	ALLOWED
TOTAL FLOOR AREA	4,311 s.f.	NA
Ground floor	4,311 s.f.	NA
TOTAL AREA OF BUILDING	4,311 s.f.	NA
PARKING CALCULATIONS:	PROPOSED	REQUIRED
car wash (4,311 s.f.)	5 sp	5 sp (5 per bay)
vacuum stations	20 sp	
parking spaces for employees	3 sp	
TOTAL PARKING SPACES:	23 sp	5 sp

PROJECT NOTES CODES, STANDARDS, AND PROCEDURES

- ALL CONSTRUCTION SHALL COMPLY WITH STATE OF ILLINOIS BUILDING CODES, VILLAGE OF MUNDELEIN ZONING AND BUILDING CODES, AND ALL OF THE UNITED STATES OF AMERICA FEDERAL AGENCY REQUIREMENTS.
- BEFORE DOING ANY CONSTRUCTION, CONTACT LOCAL ELECTRIC COMPANY AND ASK FOR THE "NEW BUSINESS GROUP". REQUEST AN ONSITE MEETING AND COORDINATION OF PROPOSED WORK. BRING ARCHITECTURAL DRAWINGS AND OBTAIN APPROVAL ON CLEARANCES FOR ALL NEW STRUCTURES BEING BUILT AND/ OR ELECTRIC SERVICE BEING MOVED AND/ OR UPGRADED.
- BEFORE DOING ANY CONSTRUCTION, CONTACT J.U.L.I.E. TO DETERMINE THE LOCATION OF ANY UNDERGROUND UTILITIES WHICH MAY AFFECT PROPOSED SITE WORK. 8-1-1 IS THE NATIONWIDE TOLL-FREE NUMBER FOR LOCATION SERVICES. CALL JULIE'S TOLL-FREE NUMBER 1-800-892-0123.
- ALL CARWASH EQUIPMENT SHALL BE PROVIDED BY NCS WASH SOLUTIONS AND COORDINATED W/ NERI ARCHITECTS' INFORMATION.
- ALL REFERENCES TO CODES, SPECIFICATIONS, AND STANDARDS, REFERRED TO IN THE SPECIFICATIONS AND / OR DRAWINGS SHALL MEAN THE LATEST EDITION, AMENDMENT OR REVISION OF SUCH REFERENCE IN EFFECT AS OF THE LATEST DATE OF THE CONTRACT DOCUMENTS.
- ALL WORK SHALL COMPLY WITH THE REQUIREMENTS, POLICIES, AND PROCEDURES OF THE OWNER.
- DRAWINGS AND SPECIFICATIONS ARE TO BE ISSUED TO THE SUBCONTRACTORS IN COMPLETE SETS SO THAT THE FULL EXTENT OF WORK IS SHOWN AND COORDINATION OF WORK IS MADE POSSIBLE.
- ALL WORK SHALL BE OF THE HIGHEST QUALITY FOLLOWING THE CONTRACT DOCUMENTS, PROJECT SPECIFICATIONS, MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS, AND THE BEST ACCEPTED TRADE PRACTICES AND STANDARDS.
- DETAILS SHOWN ARE INTENDED TO BE INDICATIVE OF THE PROFILES AND TYPES OF DETAILING REQUIRED FOR THE WORK. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE DETAILED.
- PROVIDE ALL SHOP DRAWINGS, CATALOG CUTS, SAMPLES, ETC. FOR THE NECESSARY WORK REQUIRED AND FOR ARCHITECT'S REVIEW PRIOR TO COMMENCEMENT OF THE WORK.
- EACH CONTRACTOR SHALL KEEP ACCURATE RECORDS OF ALL WORK WHICH DIFFERS FROM CONTRACT DOCUMENTS SO THAT ACCURATE RECORD DRAWINGS AND SPECIFICATIONS CAN BE KEPT AND PROVIDED TO THE OWNER AT PROJECT CLOSEOUT.
- EACH CONTRACTOR SHALL VISIT THE SITE AND BE KNOWLEDGEABLE OF CONDITIONS THERE OF. FAILURE TO EXAMINE THE SITE AND DETERMINE EXISTING CONDITIONS OR NATURE OF NEW CONSTRUCTION, OR NATURE AND EXTENT OF WORK TO BE PERFORMED BY OTHER TRADES WILL NOT BE CONSIDERED A BASIS FOR GRANTING OF ADDITIONAL COMPENSATION.
- THE CONTRACTOR SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL REQUIREMENTS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY CONDITIONS CONTRARY TO THE CONSTRUCTION DOCUMENTS THAT REQUIRE MODIFICATION BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING SITE ELEMENTS FROM DAMAGE DUE TO THE CONSTRUCTION OPERATIONS, AND REPAIR OR REPLACE ANY ELEMENTS DAMAGED DURING THE PROJECT.
- ANY UTILITY SHUT-OFFS AS REQUIRED BY THE CONTRACTOR FOR COMPLETION OF THEIR WORK SUCH AS ELECTRICAL, GAS, WATER/ND COORDINATED W/ NERI ARCHITECTS' INFORMATION.

SHEET INDEX

TITLE	NO.	DESCRIPTION
T-1.0	COVERSHEET & PROJECT INFO	
CIVIL		
C-1	TITLE SHEET	
C-2	SPECIFICATIONS	
C-3	SPECIFICATIONS - ERIE COUNTY SANITARY SEWERS	
C-4	SPECIFICATIONS - ERIE COUNTY WATER MAINS	
C-5	EXISTING CONDITIONS & DEMOLITION PLAN	
C-6	GEOMETRIC PLAN	
C-7	GRADING PLAN	
C-8	UTILITY PLAN	
C-9	SANITARY SEWER MAIN PLAN & PROFILE	
C-10	STORM SEWER MAIN PLAN & PROFILE	
C-11	STORMWATER POLLUTION PREVENTION PLAN	
C-12	STORMWATER POLLUTION PREVENTION DETAILS	
C-13	DRAINAGE EXHIBIT	
C-14	DETAILS	
C-15	DETAILS	
C-16	DETAILS	
C-17	DETAILS	
GENERAL NOTES		
G-1.1	GENERAL NOTES	
G-1.2	SITE PLAN	
LANDSCAPE		
L1.1	LANDSCAPE PLAN	
ARCHITECTURAL		
A-2.0	FOUNDATION PLAN	
A-2.1	FLOOR PLAN	
A-2.2	CEILING & ROOF PLANS	
A-2.3	BATHROOM PLANS & ELEVATIONS	
A-4.0	LIFE SAFETY	
A-4.1	WALL TYPES	
A-5.0	MAIN ELEVATIONS	
A-5.1	MAIN ELEVATIONS & WINDOW SCHDL.	
A-6.0	BUILDING SECTIONS	
A-6.1	DETAILS	
A-6.4	FIRESTOPPING DETAILS	
A-7.0	SIGNAGE	
A-7.1	PAY STATION, REFUSE/TURBINE ENCLOSURE, MONUMENT SIGN	
A-8.0	DOOR SCHEDULE	
STRUCTURAL		
S-101	GENERAL NOTES	
S-201	FOUNDATION PLAN	
S-202	1st FLOOR PLAN	
S-203	MEZZANINE PLAN	
S-204	ROOF PLAN	
S-301	SECTIONS & DETAILS	
S-302	SECTIONS & DETAILS	
MECHANICAL		
M-2.0	SITE PLAN	
M-2.1	FLOOR PLAN	
M-2.2	MEZZANINE DECK	
M-3.0	MECH SCHEDULES, NOTES, DETAILS	
M-3.1	MECH SCHEDULES, NOTES & DETAILS	
M-3.2	MECH SCHEDULES, NOTES, DETAILS	
M-3.3	MECH SCHEDULES, NOTES, DETAILS	
ELECTRICAL		
E-2.0	ELECTRIC SITE PLAN	
E-2.1	FLOOR POWER PLAN	
E-2.2	MEZZANINE POWER PLAN	
E-2.3	FIRST AND MEZZ LIGHTING PLAN	
E-2.4	SITE PLAN PHOTOMETRICS	
E-3.0	ELEC SCHEDULES, NOTES, & DETAILS	
E-3.1	ELEC SCHEDULES, NOTES, & DETAILS	
E-3.2	ELECTRICAL EQUIPMENT PLANS	
E-3.3	ELECTRICAL EQUIP. SCHEDULES	
E-3.4	MOTOR CONTROL CENTER	
E-3.5	ELEC DRIVE DETAILS	
PLUMBING		
P-2.0	SITE PLAN	
P-2.1	FLOOR PLAN	
P-2.2	MEZZANINE DECK	
P-3.0	PLUM SCHEDULES, DETAILS & NOTES	
P-3.1	PLUMBING EQUIPMENT PLAN	
P-3.2	PLUMBING EQUIP SCHEDULE	
P-3.3	AIR EQUIP SCHEDULE	

GENERAL CONTRACTOR & SUBCONTRACTOR NOTES:
1. ALL CAR WASH EQUIPMENT PRODUCT DATA, SHOP DRAWINGS, ETC. ARE TO BE REVIEWED AND COORDINATED BY THE GENERAL CONTRACTOR AND SUBCONTRACTORS.
2. RFIs MUST BE SUBMITTED IF CONFLICTS ARE SEEN BETWEEN CIVIL, ARCHITECTURAL, EQUIPMENT OR ANY OTHER DRAWING OR SPECIFICATIONS RELATED TO THIS PROJECT. PLEASE REVIEW ALL PLAN SETS PRIOR TO BIDDING OR CONSTRUCTION.

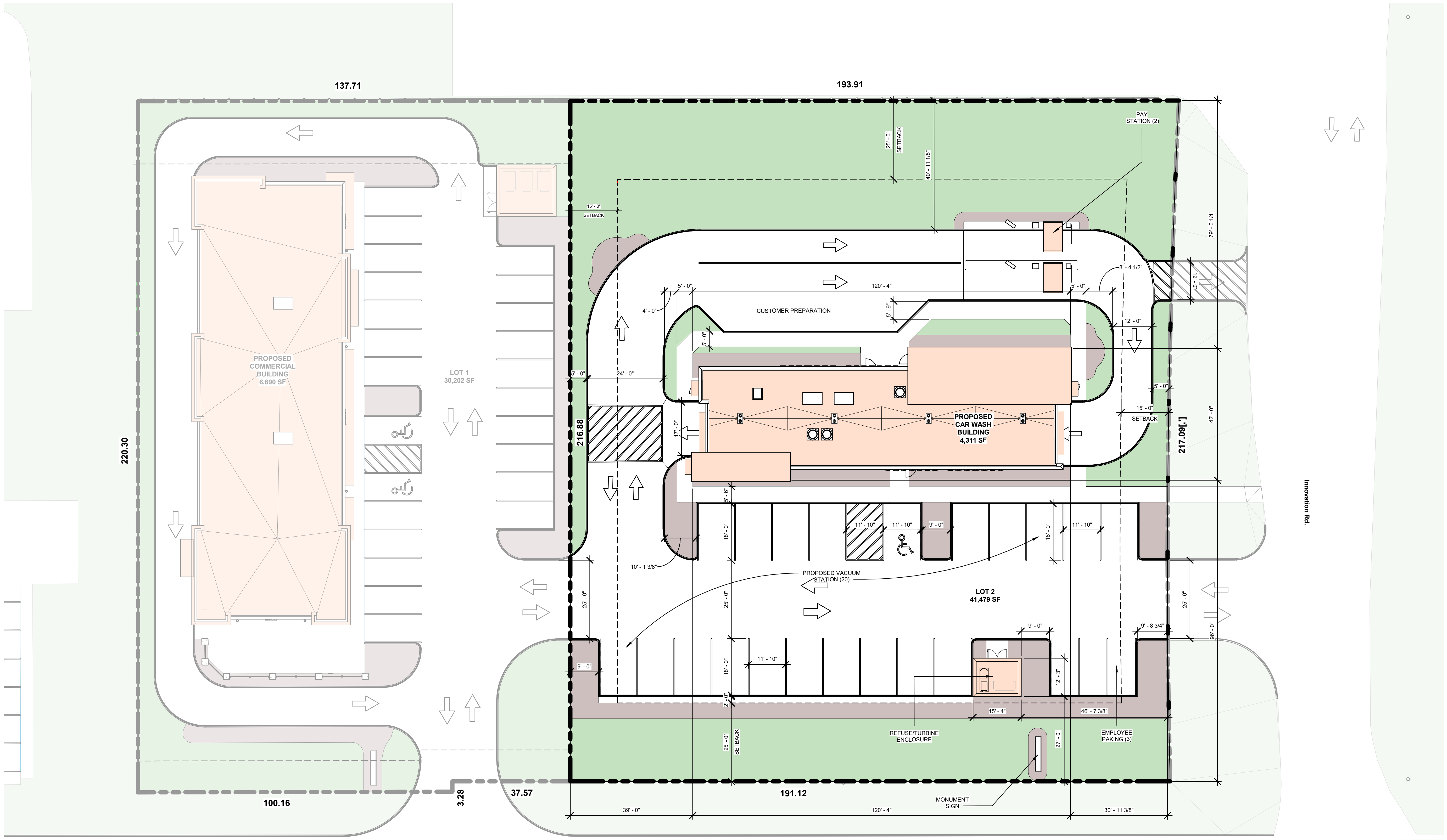
NERI ARCHITECTS
6400 N NORTHWEST HWY
SUITE 4
CHICAGO, IL 60631
TEL 847.825.9400

PROJECT # 2514
DATE: 06.03.25

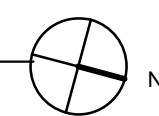


NEW AUTOMATED CARWASH FACILITY
1212 BUTTERFIELD RD.
MUNDELEIN, IL
ZONING REVIEW - NOT FOR CONSTRUCTION

07.10.25	ZONING REVIEW
REVISIONS	
DRAWN BY:	RAM
APPROVED BY:	GCN / MAM
SCALE:	AS NOTED
DESCRIPTION:	COVERSHEET & PROJECT INFO
SHEET NO.	T-1.0



1 SITE PLAN
SCALE: 1/16" = 1'-0"



GENERAL CONTRACTOR & SUBCONTRACTOR NOTES:
 1. ALL CAR WASH EQUIPMENT PRODUCT DATA, SHOP DRAWINGS, ETC. ARE TO BE REVIEWED AND COORDINATED BY THE GENERAL CONTRACTOR AND SUBCONTRACTORS.
 2. RFI'S MUST BE SUBMITTED IF CONFLICTS ARE SEEN BETWEEN CIVIL, ARCHITECTURAL, EQUIPMENT OR ANY OTHER DRAWING OR SPECIFICATIONS RELATED TO THIS PROJECT. PLEASE REVIEW ALL PLAN SETS PRIOR TO BIDDING OR CONSTRUCTION.

NERI ARCHITECTS
 6400 N NORTHWEST HWY
 SUITE 4
 CHICAGO, IL 60631
 TEL: 847.825.9400

PROJECT # 2514
 DATE: 06.03.25



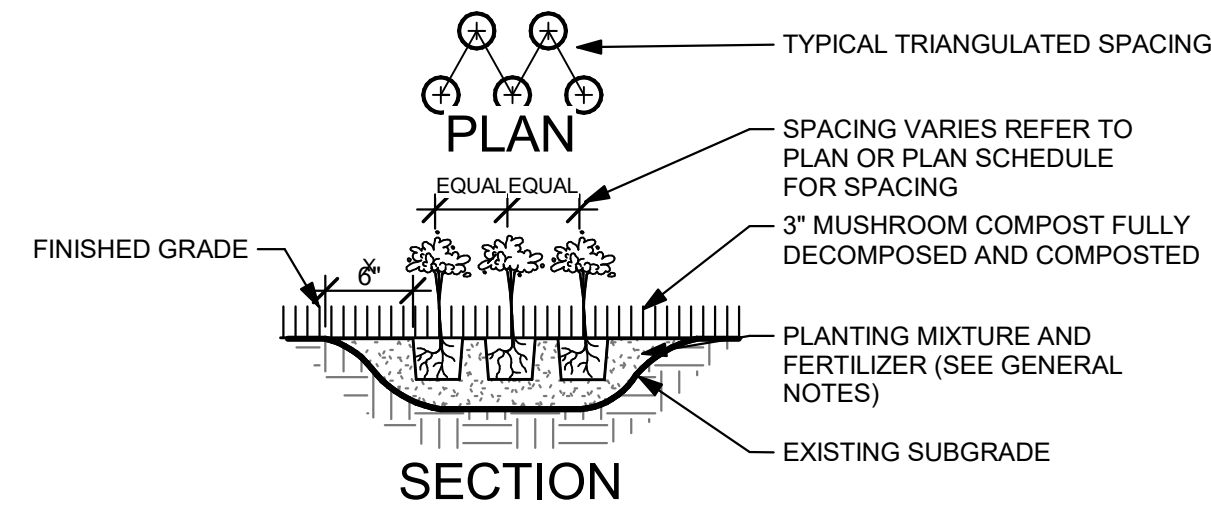
NEW AUTOMATED CARWASH FACILITY

1212 BUTTERFIELD RD.
 MUNDELEIN, IL

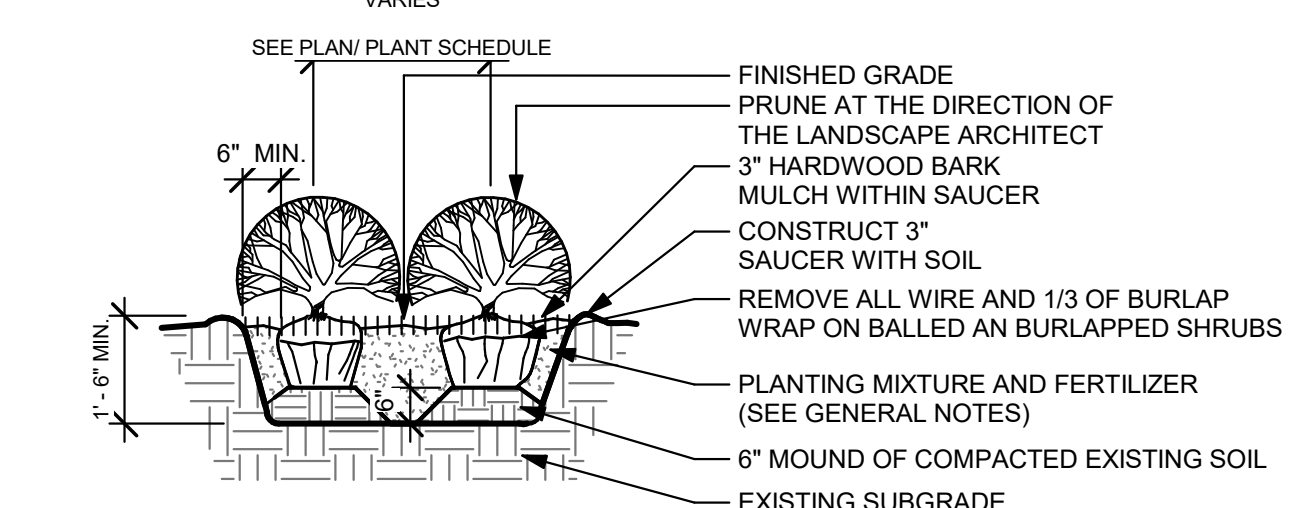
ZONING REVIEW - NOT FOR CONSTRUCTION

07.10.25	ZONING REVIEW
REVISIONS	
DRAWN BY:	RAM
APPROVED BY:	GCN / MAM
SCALE:	AS NOTED
DESCRIPTION:	SITE PLAN

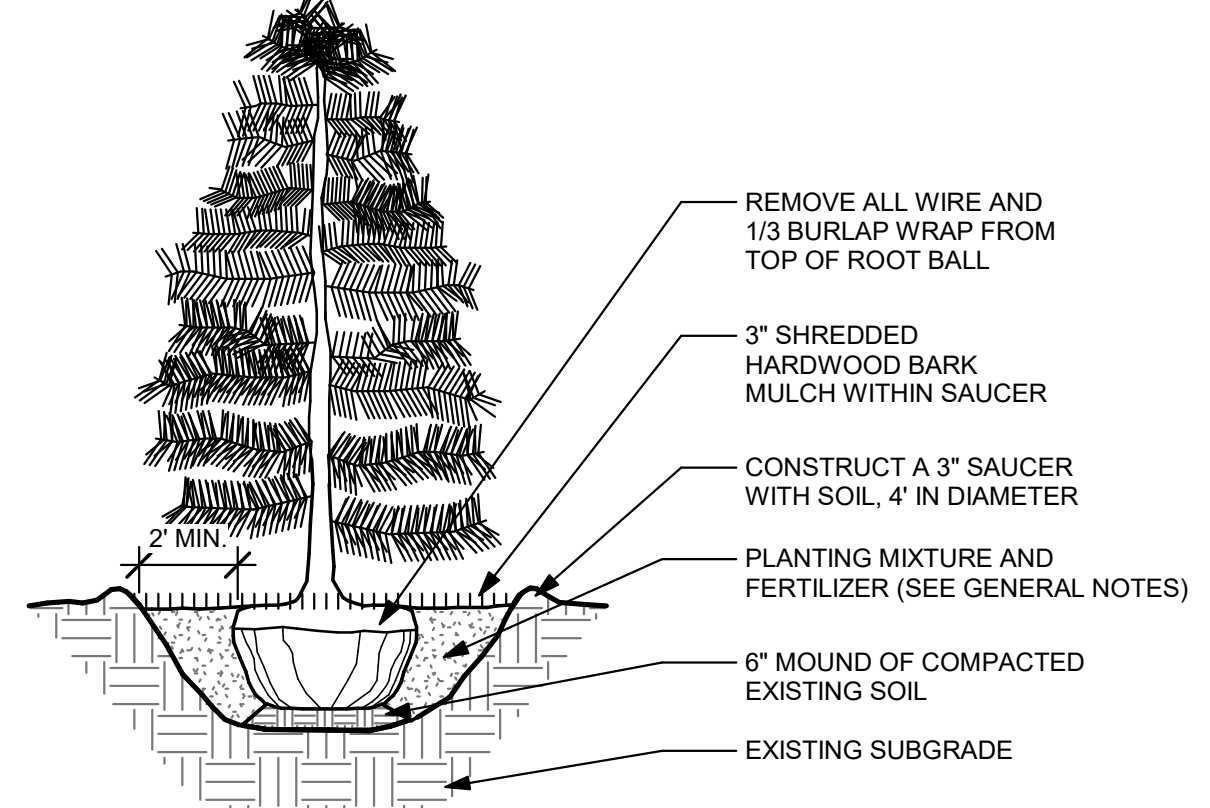
SHEET NO. **G-1.2**



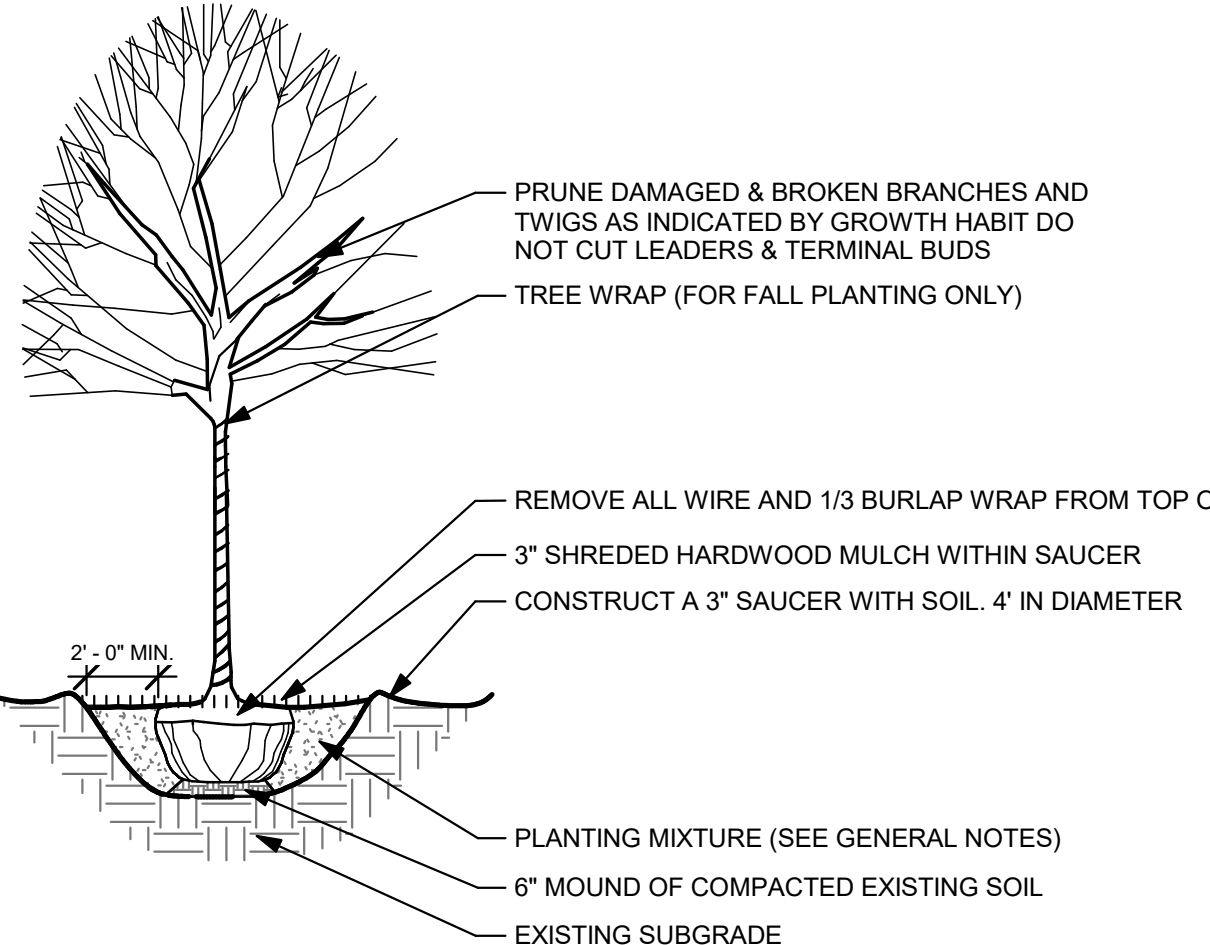
GROUND COVER PLANTING DETAIL
SCALE: 3/8" = 1'-0"



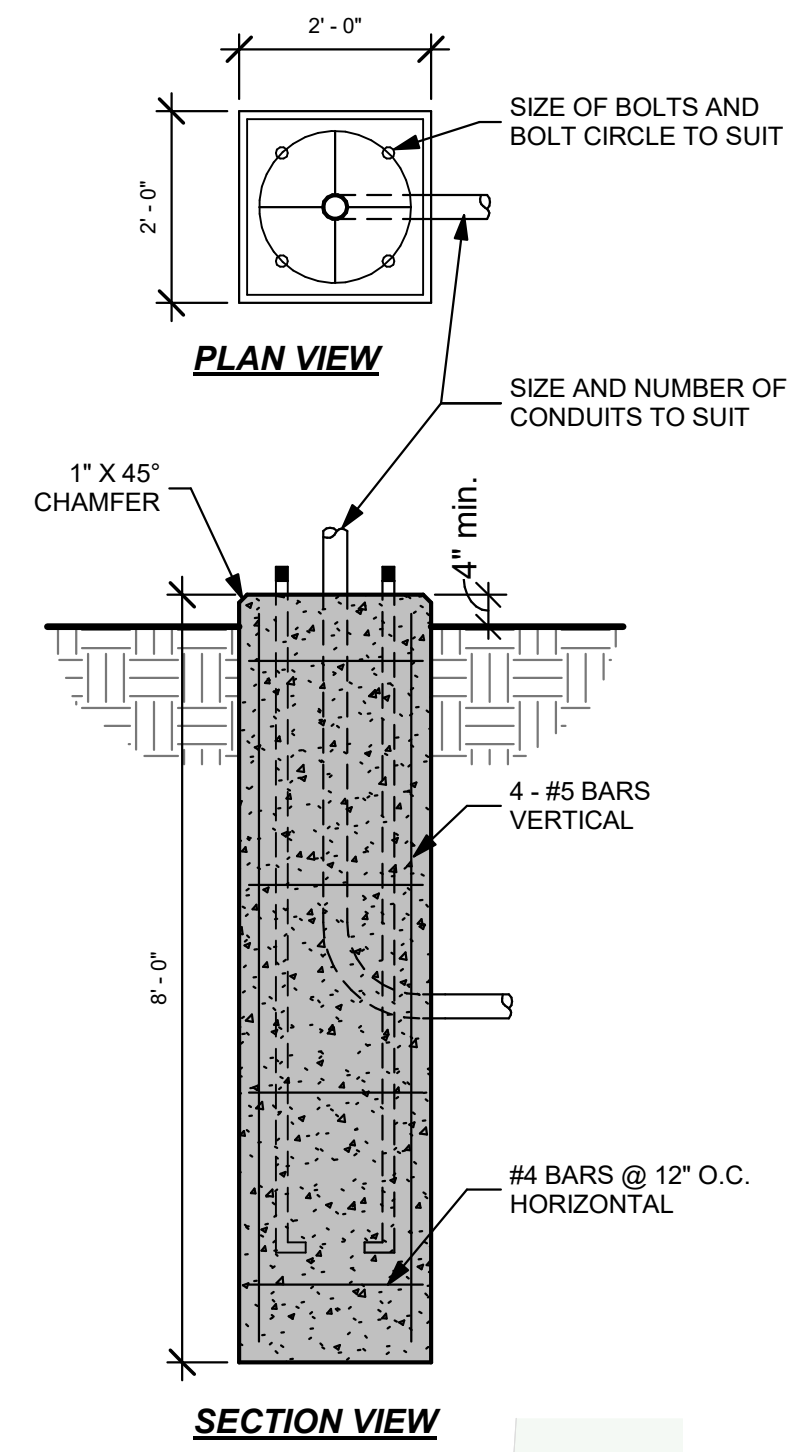
SMALL SHRUB PLANTING DETAIL
SCALE: 3/8" = 1'-0"



ORNAMENTAL TREE PLANTING DETAIL
SCALE: 1/4" = 1'-0"

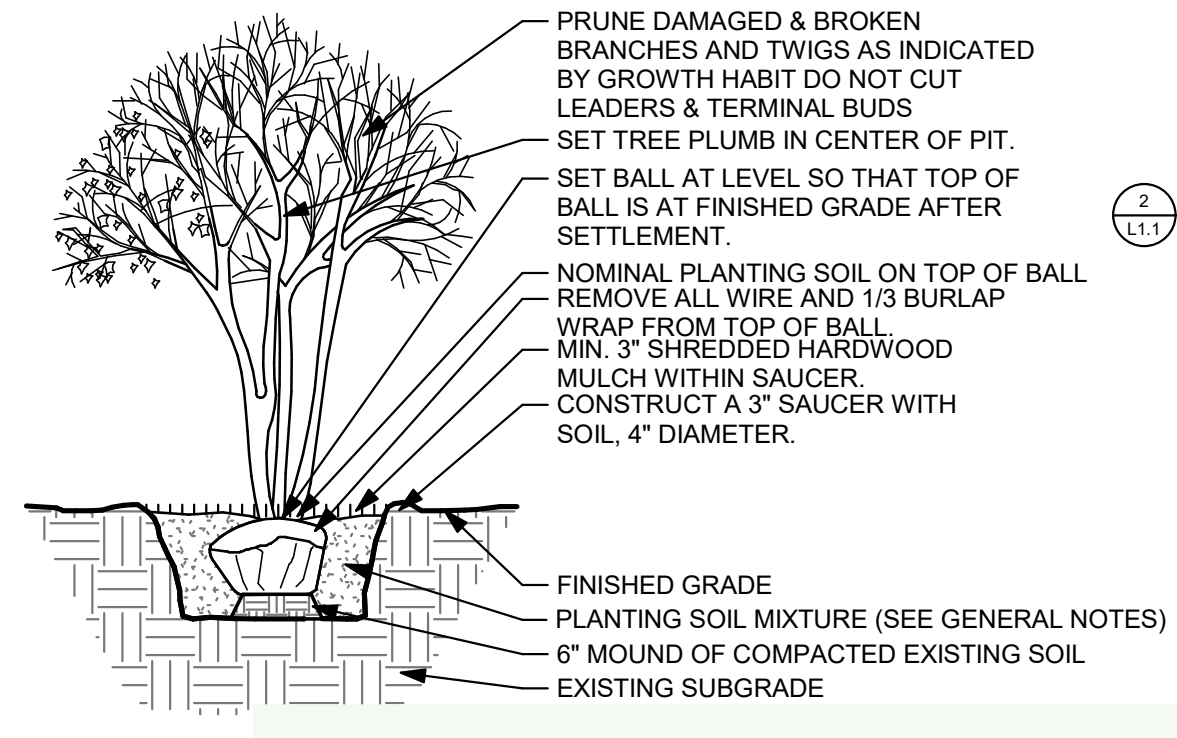


DECIDUOUS TREE PLANTING DETAIL
SCALE: 3/16" = 1'-0"



Light Post Foundation
SCALE: 1/2" = 1'-0"

- GENERAL NOTES**
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT / OWNER IMMEDIATELY OF ANY DISCREPANCIES, OBSTACLES AND/OR PROBLEMS.
 - VERIFICATION OF DIMENSIONS AND GRADES, BOTH EXISTING AND PROPOSED, SHALL BE THE CONTRACTOR'S RESPONSIBILITY PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES.
 - ALL SURFACE DRAINAGE SHALL BE DIRECTED AWAY FROM STRUCTURES. SURFACE DRAINAGE SHALL BE DIRECTED TO EXISTING CATCH BASINS DESIGNATED FOR THE COLLECTION OF SURFACE RUN-OFF.
 - CONTRACTOR SHALL NOTIFY OWNER OF ANY UNDESIRABLE DRAINAGE CONDITIONS AND RECOMMEND SUITABLE SOLUTIONS. WHERE NECESSARY TO ACHIEVE PROPER DRAINAGE, UNDER DRAINAGE FOR TREE PITS SHALL BE INSTALLED AT THE DIRECTION OF THE LANDSCAPE ARCHITECT.
 - LANDSCAPE CONTRACTOR SHALL REPAIR IN KIND ALL AREAS DAMAGED AS A RESULT OF LANDSCAPE OPERATIONS.
 - ALL TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 3" OF SHREDDED HARDWOOD MULCH.
 - ALL GROUND COVER / PERENNIAL BEDS TO RECEIVE A MINIMUM 2" OF MUSHROOM COMPOST.
 - SIZES SHOWN ON PLANTING PLAN ARE MINIMUM ACCEPTABLE SIZES.
 - LANDSCAPE CONTRACTOR SHALL WARRANT ALL TREES, SHRUBS, VINES, GROUNDCOVERS AND PERENNIALS UNDER THIS CONTRACT WILL BE HEALTHY AND IN FLOURISHING CONDITION OF ACTIVE GROWTH ONE YEAR FROM DATE OF FINAL ACCEPTANCE.
 - SOIL TO BE USED FOR THE PLANTING MEDIUM FOR THE PROJECT SHALL BE FERTILE, WELL DRAINED, OF UNIFORM QUALITY, FREE OF STONES OVER 1" IN DIAMETER, STICKS, OILS, CHEMICALS, PLASTER, CONCRETE AND OTHER DELETERIOUS MATERIALS.
 - THE LANDSCAPE CONTRACTOR SHALL PREPARE PLANTING BEDS BY ADDING SOIL AMENDMENTS TO TOPSOIL MIX IN THE FOLLOWING QUANTITIES: TOPSOIL MIX FOR TREES AND SHRUBS SHALL BE THREE (3) PARTS TOPSOIL, ONE (1) PART PEAT, AND ONE (1) PART SAND. TOPSOIL MIX FOR PERENNIALS, BULBS, AND GROUND COVERS SHALL BE THREE (3) PARTS TOPSOIL, ONE (1) PART SAND AND TWO (2) PARTS DECOMPOSED MUSHROOM COMPOST. SOIL SHALL MEET THE FOLLOWING REQUIREMENTS: SOIL COMPOSITION-45-77% SILT, 0-25% CLAY, 25-33% SAND; SOIL ACIDITY: Ph 6.0-7.0; SOIL ORGANIC CONTENT: THREE (3) TO FIVE (5) PERCENT.
 - ALL PLANTS TO BE BALLED IN BURLAP OR CONTAINER GROWN AS SPECIFIED ON PLANTING PLAN. ALL PLASTIC ROOT WRAPPING MATERIAL AND METAL WIRE BASKETS SHALL BE REMOVED.
 - LANDSCAPE CONTRACTOR SHALL STAKE THE LOCATION OF ALL TREES AND PLANTING BED LINES AND HAVE LAYOUT APPROVED BY LANDSCAPE ARCHITECT/OWNER PRIOR TO PLANTING.
 - WATER ALL PLANTS IMMEDIATELY AFTER PLANTING. FLOOD PLANTS TWICE DURING FIRST TWENTY-FOUR HOUR PERIOD AFTER PLANTING.
 - ALL NEW AND TRANSPLANTED PLANTS TO BE SPRAYED WITH AN ANTIDESSICANT WITHIN TWENTY FOUR HOURS AFTER PLANTING. ANTI-TRANSPIRANT SHALL BE EQUAL TO "WILTPROOF."
 - ALL MUD SHALL BE REMOVED FROM ALL TIRES BEFORE LEAVING THE SITE AND ROADS SHALL BE KEPT CLEAR OF MUD AND DEBRIS AT ALL TIMES.
 - ALL GRASS AREAS SHALL BE 6 INCHES OF TOPSOIL AND KENTUCKY BLUEGRASS SOD.

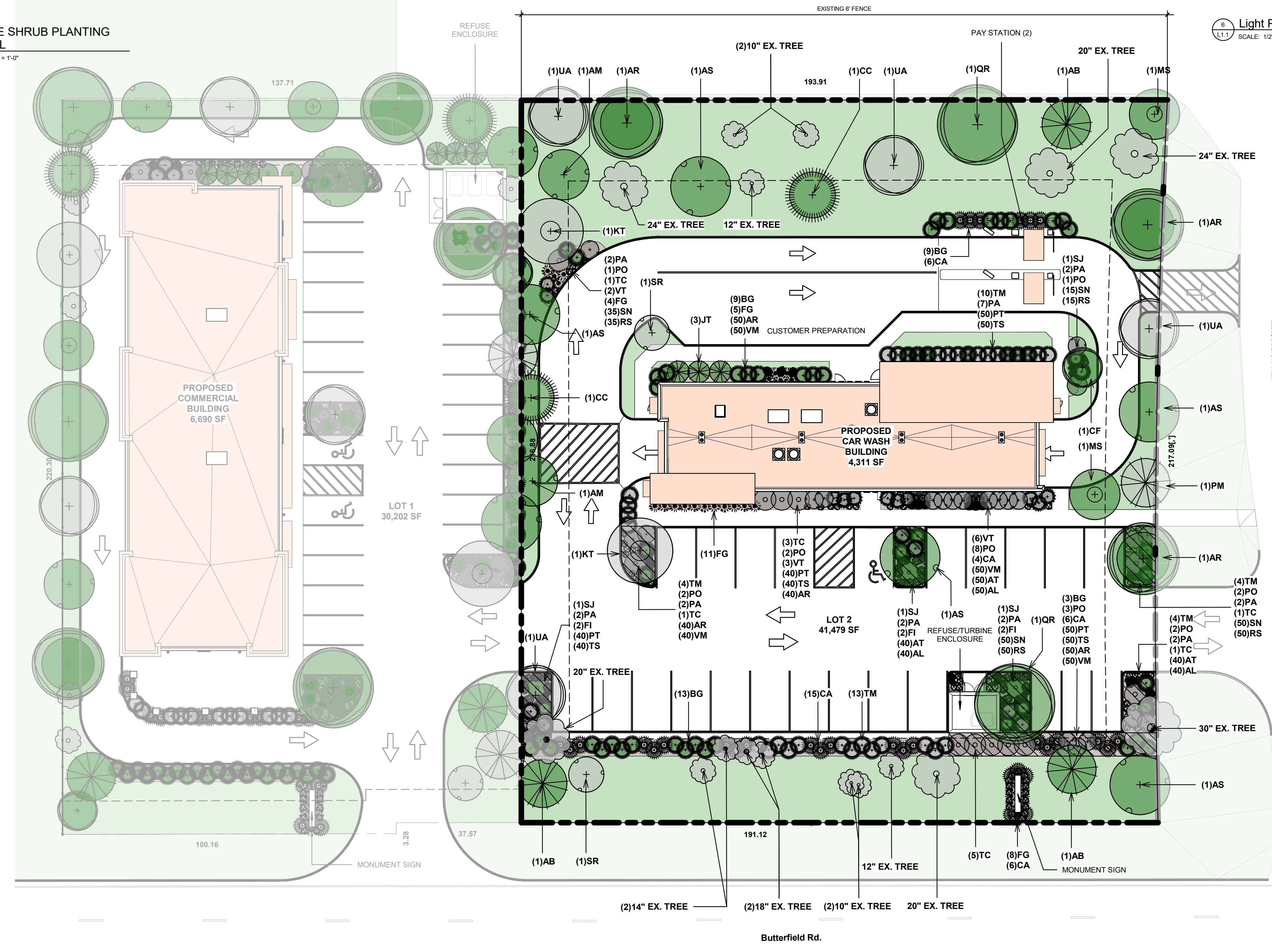


LARGE SHRUB PLANTING DETAIL
SCALE: 1/4" = 1'-0"

Planting Schedule

LEGEND	QUANT.	BOTANICAL NAME	COMMON NAME	MIN. SIZE	NOTES/SPECIAL CONDITIONS
SHADE / PARKWAY DECIDUOUS TREES (Min. Size at planting 3" Caliper - Parkway Trees shall be max 40' apart)					
AR	3	Acer Rubrum	Red Maple	3" caliper / 8' ht	
QR	2	Quercus Rubra	Northern Red Oak	3" caliper / 8' ht	
AS	5	Acer Saccharum	Sugar Maple	3" caliper / 8' ht	
UA	4	Ulmus Americana	American Elm	3" caliper / 8' ht	
KT	2	Cercidiphyllum Japonicum	Katsura Tree	3" caliper / 8' ht	
ORNAMENTAL DECIDUOUS TREES (Min. Size at planting 8' hgt. or 2.5" Caliper)					
CC	2	Cercis Canadensis	Eastern Redbud	3" caliper / 8' ht	
AM	2	Amelanchier Spp.	Serviceberry	3" caliper / 8' ht	
CF	1	Cornus Florida Rubra	Red Flowering Dogwood	3" caliper / 8' ht	
MS	2	Malus Sylvestris	Crabapple	3" caliper / 8' ht	
SR	2	Syringa Reticulata	Japanese Lilac Tree	3" caliper / 8' ht	
EVERGREEN TREES (Min. Size at planting 6' hgt.)					
AB	3	Abies Balsamea	Balsam Fir	6' ht.	
PM	1	Picea Mariana	Black Spruce	6' ht.	
JT	3	Juniperus virginiana Taylor	Taylor Juniper	6' ht.	
EVERGREEN SHRUBS (All Hedges to be maintained and kept below @ max. 4'-0" tall)					
TC	12	Taxus Canadensis	Canada Yew	30" spr. / 36" ht	
BG	34	Buxus x Green Velvet	Green Velvet Boxwood	30" spr. / 36" ht	
TM	27	Taxus x media 'Hicksii'	Hicks Yew Hedge	30" spr. / 36" ht	
DECIDUOUS SHRUBS - (Height at Time of planting dwarf shrubs - 18 inches / shrubs - 26 inches)					
SJ	4	Spiraea Japonica	Japanese Spiraea	30" spr. / 36" ht	
PO	21	Physocarpus Opulifolius	Ninebark	30" spr. / 36" ht	
FI	6	Forsythia x intermedia	Border Forsythia	30" spr. / 36" ht	
VT	11	Viburnum Trilobum	American Cranberry Bush	30" spr. / 36" ht	
ORNAMENTAL GRASS					
CA	37	Calamagrostis Acutiflora 'Karl Foerster'	Feather Reed Grass		
PA	23	Pennisetum Alopecuroides	Fountain Grass		
FG	28	Festuca Glauca	Blue Fescue		
PERENNIALS, GROUNDCOVERS - (plants in mulch beds)					
PT	180	Pachysandra Terminalis	Pachysandra	18" spread / 2' pots	groundcover
TS	180	Thymus Serpyllum	Creeping Thyme	18" spread / 2' pots	groundcover
AR	180	Ajuga Reptans	Ajuga	18" spread / 2' pots	groundcover
VM	190	Vinca Minor	Vinca Minor	18" spread / 2' pots	groundcover
AT	130	Asclepias Tuberosa	Butterfly Weed	18" spread / 2' pots	perennials
AL	130	Allium Lusitanicum	Allium 'Summer Beauty'	18" spread / 2' pots	perennials
SN	150	Symphoricarpon Novae-Angliae	New England Aster	18" spread / 2' pots	perennials
RS	150	Rudbeckia Speciosa	Black-eyed Susan	18" spread / 2' pots	perennials

- NOTES:**
- BUFFER YARD LANDSCAPING IS REQUIRED ALONG THE WEST AND SOUTH PROPERTY LINES (A MINIMUM OF 5' IN WIDTH, AND THE FOLLOWING LANDSCAPING IS REQUIRED)
 - SHADE TREES SHALL BE PLANTED ON AN AVERAGE OF 1 TREE FOR EVERY 25 LINEAR FEET OF YARD LENGTH. AS PART OF THE LANDSCAPE PLAN APPROVAL, TREES MAY BE SPACED AT VARIOUS INTERVALS BASED ON SPECIFIC SITE REQUIREMENTS OR DESIGN SCHEME, BUT THE TOTAL NUMBER OF TREES PLANTED WILL BE NO LESS THAN THE AMOUNT REQUIRED BY A LINEAR PLANTING SPACE 25 FEET APART.
 - AN OPAQUE MASONRY WALL, SOLID WOOD OR SIMULATED WOOD SCREEN FENCE, OR DENSE EVERGREEN HEDGE AT LEAST 6' IN HEIGHT SHALL BE ERRECTED ALONG 100% OF THE YARD LENGTH.
 - SHRUBS SHALL BE PLANTED ON AN AVERAGE OF 1 SHRUB FOR EVERY 3 FEET OF YARD LENGTH. AS PART OF THE LANDSCAPE PLAN APPROVAL, SHRUBS MAY BE SPACED AT VARIOUS INTERVALS BASED ON SPECIFIC SITE REQUIREMENTS OR DESIGN SCHEME, BUT THE TOTAL NUMBER OF SHRUBS PLANTED WILL BE NO LESS THAN THE AMOUNT REQUIRED BY A LINEAR PLANTING SPACE 3 FEET APART.
 - IRRIGATION, LANDSCAPE DESIGN PURSUANT TO THE REQUIREMENTS OF THIS CHAPTER SHALL RECOGNIZE THE NEED FOR IRRIGATION AND WATER CONSERVATION. SPRINKLER IRRIGATION SYSTEMS MAY BE REQUIRED FOR CERTAIN LANDSCAPED AREAS, AS DETERMINED BY A LANDSCAPE ARCHITECT. THE NEED FOR SPRINKLER IRRIGATION SYSTEMS SHALL BE DETERMINED BY THE TYPE OF PLANT MATERIAL AND THE CONDITION/GROWING MEDIUM THAT THEY ARE INSTALLED IN. FOR INSTANCE, WHETHER THERE IS A PERMANENT MEANS AVAILABLE TO WATER PLANT MATERIAL, SUCH AS HOSE BIBS, SHALL BE A CONSIDERATION. ALL IRRIGATION SYSTEMS SHALL BE DESIGNED TO MINIMIZE THE USE OF WATER.



LANDSCAPE PLAN
SCALE: 1" = 20'-0"

- GENERAL CONTRACTOR & SUBCONTRACTOR NOTES:**
- ALL CAR WASH EQUIPMENT PRODUCT DATA, SHOP DRAWINGS, ETC. ARE TO BE REVIEWED AND COORDINATED BY THE GENERAL CONTRACTOR AND SUBCONTRACTORS.
 - RFI'S MUST BE SUBMITTED IF CONFLICTS ARE SEEN BETWEEN CIVIL, ARCHITECTURAL, EQUIPMENT OR ANY OTHER DRAWING OR SPECIFICATIONS RELATED TO THIS PROJECT. PLEASE REVIEW ALL PLAN SETS PRIOR TO BIDDING OR CONSTRUCTION.

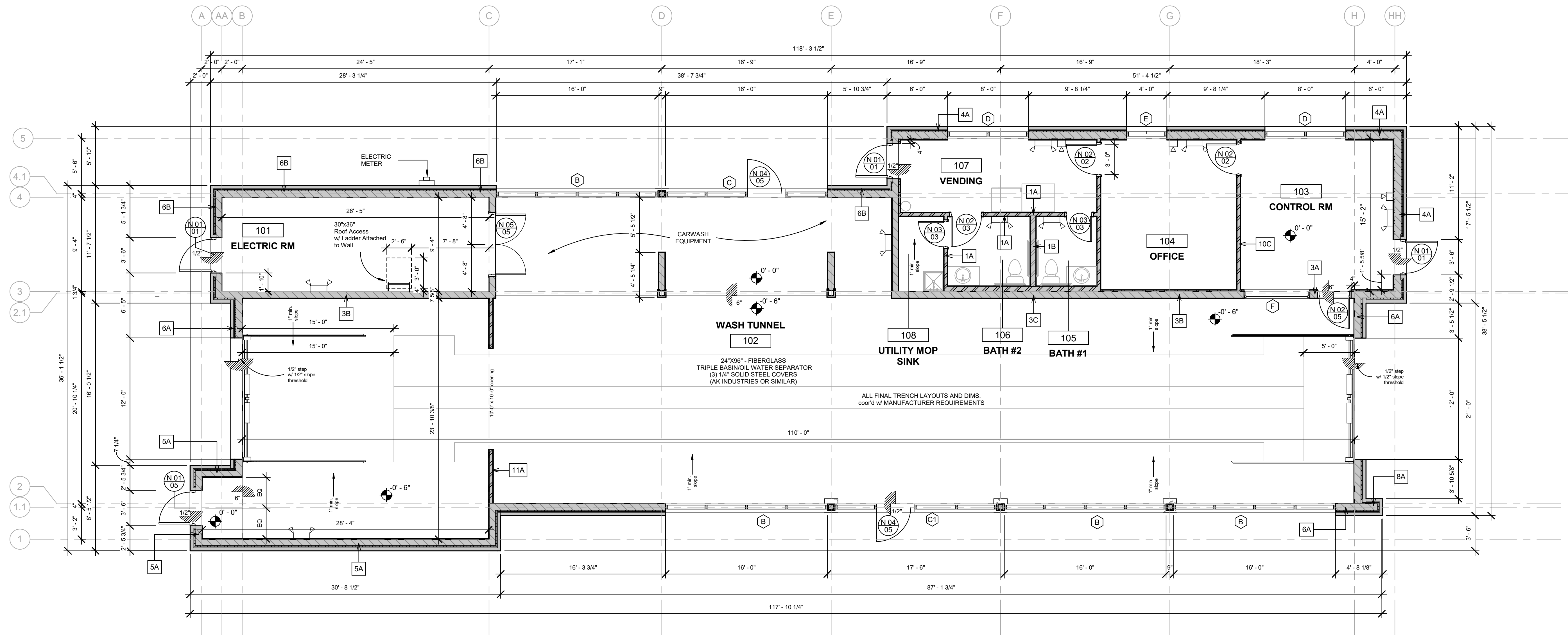
NERI ARCHITECTS
6400 N NORTHWEST HWY SUITE 4
CHICAGO, IL 60631
TEL 847.825.9400

PROJECT # 2514
DATE: 06.03.25

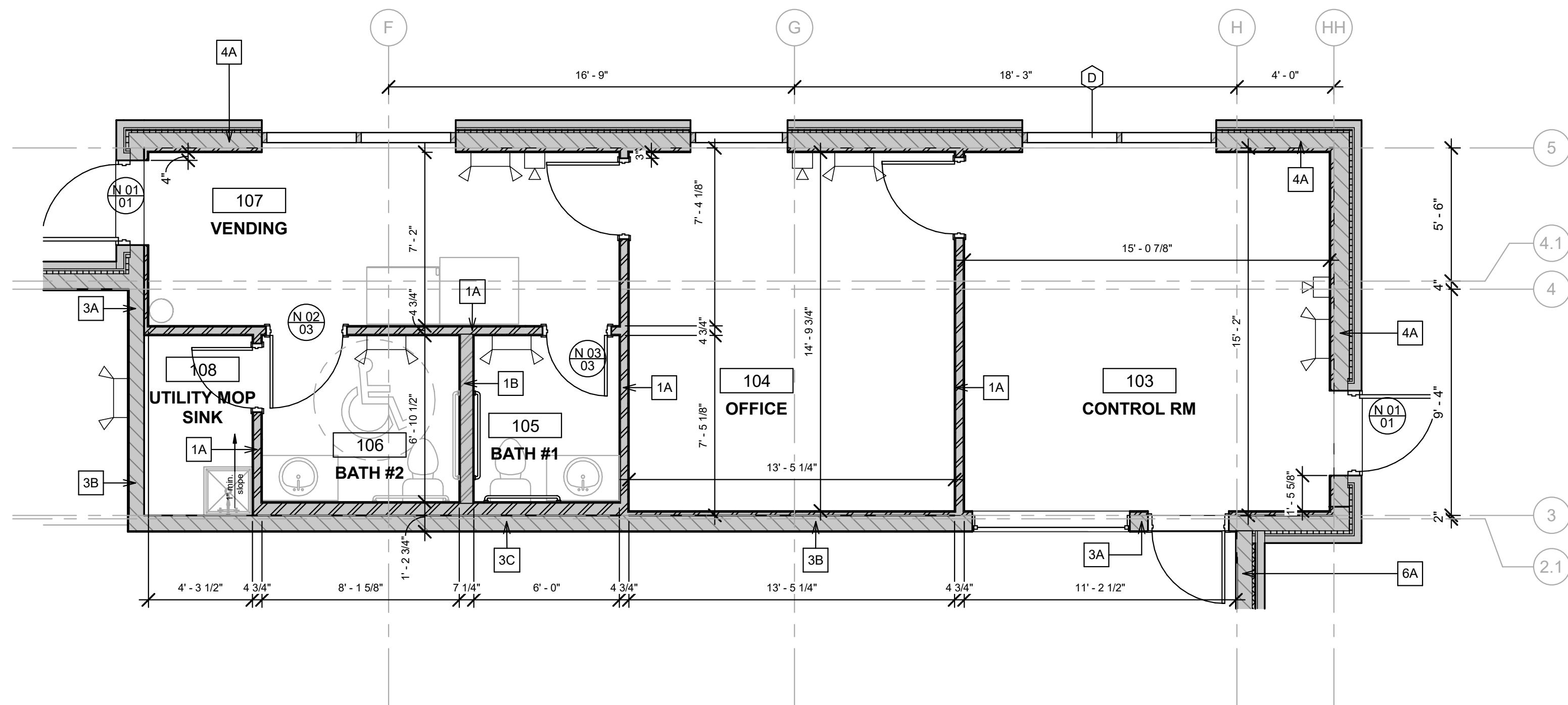
STATE OF ILLINOIS
GUIDO C NERI
#001-12341
PARK RIDGE ILLINOIS
LICENSED ARCHITECT

NEW AUTOMATED CARWASH FACILITY
1212 BUTTERFIELD RD.
MUNDELEIN, IL
ZONING REVIEW - NOT FOR CONSTRUCTION

DATE	REVISIONS
07.10.25	ZONING REVIEW
	RAM
	GCN / MAM
	AS NOTED
	LANDSCAPE PLAN
SHEET NO.	L1.1



1 FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"



2 BLOW UP
SCALE: 1/4" = 1'-0"

GENERAL CONTRACTOR & SUBCONTRACTOR NOTES:
 1. ALL CAR WASH EQUIPMENT PRODUCT DATA, SHOP DRAWINGS, ETC. ARE TO BE REVIEWED AND COORDINATED BY THE GENERAL CONTRACTOR AND SUBCONTRACTORS.
 2. RFI'S MUST BE SUBMITTED IF CONFLICTS ARE SEEN BETWEEN CIVIL, ARCHITECTURAL, EQUIPMENT OR ANY OTHER DRAWING OR SPECIFICATIONS RELATED TO THIS PROJECT. PLEASE REVIEW ALL PLAN SETS PRIOR TO BIDDING OR CONSTRUCTION.

PROJECT # 2514
 DATE: 06.03.25



NEW AUTOMATED CARWASH FACILITY

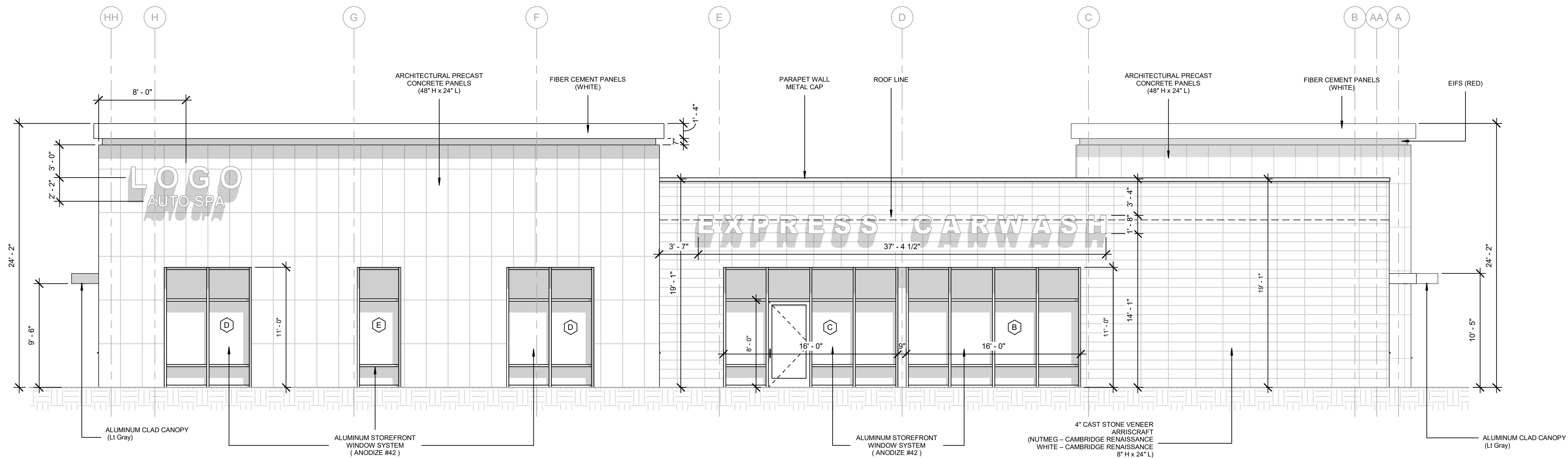
1212 BUTTERFIELD RD.
 MUNDELEIN, IL

ZONING REVIEW - NOT FOR CONSTRUCTION

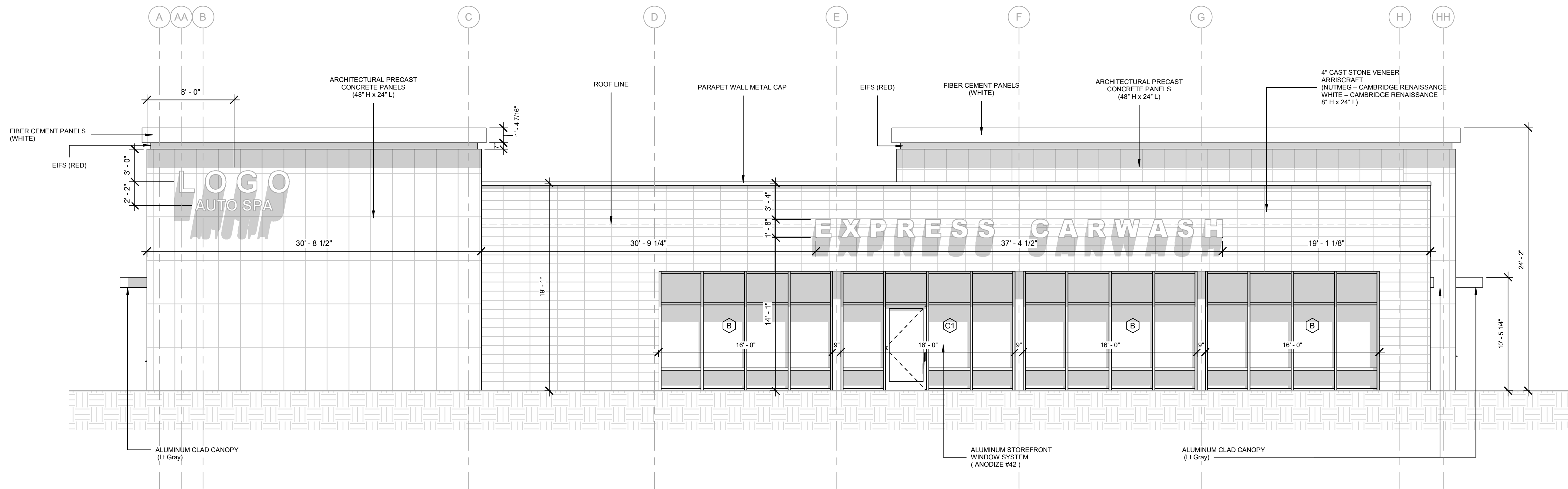
07.10.25	ZONING REVIEW
REVISIONS	
DRAWN BY:	RAM
APPROVED BY:	GCN / MAM
SCALE:	AS NOTED
DESCRIPTION:	FLOOR PLAN

SHEET NO.

A-2.1



2 WEST ELEVATION
SCALE: 3/16" = 1'-0"



1 EAST ELEVATION
SCALE: 3/16" = 1'-0"

GENERAL CONTRACTOR & SUBCONTRACTOR NOTES:
 1. ALL CAR WASH EQUIPMENT PRODUCT DATA, SHOP DRAWINGS, ETC. ARE TO BE REVIEWED AND COORDINATED BY THE GENERAL CONTRACTOR AND SUBCONTRACTORS.
 2. RFI'S MUST BE SUBMITTED IF CONFLICTS ARE SEEN BETWEEN CIVIL, ARCHITECTURAL, EQUIPMENT OR ANY OTHER DRAWING OR SPECIFICATIONS RELATED TO THIS PROJECT. PLEASE REVIEW ALL PLAN SETS PRIOR TO BIDDING OR CONSTRUCTION.

PROJECT # 2514
 DATE: 06.03.25



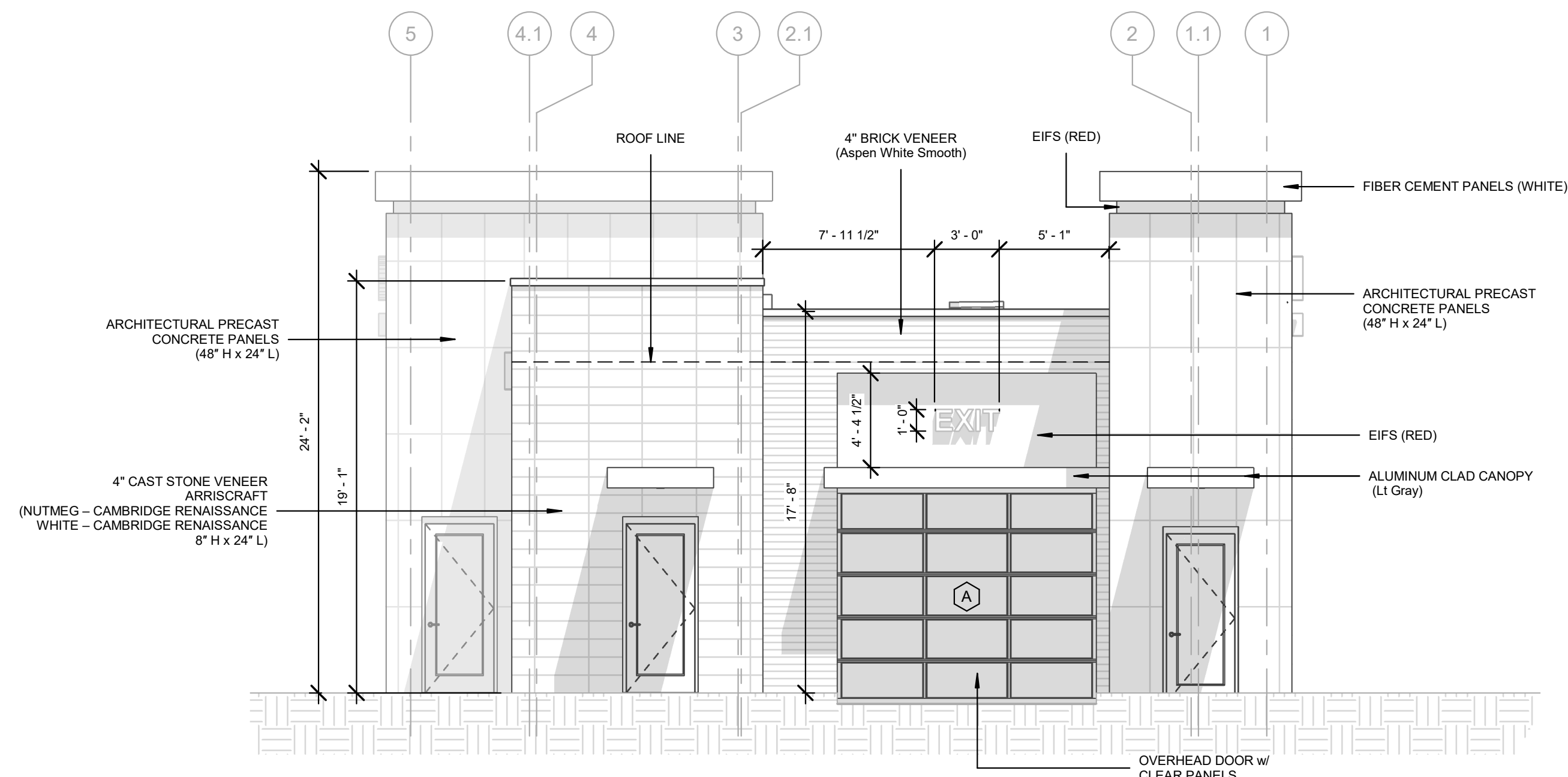
NEW AUTOMATED CARWASH FACILITY

1212 BUTTERFIELD RD.
 MUNDELEIN, IL

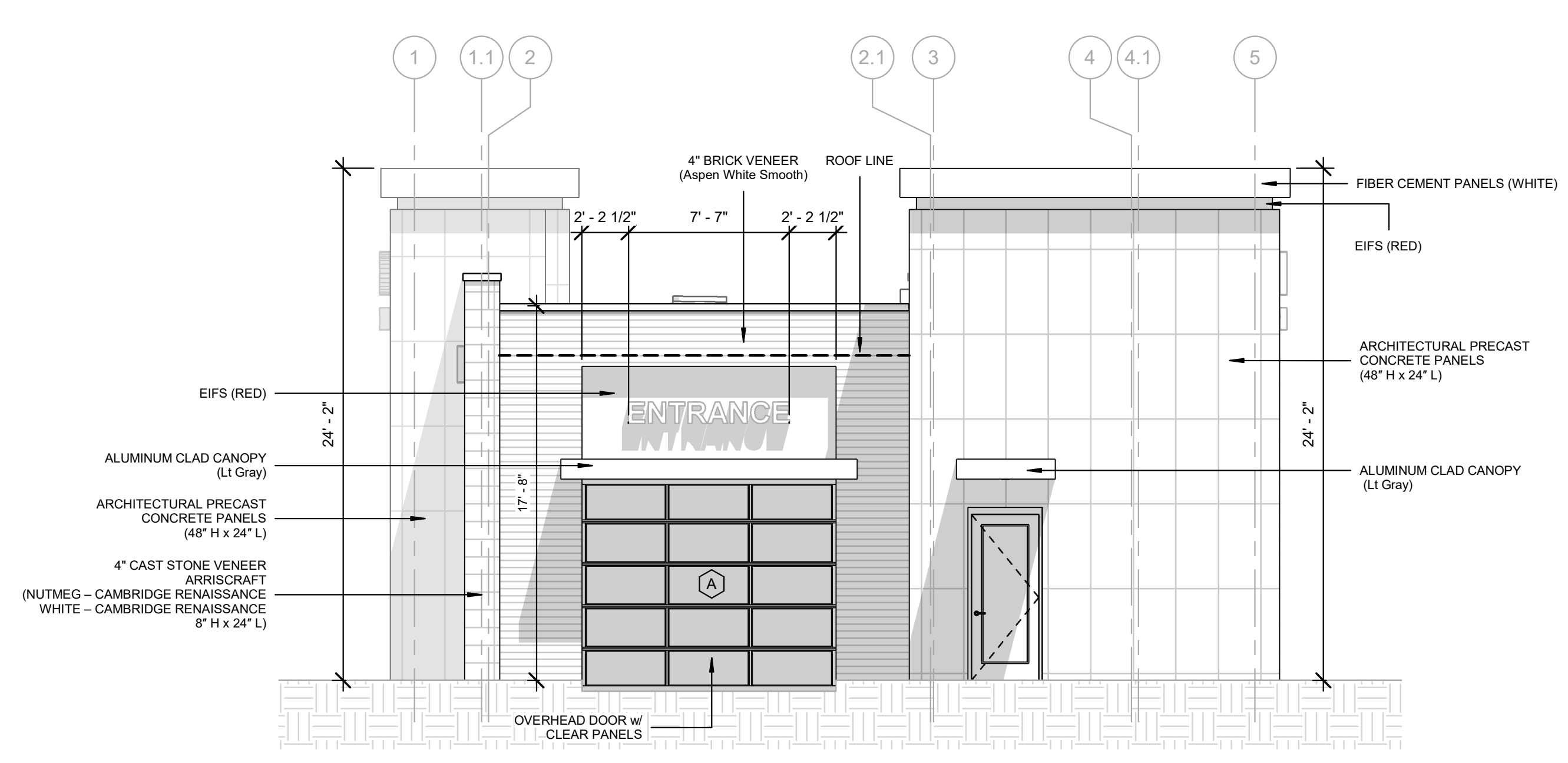
ZONING REVIEW - NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION
1	07.10.25	ZONING REVIEW
REVISIONS		
DRAWN BY: RAM		
APPROVED BY: GCN / MAM		
SCALE: AS NOTED		
DESCRIPTION: MAIN ELEVATIONS		

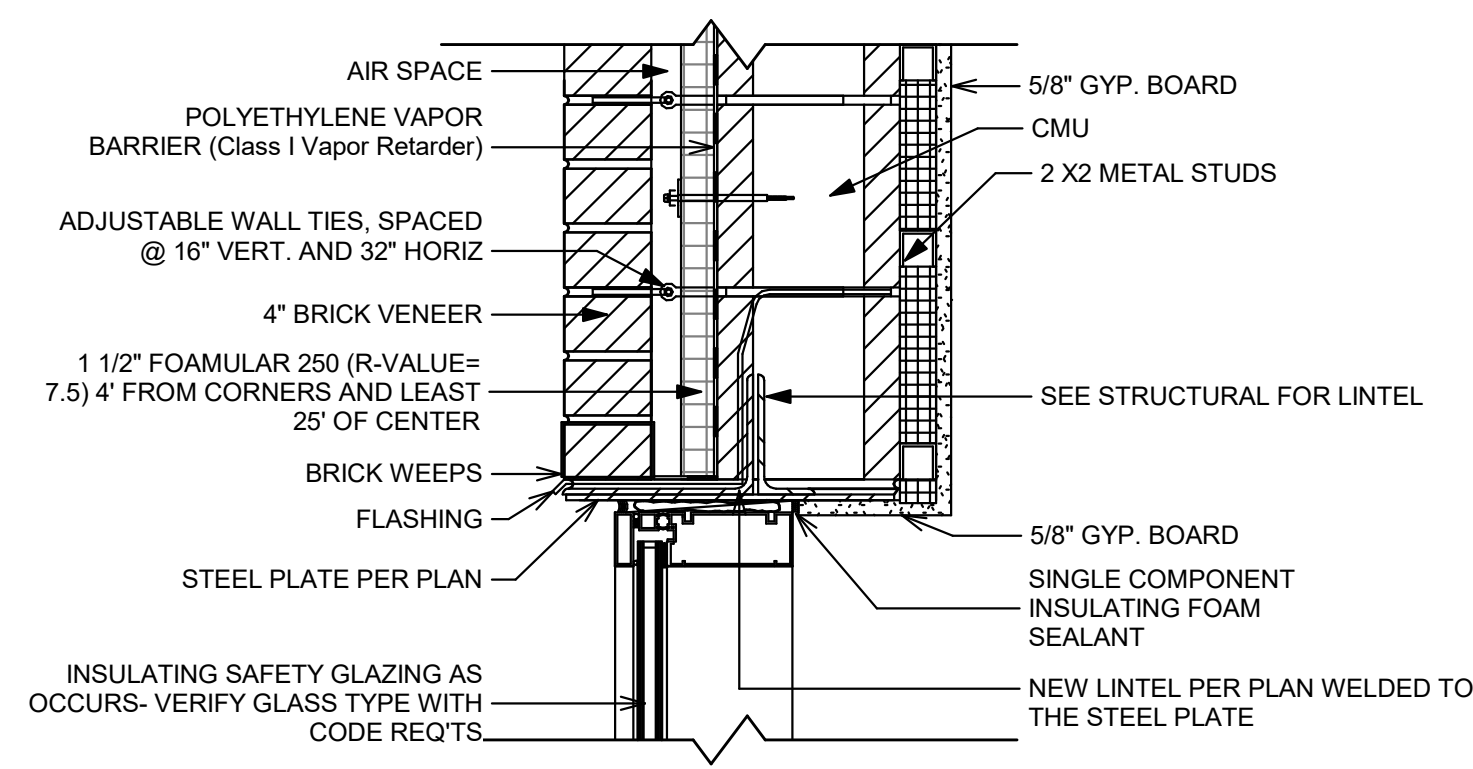
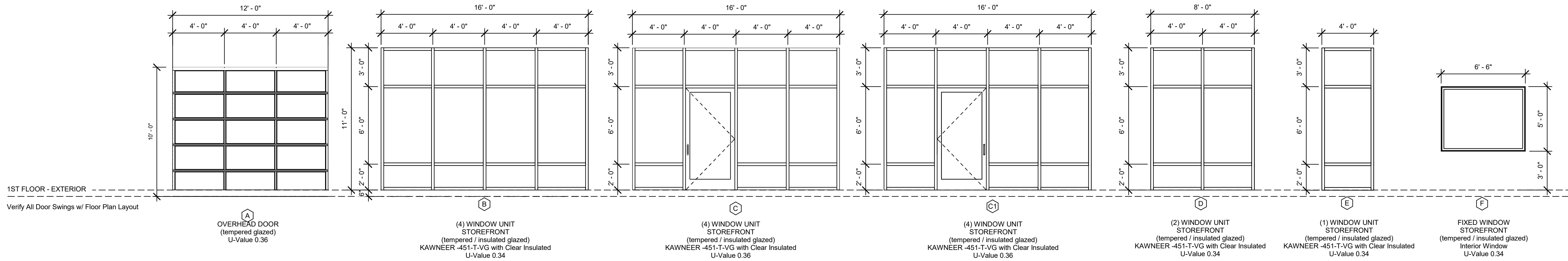
SHEET NO. **A-5.0**



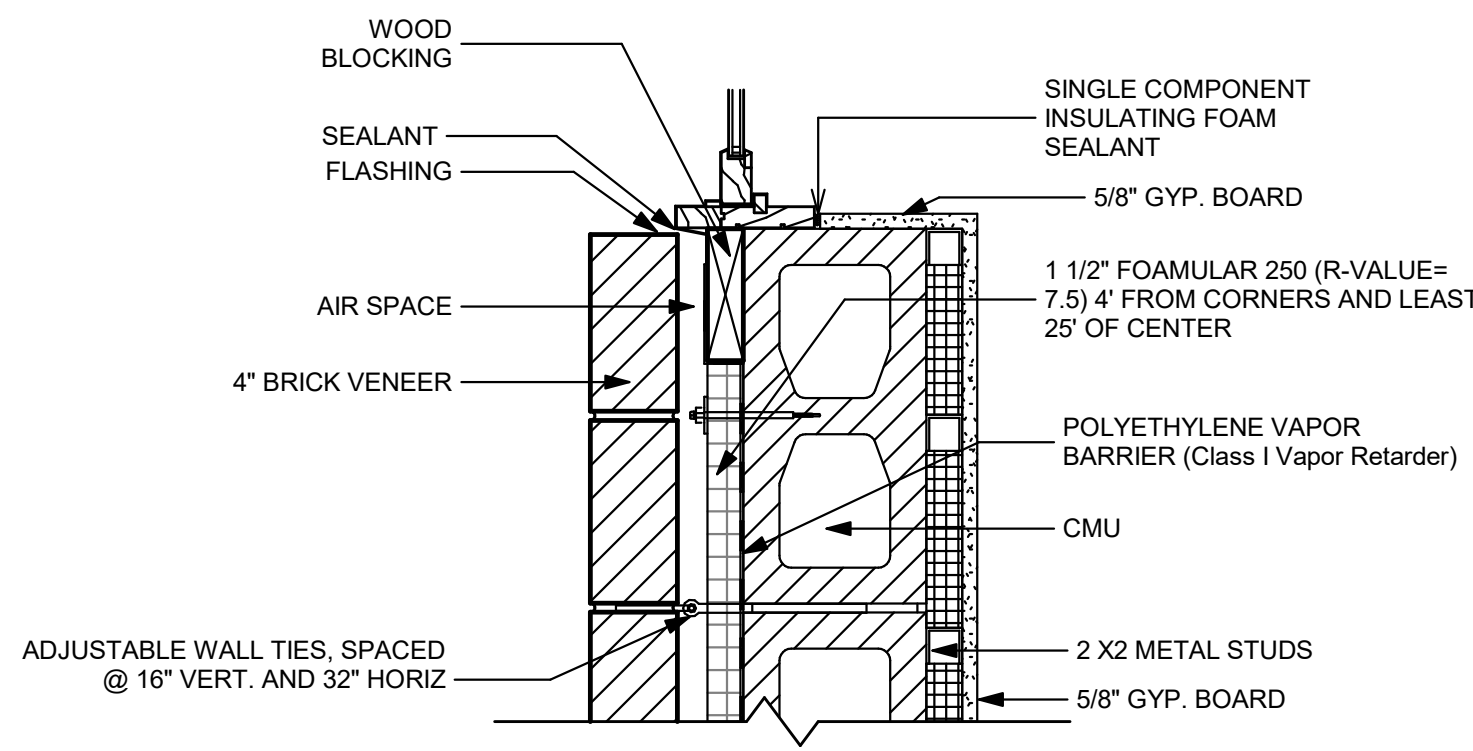
18 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



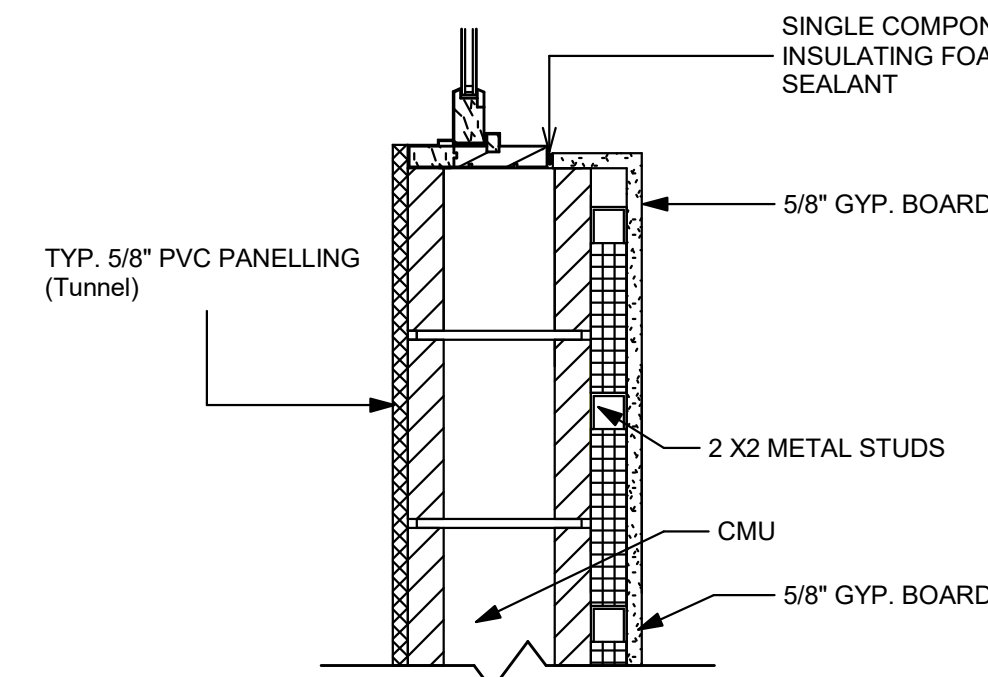
17 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



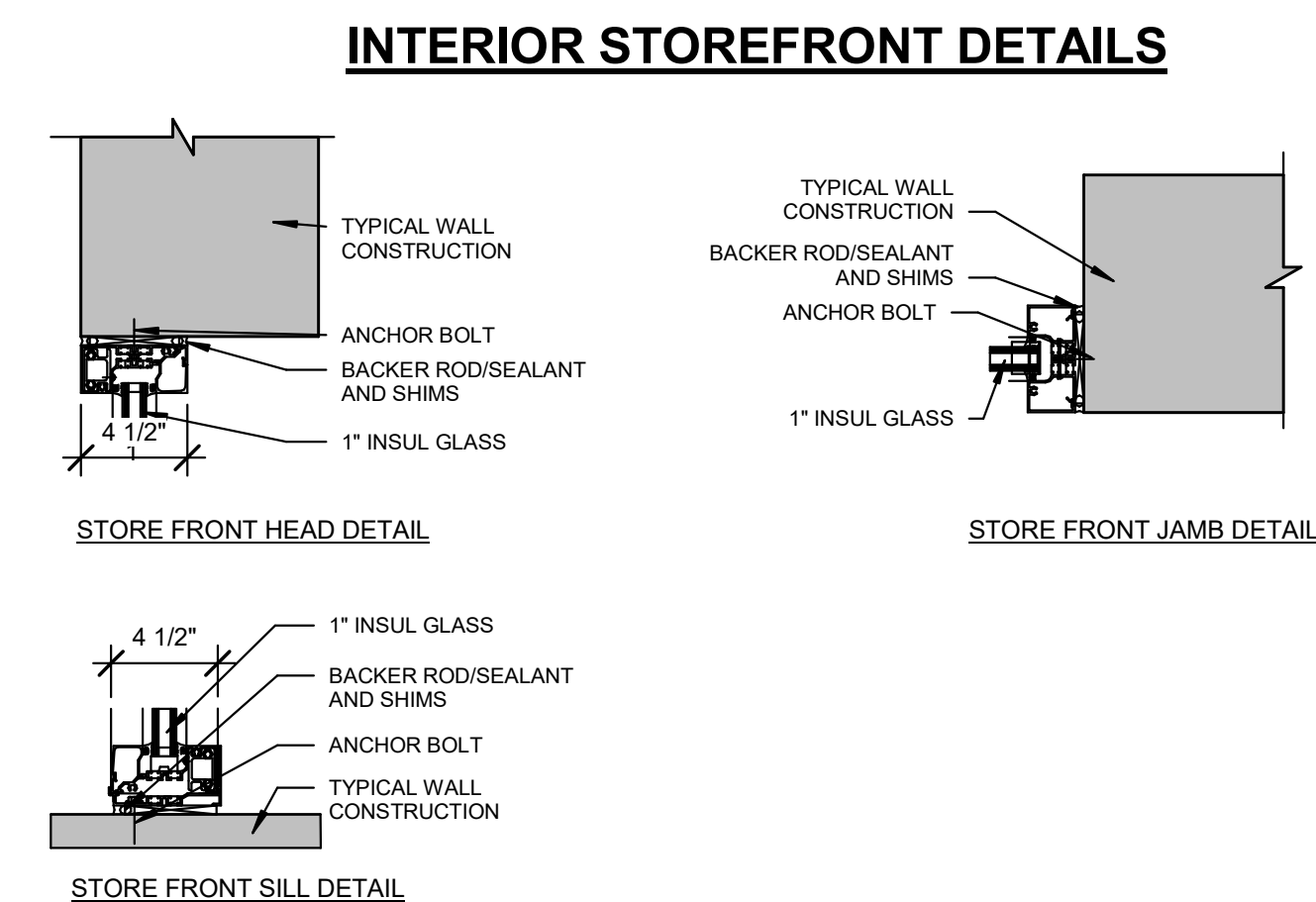
WINDOW HEADER DETAIL - brick veneer
SCALE: 1/32" = 1'-0"



WINDOW JAMB DETAIL - brick veneer
SCALE: 1/32" = 1'-0"



WINDOW SILL DETAIL - CMU masonry
SCALE: 1/32" = 1'-0"



GENERAL CONTRACTOR & SUBCONTRACTOR NOTES:
 1. ALL CAR WASH EQUIPMENT PRODUCT DATA, SHOP DRAWINGS, ETC. ARE TO BE REVIEWED AND COORDINATED BY THE GENERAL CONTRACTOR AND SUBCONTRACTORS.
 2. RFIS MUST BE SUBMITTED IF CONFLICTS ARE SEEN BETWEEN CIVIL, ARCHITECTURAL, EQUIPMENT OR ANY OTHER DRAWING OR SPECIFICATIONS RELATED TO THIS PROJECT. PLEASE REVIEW ALL PLAN SETS PRIOR TO BIDDING OR CONSTRUCTION.

NERI ARCHITECTS

6400 N NORTHWEST HWY
SUITE 4
CHICAGO, IL 60631
TEL: 847.825.9400

PROJECT # 2514
DATE: 06.03.25

STATE OF ILLINOIS

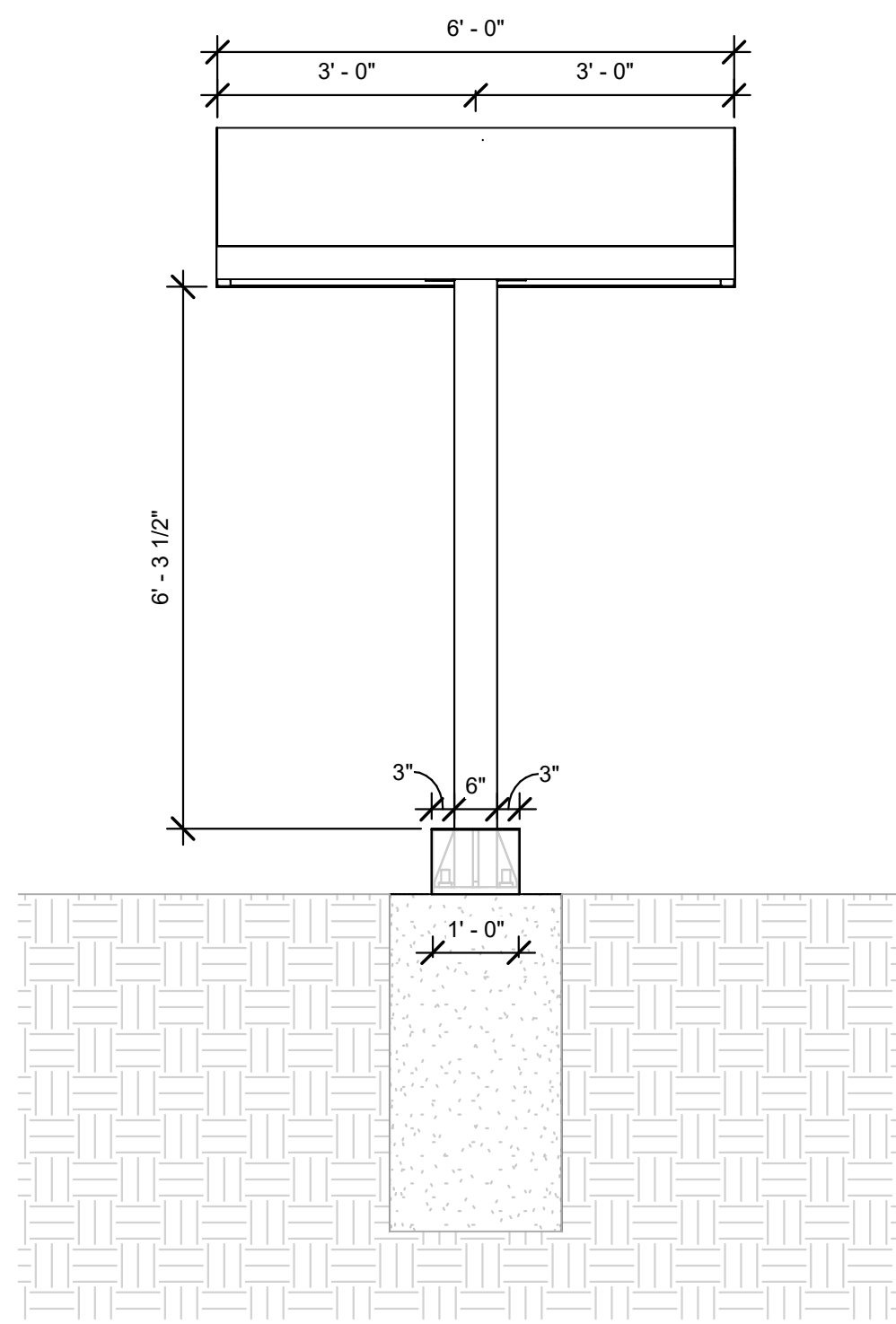
GUIDO C NERI
#001-12341
PARK RIDGE ILLINOIS
LICENSED ARCHITECT

NEW AUTOMATED CARWASH FACILITY

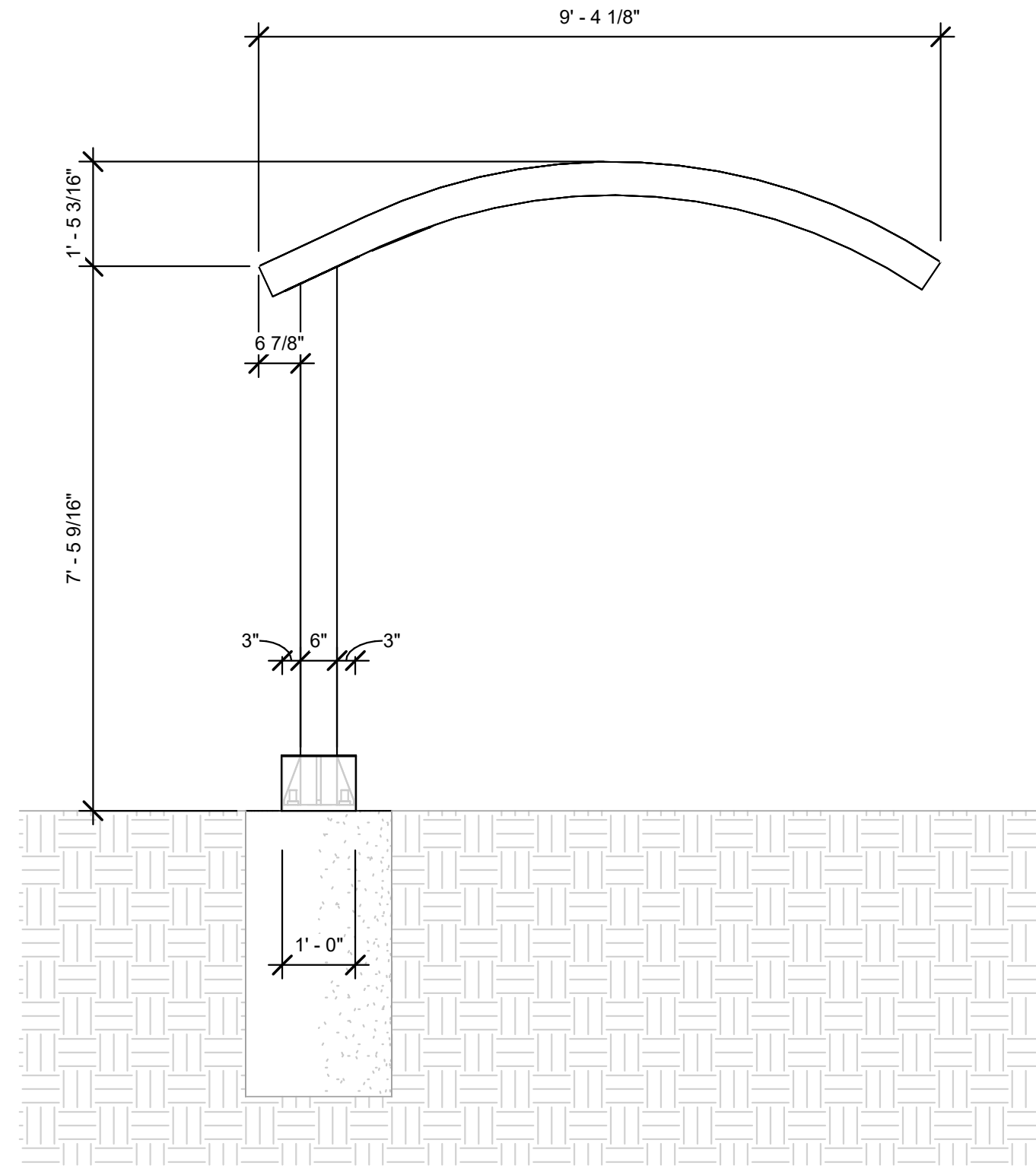
1212 BUTTERFIELD RD.
MUNDELEIN, IL

ZONING REVIEW - NOT FOR CONSTRUCTION

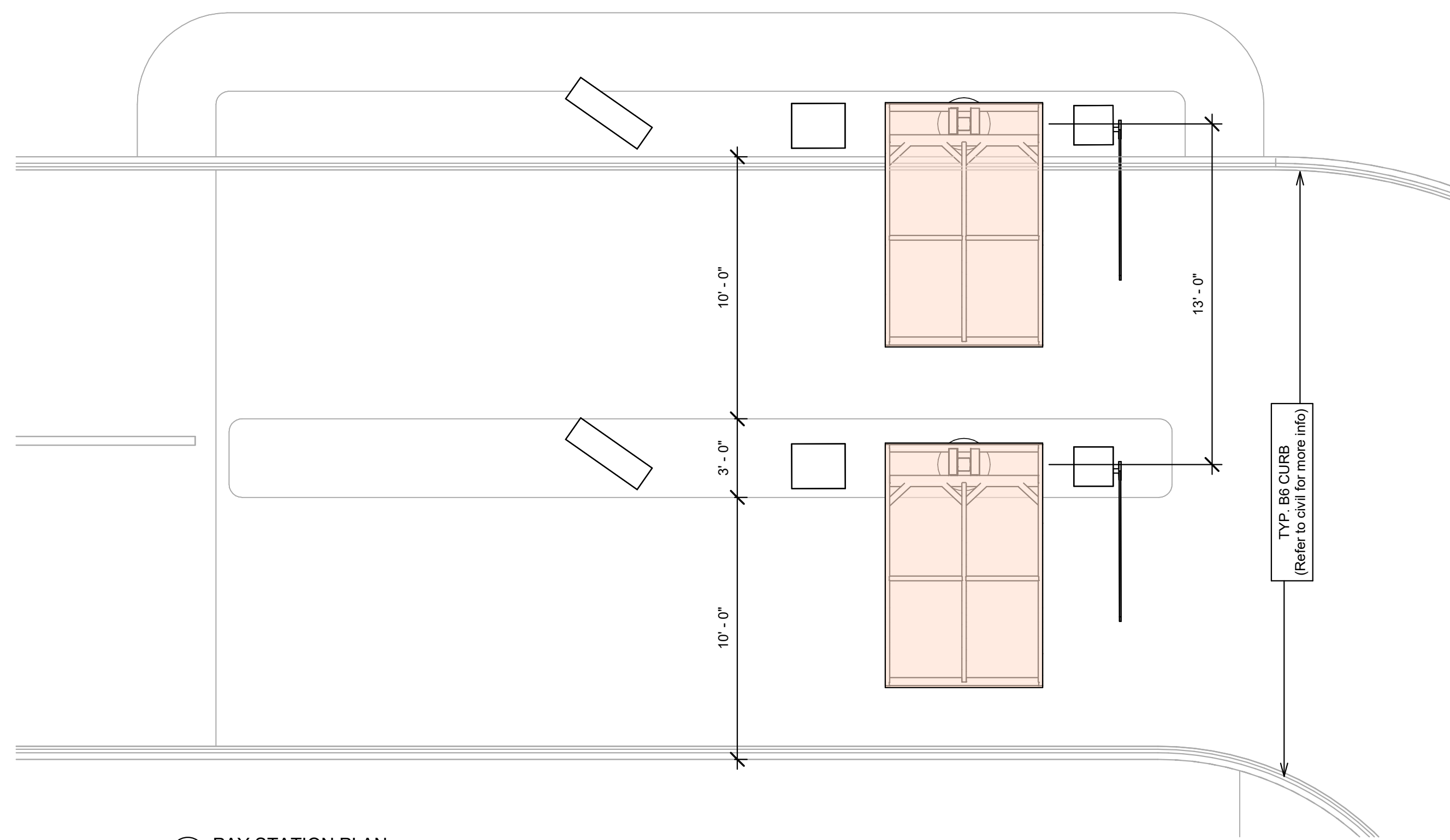
07.10.25	ZONING REVIEW
REVISIONS	
DRAWN BY:	RAM
APPROVED BY:	GCN / MAM
SCALE:	AS NOTED
DESCRIPTION:	MAIN ELEVATIONS & WINDOW SCHDL.
SHEET NO.	A-5.1



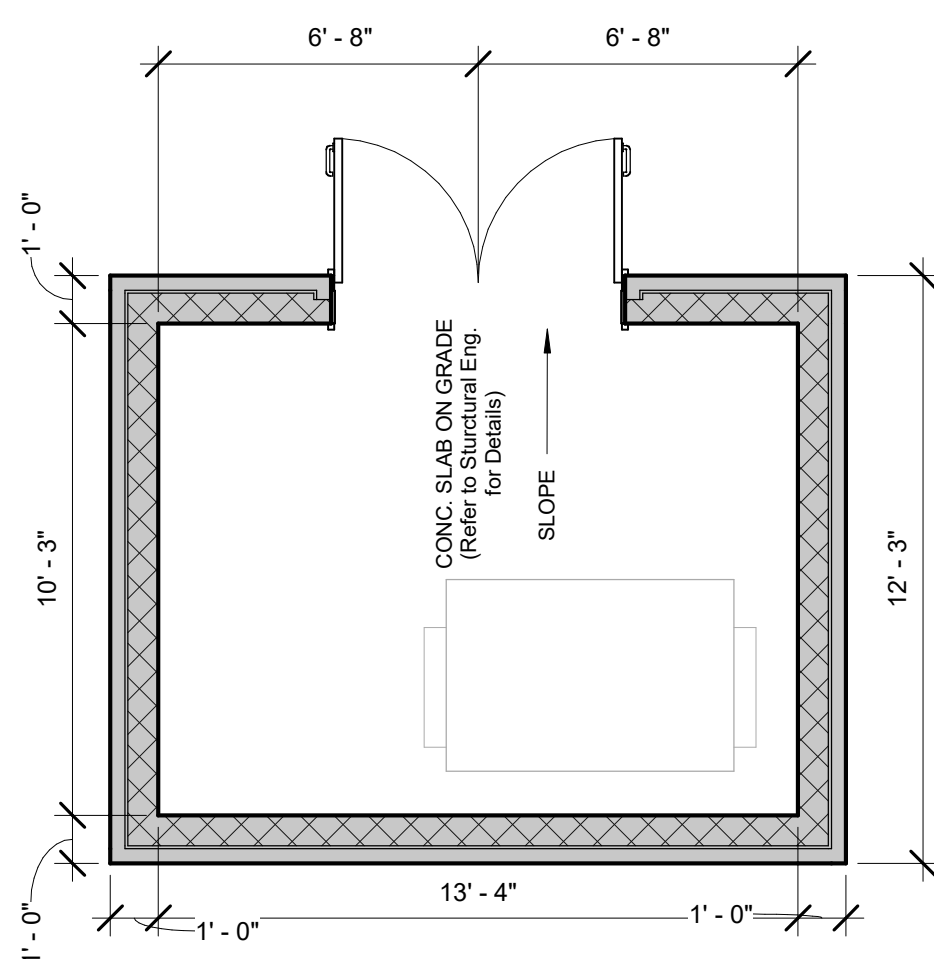
3 PAY STATION (side elevation)
SCALE: 1/2" = 1'-0"



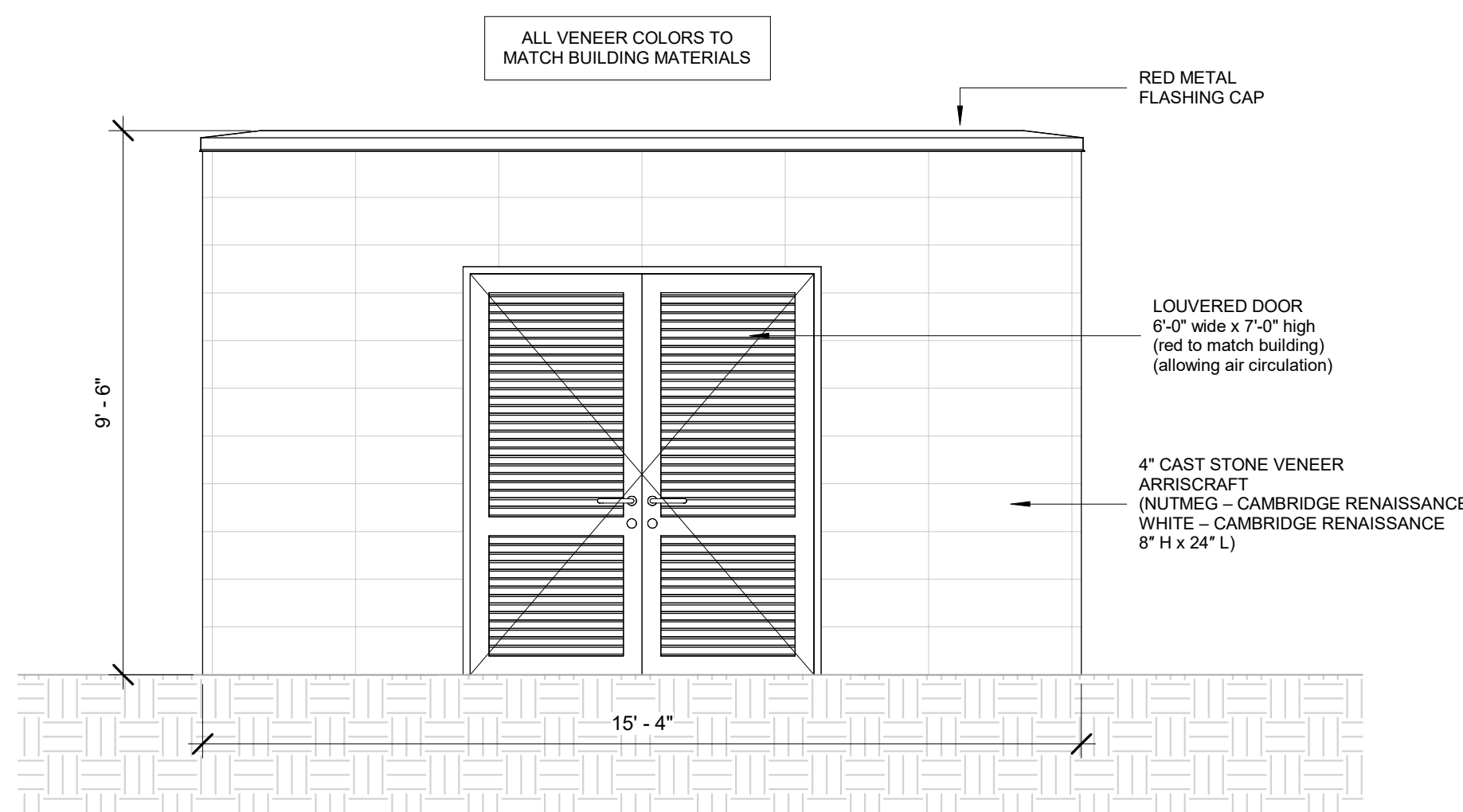
2 PAY STATION (front elevation)
SCALE: 1/2" = 1'-0"



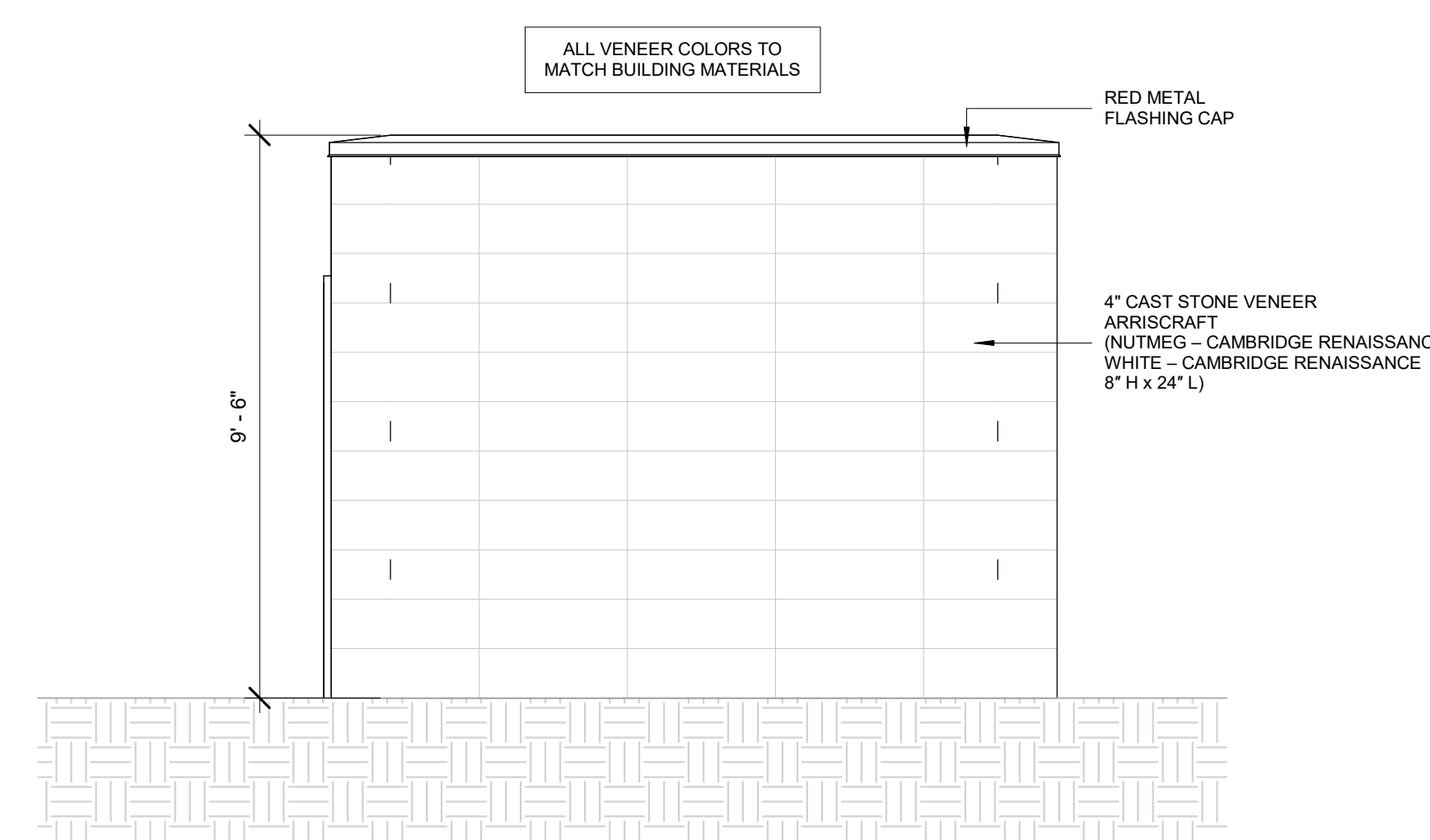
1 PAY STATION PLAN
SCALE: 1/4" = 1'-0"



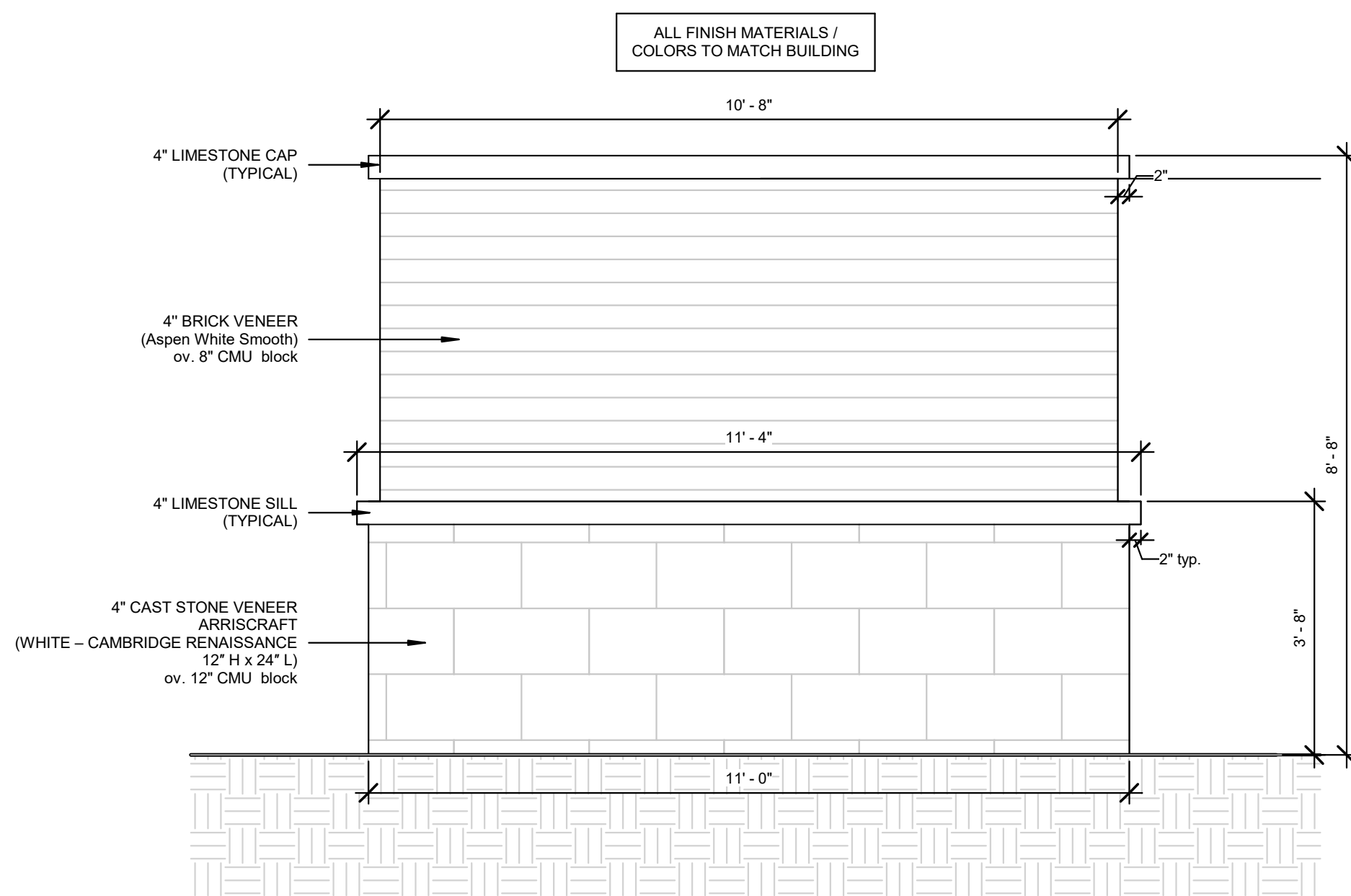
4 REFUSE PLAN
SCALE: 1/4" = 1'-0"



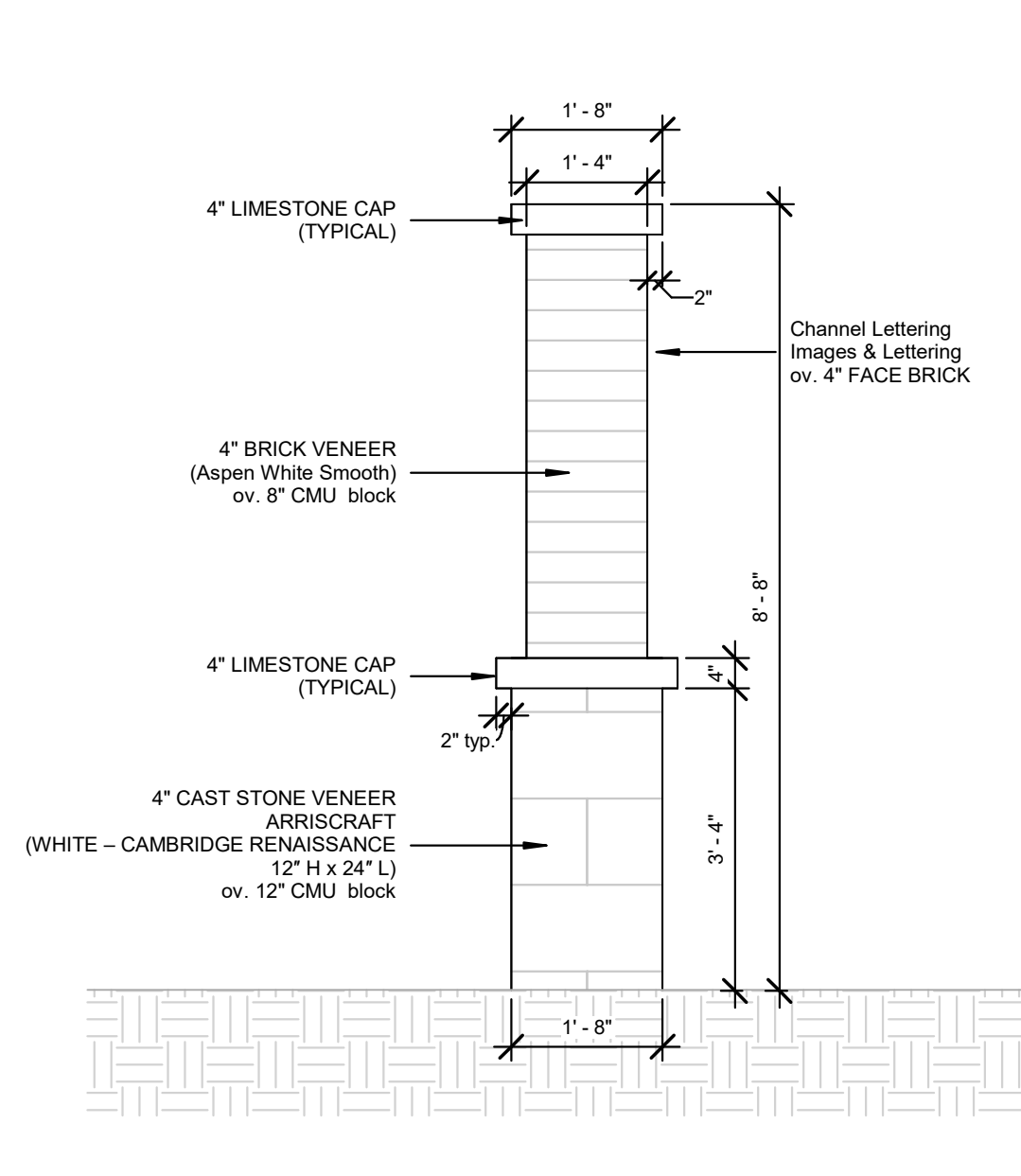
5 REFUSE (Entry)
SCALE: 3/8" = 1'-0"



6 REFUSE (Sides)
SCALE: 3/8" = 1'-0"



7 MONUMENT SIGN - FACE
SCALE: 1/2" = 1'-0"



8 MONUMENT SIGN - SIDE
SCALE: 1/2" = 1'-0"

GENERAL CONTRACTOR & SUBCONTRACTOR NOTES:
1. ALL CAR WASH EQUIPMENT PRODUCT DATA, SHOP DRAWINGS, ETC. ARE TO BE REVIEWED AND COORDINATED BY THE GENERAL CONTRACTOR AND SUBCONTRACTORS.
2. RFI'S MUST BE SUBMITTED IF CONFLICTS ARE SEEN BETWEEN CIVIL, ARCHITECTURAL, EQUIPMENT OR ANY OTHER DRAWING OR SPECIFICATIONS RELATED TO THIS PROJECT. PLEASE REVIEW ALL PLAN SETS PRIOR TO BIDDING OR CONSTRUCTION.

NERI ARCHITECTS

6400 N NORTHWEST HWY SUITE 4 CHICAGO, IL 60631 TEL: 847.825.9400

PROJECT # 2514
DATE: 06.03.25

STATE OF ILLINOIS

GUIDO C NERI

#001-12341
PARK RIDGE ILLINOIS

LICENSED ARCHITECT

NEW AUTOMATED CARWASH FACILITY

1212 BUTTERFIELD RD.
MUNDELEIN, IL

ZONING REVIEW - NOT FOR CONSTRUCTION

▲	07.10.25	ZONING REVIEW			
REVISIONS					
DRAWN BY: RAM					
APPROVED BY: GCN / MAM					
SCALE: AS NOTED					
DESCRIPTION: PAY STATION, REFUSE/TURBINE ENCLOSURE, MONUMENT SIGN					
SHEET NO. A-7.1					



2514
07.10.25
Z-9

1
Z-9

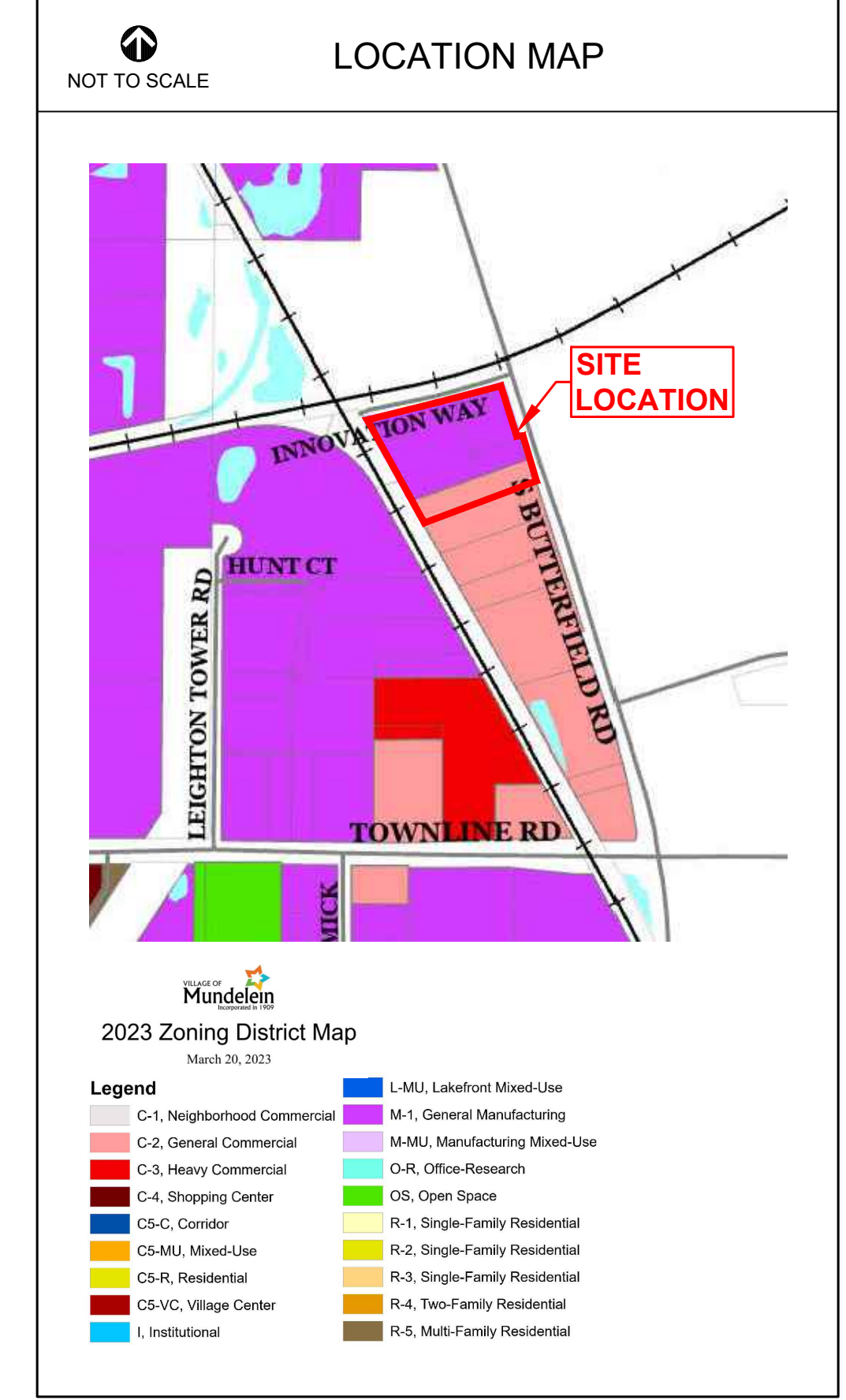
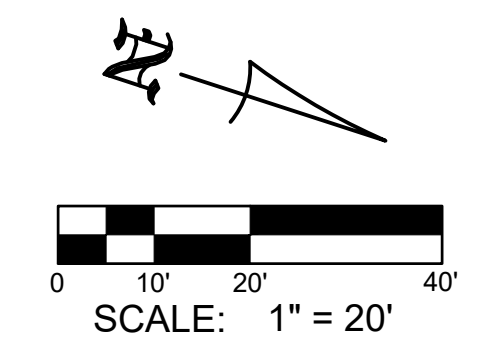
VIEW LOOKING SOUTHEAST
SCALE: 1 1/2" = 1'-0"



2514
07.10.25
Z-10

1
Z-10 VIEW LOOKING NORTHEAST
SCALE: 1 1/2" = 1'-0"

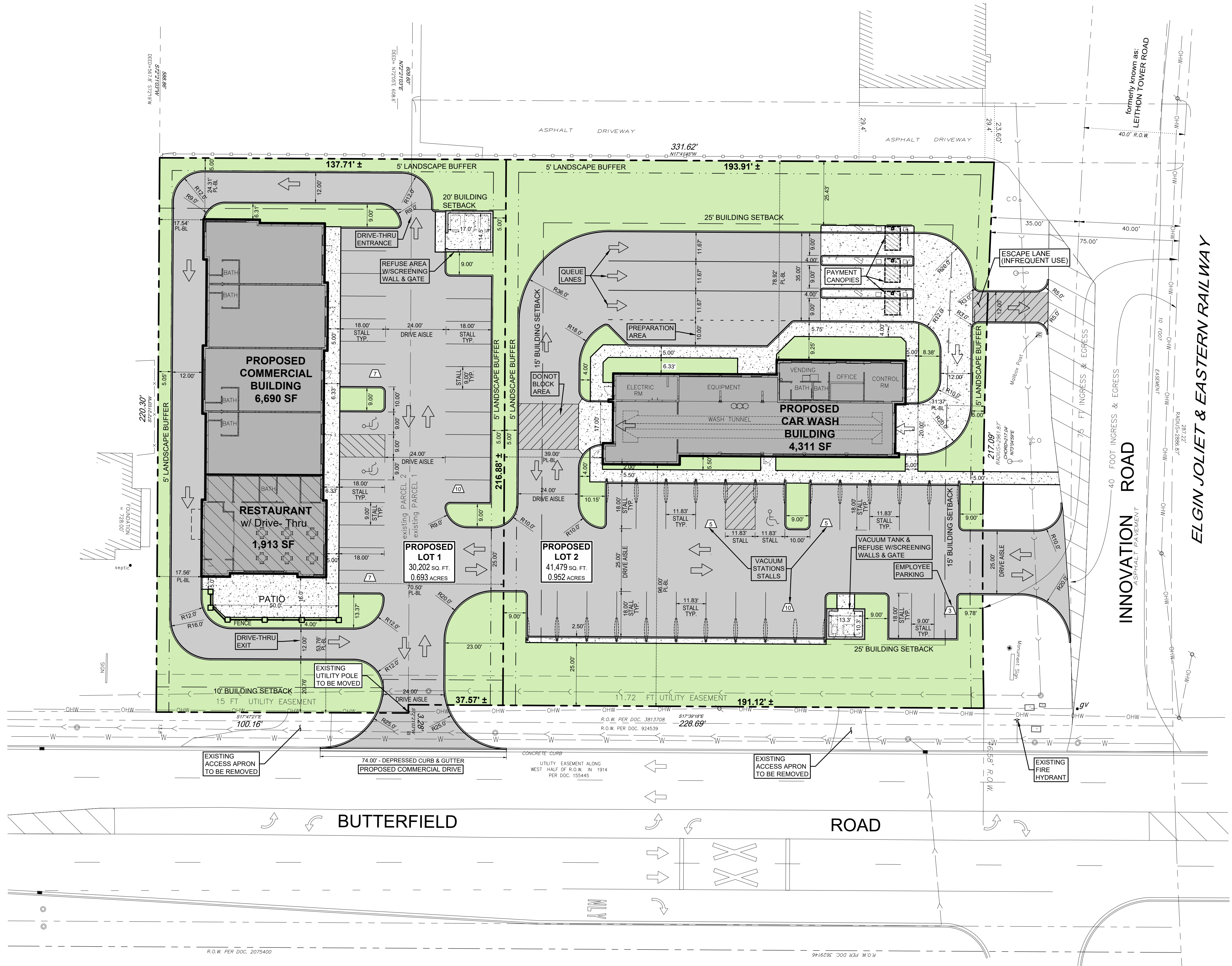
NO.	DESCRIPTION	DATE
-	SITE PLAN UPDATE	05-06-25



PROPOSED IMPROVEMENTS COVERAGE:		VEHICLE PARKING SUMMARY:	
LOT#2 (COMMERCIAL):			
TOTAL AREA	= ± 0.693 AC.	LOT #1 (COMMERCIAL):	
IMPERVIOUS AREA	= 0.529 AC. (76.3%)	STALLS	22
PERVIOUS AREA	= 0.164 AC. (23.7%)	ADA STALLS	2
		TOTAL STALLS PROVIDED:	24
LOT #2 (CAR WASH):			
TOTAL AREA	= ± 0.952 AC.	LOT#2 (CAR WASH):	
IMPERVIOUS AREA	= 0.616 AC. (64.7%)	EMPLOYEE STALLS	3
PERVIOUS AREA	= 0.336 AC. (35.3%)	ADA / VACUUM STALLS	1
		VACUUM STALLS	19
		TOTAL STALLS PROVIDED:	23

NOTES:
1. PROPERTY LINES AND EXISTING IMPROVEMENTS WAS PROVIDED BY MURRY AND MOODY, LTD. LAND SURVEYORS (FIELD DATE 4-22-25).

LEGEND	
	PARKING STALLS IN EACH ROW
	PAINTED ACCESSIBILITY PARKING SYMBOL
	PROPOSED CONCRETE BARRIER CURB
	DIRECTIONAL TRAFFIC ARROW
	PROPOSED PAVEMENT
	PROPOSED CONCRETE
	PROPOSED PERVIOUS AREA



PRELIMINARY ENGINEERING

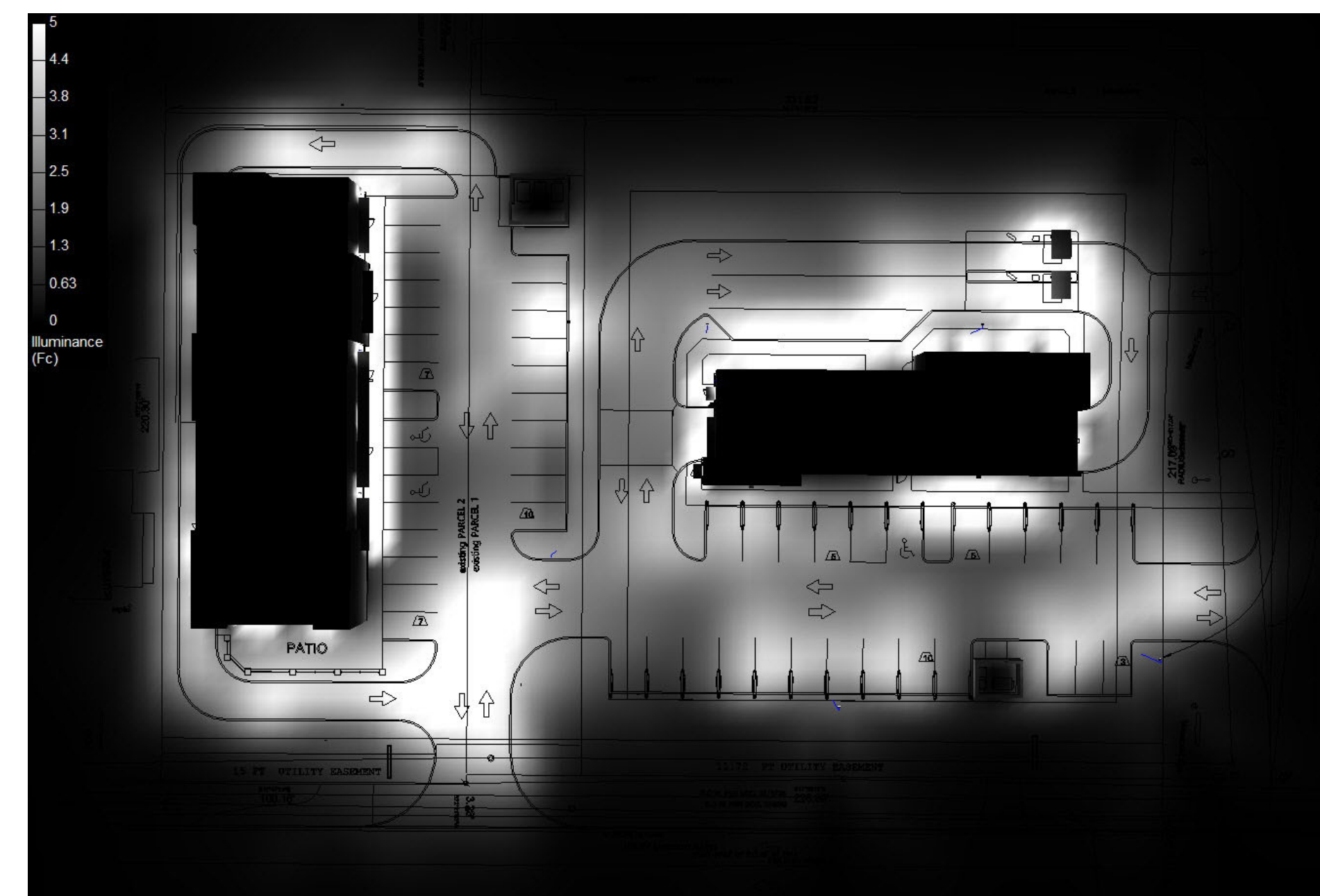
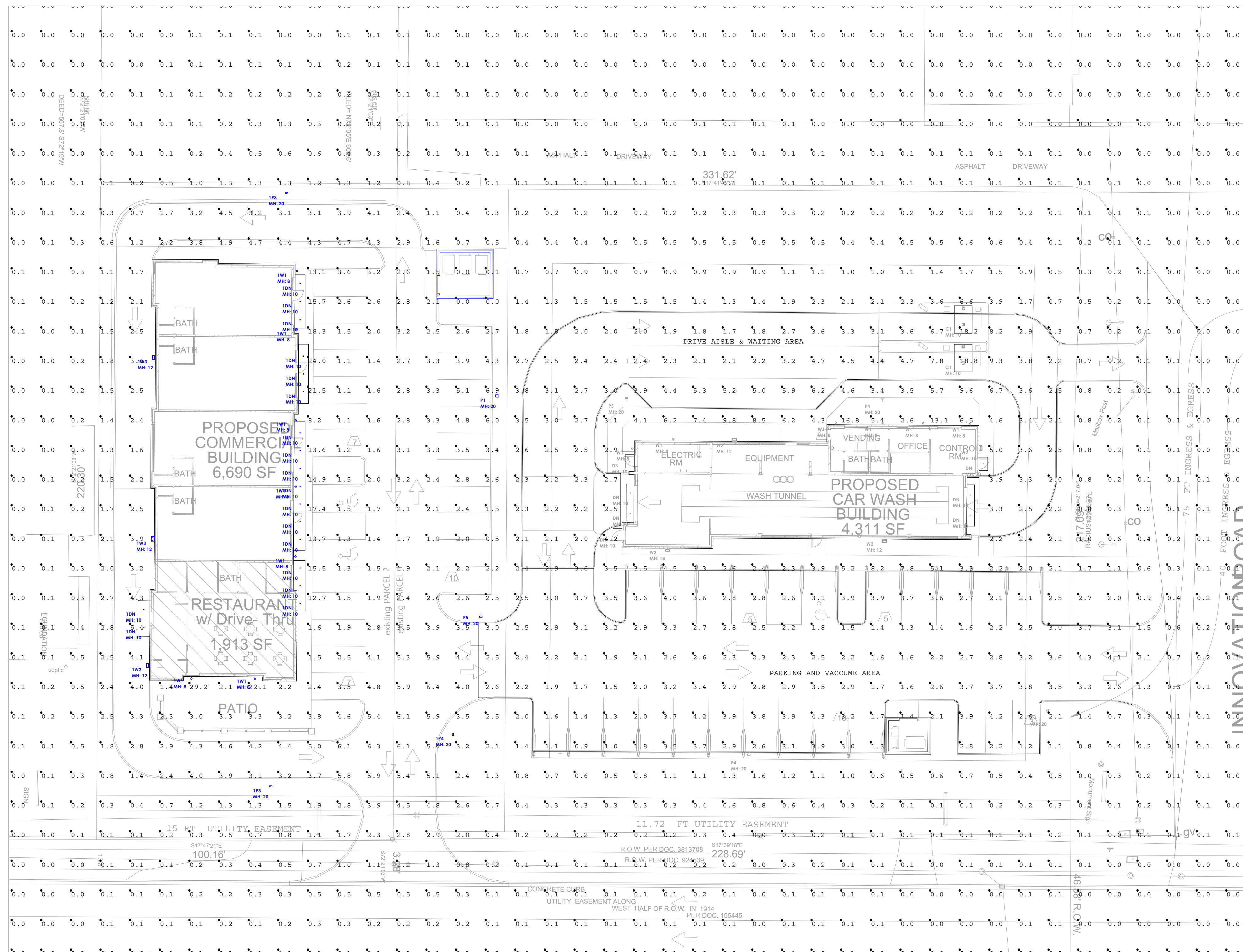
FOR
COMMERCIAL DEVELOPMENT

AT
1212 - 1225
BUTTERFIELD RD.
MUNDELEIN, IL 60060

DESIGNED BY: M.S.E.
DRAWN BY: K.S.B.
DATE: 05/30/2025
PROJECT #: 1664

SHEET TITLE
SITE EXHIBIT

SHEET NUMBER
1
OF 4



Not to Scale

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Max/Min	Avg/Min
FULL AREA CALC_Planar	Illuminance	Fc	0.71	29.2	0.0	N.A.	N.A.
DRIVE AISLE & WAITING AREA	Illuminance	Fc	3.71	18.8	0.7	26.86	5.30
PARKING AND VACCUME AREA	Illuminance	Fc	2.69	4.3	0.9	4.78	2.99

APPLICATION AND TASK	MAINTAINED HORIZONTAL		MAINTAINED VERTICAL		MAXIMUM	
	AVERAGE (FC)	RANGE (FC)	AVERAGE (FC)	RANGE (FC)	AVG:MIN	MAX:MIN
PARKING (UNCOVERED) ZONE 3 (URBAN)	1.5	0.75 - 3	0.8	0.4 - 1.6	4:1	15:1
PARKING (UNCOVERED) ZONE 2 (SUBURBAN)	1	0.5 - 2	0.6	0.3 - 1.2	4:1	15:1
SAFETY (BUILDING EXTERIOR)	1	0.5 - 2	-	-	FOR SECURITY ISSUES, RAISE AVG. TO 3	

SIMPLIFIED RECOMMENDATIONS BASED ON IES 'THE LIGHTING HANDBOOK' 10TH EDITION AND IES RP-20-14. INDIVIDUAL APPLICATIONS WILL DETERMINE SPECIFIC RECOMMENDATIONS. PLEASE REFER TO THE MOST RECENT HANDBOOK FOR A MORE DETAILED EVALUATION AND ADDITIONAL APPLICATIONS. THESE RECOMMENDATIONS DO NOT SUPERCEDE ANY APPLICABLE CODES.

Symbol	Qty	Tag	Manufacturer	Description	Arrangement	Luminaire Lumens	Luminaire Watts	LLF
⊕	18	1DN	DALS Lighting Inc.	RGR4-CC-XX	Single	996	14.4	0.900
⊖	2	1P3	EXO	ASL1-160L-115-4K7-3	Single	15413	109.7	0.900
⊖	1	1P4	EXO	ASL1-160L-115-4K7-4W	Single	15232	109.7	0.900
⊖	7	1W1	DALS	ADEN - LEDWALL-A	Single	2138	27.3	0.900
⊖	3	1W3	EXO	TRP2-24L-30-4K7-3	Single	3747	27.9	0.900
⊖	2	C1	BEACON	VSH-30-4K7-UNV	Single	4450	30.405	0.900
⊕	7	DN	DALS Lighting Inc.	RGR4-CC-XX	Single	996	14.4	0.900
⊖	1	P1	BEACON	ASL1-160L-115-4K7-4F	Single	14740	111.9	0.900
⊖	3	P4	EXO	ASL1-160L-115-4K7-4W-U	Single	15232	109.7	0.900
⊖	2	P5	EXO	ASL1-160L-115-4K7-5QW-U	Single	15632	109.7	0.900
⊖	6	W1	DALS	ADEN - LEDWALL-A	Single	2138	27.3	0.900
⊖	4	W2	EXO	TRP2-32L-70-4K7-3	Single	7927	67	0.900

NOTES

PG-ENLIGHTEN IS NEITHER LICENSED NOR INSURED TO DETERMINE CODE COMPLIANCE. CODE COMPLIANCE REVIEW BY OTHERS.

ANY VARIANCE FROM REFLECTANCE VALUES, OBSTRUCTIONS, LIGHT LOSS FACTORS OR DIMENSIONAL DATA WILL AFFECT THE ACTUAL LIGHT LEVELS OBTAINED.

THIS ANALYSIS IS A MATHEMATICAL MODEL AND CAN BE ONLY AS ACCURATE AS IS PERMITTED BY THE THIRD-PARTY SOFTWARE AND THE IES STANDARDS USED.

FIXTURE TYPES AND QUANTITIES MAY CHANGE BASED ON UNKNOWN OBSTRUCTIONS OR FIELD CONDITIONS. THESE CHANGES MAY RESULT IN AN INCREASED QUANTITY OF FIXTURES.

FIXTURE TYPES AND QUANTITIES BASED ON PROVIDED LAYOUT AND DRAWINGS ARE FOR REFERENCE ONLY. TYPES AND QUANTITIES MAY CHANGE WITH FUTURE REVISIONS.

CALCULATION GRID VALUES 10'-0" O.C.



DRAWN BY:
JOSH BURGE
josh.burge@pg-enlighten.com
847.228.1197

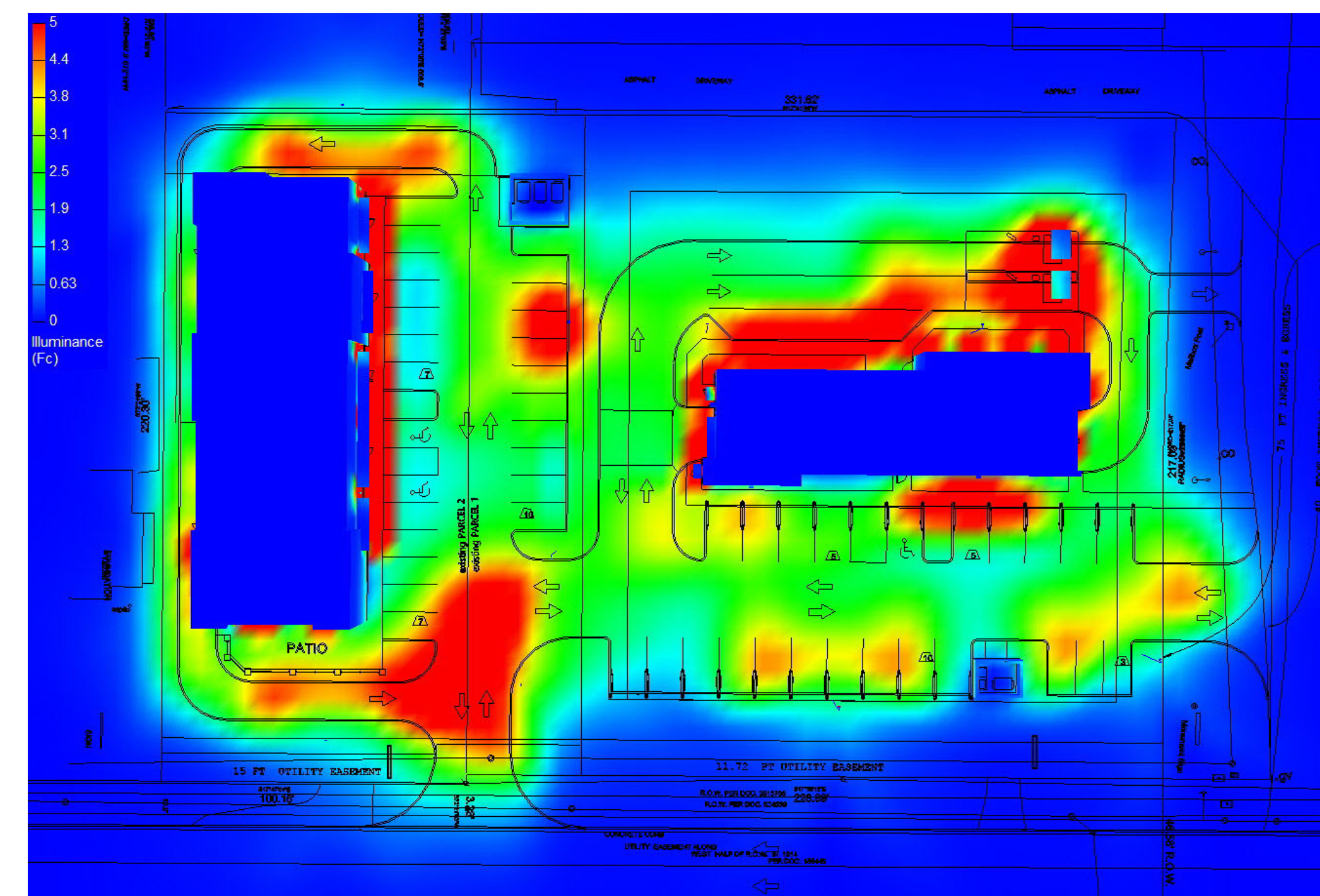
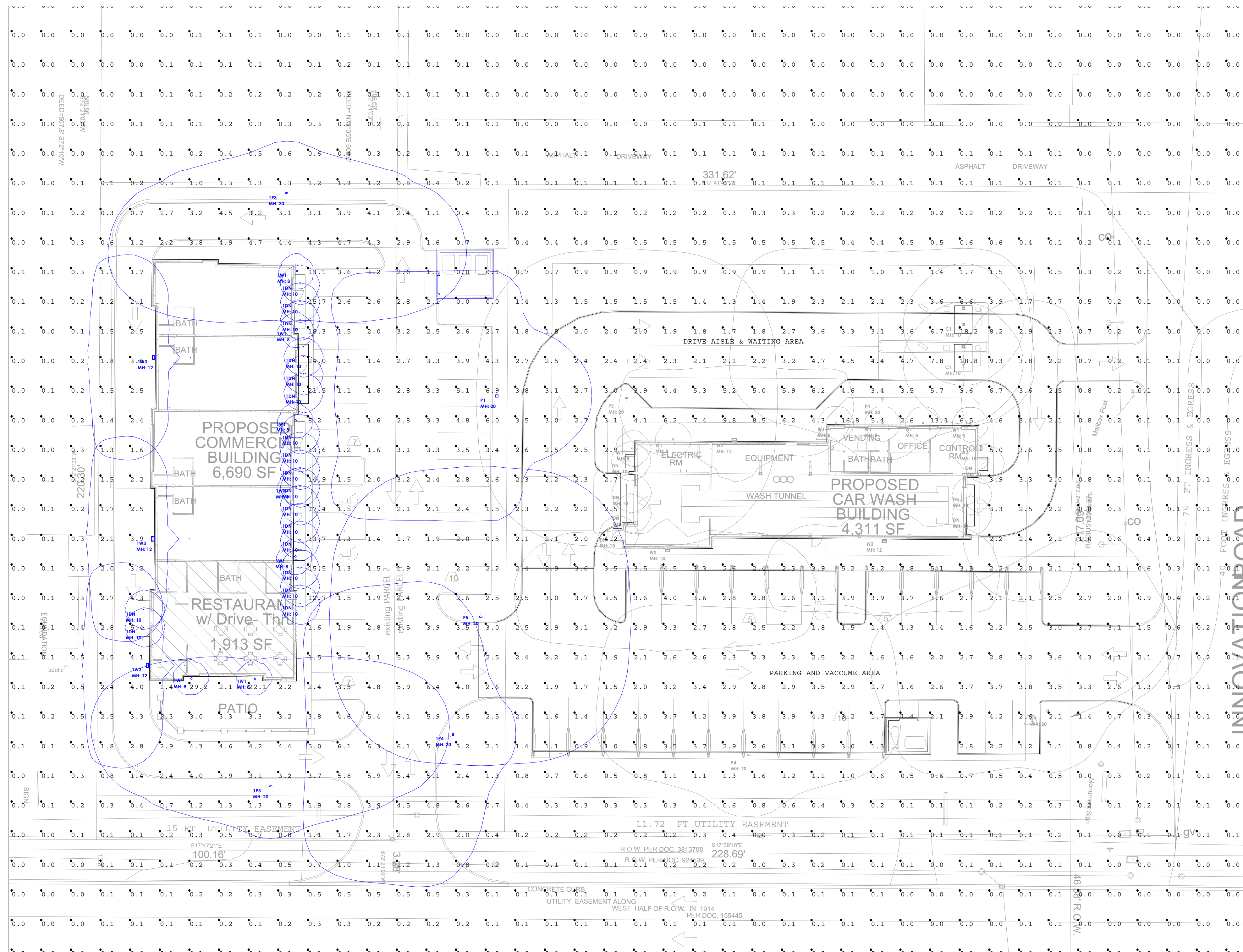
PG CONTACT:
Janine Every
janine.every@pg-enlighten.com
773.682.8478

PROJECT NAME:
CAR WASH & RETAIL - 1212 BUTTERFIELD RD. MUNDELEIN, IL

CLIENT NAME:
NERI ARCHITECTS

Date: 7/10/2025
Page 1 of 2

1	2	3
REVISIONS		



Not to Scale

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Max/Min	Avg/Min
FULL AREA CALC_Planar	Illuminance	Fc	0.71	29.2	0.0	N.A.	N.A.
DRIVE AISLE & WAITING AREA	Illuminance	Fc	3.71	18.8	0.7	26.86	5.30
PARKING AND VACCUME AREA	Illuminance	Fc	2.69	4.3	0.9	4.78	2.99

PARKING LOT DESIGN GUIDE	MAINTAINED HORIZONTAL		MAINTAINED VERTICAL		MAXIMUM	
	AVERAGE (FC)	RANGE (FC)	AVERAGE (FC)	RANGE (FC)	AVG:MIN	MAX:MIN
PARKING (UNCOVERED) ZONE 3 (URBAN)	1.5	0.75 - 3	0.8	0.4 - 1.6	4:1	15:1
PARKING (UNCOVERED) ZONE 2 (SUBURBAN)	1	0.5 - 2	0.6	0.3 - 1.2	4:1	15:1
SAFETY (BUILDING EXTERIOR)	1	0.5 - 2	-	-	FOR SECURITY ISSUES, RAISE AVG. TO 3	

SIMPLIFIED RECOMMENDATIONS BASED ON IES 'THE LIGHTING HANDBOOK' 10TH EDITION AND IES RP-20-14. INDIVIDUAL APPLICATIONS WILL DETERMINE SPECIFIC RECOMMENDATIONS. PLEASE REFER TO THE MOST RECENT HANDBOOK FOR A MORE DETAILED EVALUATION AND ADDITIONAL APPLICATIONS. THESE RECOMMENDATIONS DO NOT SUPERCEDE ANY APPLICABLE CODES.

Symbol	Qty	Tag	Manufacturer	Description	Arrangement	Luminaire Lumens	Luminaire Watts	LLF
⊕	18	1DN	DALS Lighting Inc.	RGR4-CC-XX	Single	996	14.4	0.900
⊕	2	1P3	EXO	ASL1-160L-115-4K7-3	Single	15413	109.7	0.900
⊕	1	1P4	EXO	ASL1-160L-115-4K7-4W	Single	15232	109.7	0.900
⊕	7	1W1	DALS	ADEN - LEDWALL-A	Single	2138	27.3	0.900
⊕	3	1W3	EXO	TRP2-24L-30-4K7-3	Single	3747	27.9	0.900
⊕	2	C1	BEACON	VSH-30-4K7-UNV	Single	4450	30.405	0.900
⊕	7	DN	DALS Lighting Inc.	RGR4-CC-XX	Single	996	14.4	0.900
⊕	1	P1	BEACON	ASL1-160L-115-4K7-4F	Single	14740	111.9	0.900
⊕	3	P4	EXO	ASL1-160L-115-4K7-4W-U	Single	15232	109.7	0.900
⊕	2	P5	EXO	ASL1-160L-115-4K7-5QW-U	Single	15632	109.7	0.900
⊕	6	W1	DALS	ADEN - LEDWALL-A	Single	2138	27.3	0.900
⊕	4	W2	EXO	TRP2-32L-70-4K7-3	Single	7927	67	0.900

NOTES

PG-ENLIGHTEN IS NEITHER LICENSED NOR INSURED TO DETERMINE CODE COMPLIANCE. CODE COMPLIANCE REVIEW BY OTHERS.

ANY VARIANCE FROM REFLECTANCE VALUES, OBSTRUCTIONS, LIGHT LOSS FACTORS OR DIMENSIONAL DATA WILL AFFECT THE ACTUAL LIGHT LEVELS OBTAINED.

THIS ANALYSIS IS A MATHEMATICAL MODEL AND CAN BE ONLY AS ACCURATE AS IS PERMITTED BY THE THIRD-PARTY SOFTWARE AND THE IES STANDARDS USED.

FIXTURE TYPES AND QUANTITIES MAY CHANGE BASED ON UNKNOWN OBSTRUCTIONS OR FIELD CONDITIONS. THESE CHANGES MAY RESULT IN AN INCREASED QUANTITY OF FIXTURES.

FIXTURE TYPES AND QUANTITIES BASED ON PROVIDED LAYOUT AND DRAWINGS ARE FOR REFERENCE ONLY. TYPES AND QUANTITIES MAY CHANGE WITH FUTURE REVISIONS.

CALCULATION GRID VALUES 10'-0" O.C.

PROJECT NAME:
CAR WASH & RETAIL - 1212 BUTTERFIELD RD. MUNDELEIN, IL

CLIENT NAME:
NERI ARCHITECTS

DRAWN BY:
JOSH BURGE
josh.burge@pg-enlighten.com
847.228.1197

PG CONTACT:
Janine Every
janine.every@pg-enlighten.com
773.682.8478

1	2	3
REVISIONS		

Date: 7/10/2025

Page 2 of 2

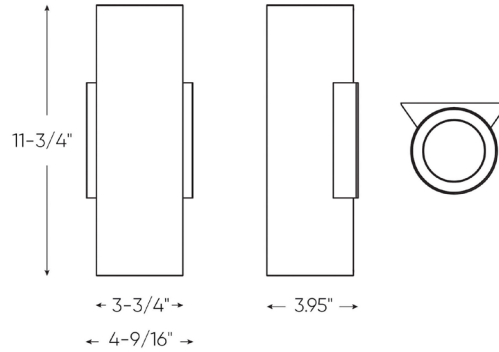
MODEL NAME **LEDWALL-A
ADEN**

Round Cylinder With Multiple Lighting Options

The key design element of our new LED cylinder is the removable lens. This feature allows for three distinctive styles during installation.



PROJECT:	TYPE:
DATE:	QTY:
NOTES:	

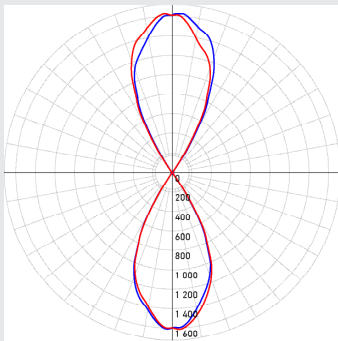


QUICK SPECS

SIZE	WATTS	DELIVERED LUMENS*	COLOR °T 5CCT	CRI	VOLTAGE	BEAM ANGLE	LIGHT DIRECTION	FINISH
4"	29W	2100lm	3000K	90	120V-277V	45° or 115°	Up and down	<input checked="" type="radio"/> Black <input type="radio"/> White <input type="radio"/> Silver grey

*Lumen output measured at 3000K

LIGHT DISTRIBUTION



CONSTRUCTION

Lens Clear or frosted	Finish type Powder coated	Type of LED COB
Lens material Glass	Housing material Aluminum	Mounting Octo Jbox

RATINGS

Placement Indoor/outdoor	Lifespan 50,000 hrs.	IP rating IP65
Location Wet	Certifications ETL, JA8, ES, ADA	Operating temperature -30° to 40° C

WHAT'S IN THE BOX

- LED wall sconce fixture
- Mounting bracket
- Mounting hardware
- Wire nuts
- Instruction sheet

ACCESSORIES

-

ADAPTERS

-



**ELECTRICAL
DETAILS**

Input voltage
120-277V

Output current
700mA

Power factor
90%

Driver type
Constant current

Output voltage
24-42V

LED model #
COB

**THD harmonic
distortion**
<20%

Binning type
3 SCDM

FEATURES

Cylinder comes with 3 optical options:
• Bright aluminum reflector that provides a 45° beam spread
• Frosted glass lens

to allow a wider beam spread
• Die-cast aluminum cap to allow a down light only version

Cylindrical housing made of extruded aluminum

The LED board is sealed with a clear tempered

glass lens to ensure weatherproof operation

Driver installs in junction box

Not compatible with shallow junction boxes

WARRANTY

DALS offers a 5-year warranty from the date of purchase which covers repairs or replacement of defective parts of the housing, optics, and electronics. To contact DALS customer service call 1-877-430-1818 or send an e-mail to info@dals.com.

RECOMMENDED DIMMER LIST*

BRAND	MODEL #	DIMMER SPECS	GRADE	DIMMING RANGE (%)		MAX LOAD
				MIN	MAX	
Lutron	DVELV-300P-WH	300W electronic low voltage dimmer	Compatible	7	100	10
Lutron	MA-PRO-WH	ELV, 250W LED/CFL	Compatible	1	100	9
Lutron	Caseta PD-5NE-WH-C	ELV, LED—up to 250 W	Compatible	3	100	9
Control 4	C4-APD120-WH	ELV, 120W LED	Compatible	0	100	4
Lutron	DVSTV (0-10 V Controls)	960W, 8 A, 120-277V	Compatible	12	93	33

* Minimal buzzing noise may occur with some dimmers

MODEL RGR4HP-CC

NAME RGR

4in High power regressed recessed

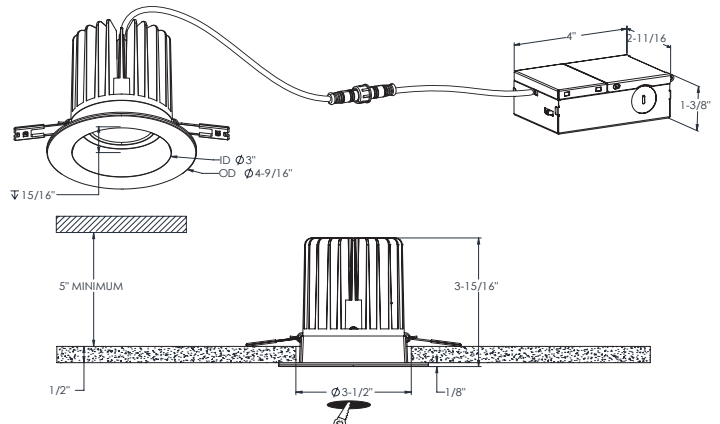
When choosing a recessed fixture, eliminating glare is a priority. The unique positioning of the LED module in this series of downlights will meet that important need.



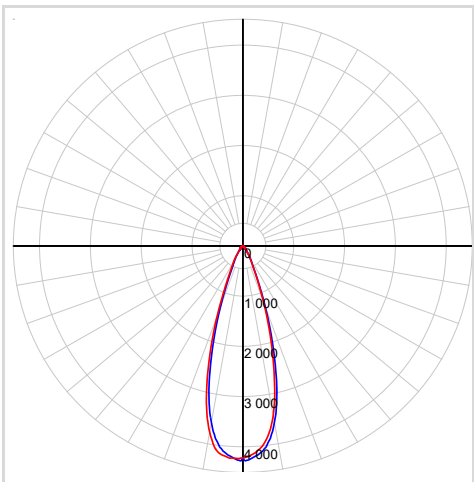
PROJECT _____ **TYPE** _____

DATE _____ **QTY** _____

NOTES



LIGHT DISTRIBUTION



*Lumen output measured at 3000k

QUICK SPECS

Size	4"
Watts (W)	20
Delivered lumens*	1560
CRI	90
Voltage (v)	120
Beam angle (deg)	40
Cut hole size (in)	3-1/2"
Lifespan (hrs)	50000
FT rating	FT6
Binning	3 SDCM
LED model	COB
Color temperature	2700K/3000K/3500K/4000K/5000K

ELECTRICAL DETAILS

Environment	Wet
Location	Indoor/Outdoor
Operating temp. (° C)	-20 to 40
IP rating	IP44
Input voltage (V)	120
Output voltage (V)	32-48VDC
Output current (mA)	470mA
Power factor	99
Driver type	Constant current
THD	0
Certifications	ETL, FCC, ICES, T24/JA8
	IC, ASTM E283-04

ORDERING GUIDE

RGR4HP-CC	-	_____	-	_____
		Voltage		Finish
		BLANK - 120v Triac dimming		WH - White ○
		V - 120-277-347V 0-10v dimming		BK - Black ●

CONSTRUCTION

Lens material	Acrylic
Optic type	Optical lens
Finish type	Matte
Housing material	Aluminum

WHAT'S IN THE BOX	ACCESSORIES	ADAPTORS
<ul style="list-style-type: none"> LED recessed fixture Junction box 3x Push-in wire connectors Mounting hardware Instruction sheet 	<ul style="list-style-type: none"> RFP-35 Drilling plate 	<ul style="list-style-type: none"> REC-CC-EXT8FT 96" extension cord for recessed fixtures REC-CC-EXT20FT 240" extension cord for recessed fixtures

RECOMMENDED DIMMER LIST*

BRAND	MODEL	DIMMER SPECS	GRADE	MIN	MAX	MAX LOAD
Dals	SM-DIMSW Smart Dimmer*	Triac, 250W LED/CFL	Compatible	5	100	13
Lutron	DVCL-153PR-WH-C*	Triac, 150 W Dimmable CFL/LED	Compatible	6	100	8
Lutron	CTCL-153PDH-WH-C*	Triac, 150 W Dimmable CFL/LED	Compatible	6	100	8
Lutron	STCL-153PH-WH-C*	Triac, 150 W Dimmable CFL/LED	Compatible	1	100	8
Lutron	MACL-153MRHW-WHC*	Triac, 150 W Dimmable CFL/LED	Compatible	0	100	8
Lutron	DVELV-300P-WH	300W electronic low voltage dimmer	Compatible	7	98	15
Lutron	MA-PRO-WH*	ELV, 250W LED/CFL	Compatible	1	100	13
Lutron	Caseta PD-6WCL-WH-R-C*	Triac, 300W Dimmable CFL/LED	Compatible	0	100	15
Lutron	Caseta PD-5NE-WH-C*	ELV, LED—up to 250 W	Compatible	3	100	13
Lutron	Caseta PD-10NXD-WH*	Triac, LED—up to 250 W	Compatible	0	100	13
Leviton	6674*	Triac, 150 W Dimmable CFL/LED	Compatible	9	100	8
Leviton	¶PL06-10Z*	Triac, 150 W Dimmable CFL/LED	Compatible	8	100	8
Leviton	DSL06-1LZ*	Triac, 150 W Dimmable CFL/LED	Compatible	7	100	8
Leviton	D26HD-742-1RW*	Triac, 300W LED/CFL	Compatible	9	100	15
Legrand	RHCL453PNICCV4*	Triac, 450W Dimmable CFL/LED	Compatible	10	100	23
Legrand	ADTP703TUM4*	Triac, 450W Dimmable CFL/LED	Compatible	11	100	23
Control 4	C4-APD120-WH	ELV, 120W LED	Compatible	0	100	6
tp-link	HS220*	Triac, 150 W, Dimmable LED (MLV)	Compatible	3	100	8

*With Low-End Adjustment Feature

Minimal buzzing noise may occur with some dimmers

WARRANTY

DALS offers a 5-year warranty from the date of purchase which covers repairs or replacement of defective parts of the housing, optics, and electronics. To contact DALS customer service call 1-877-430-1818 or send an e-mail to info@dals.com.

SLING Micro Strike

AREA/SITE/ROAD LIGHTER

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

FEATURES

- Compact sleek design with multiple LED configurations and simple installation
- The SLING includes a square mounting block for easy pole installation or mast arm option for 2-3/8 ft OD roadway brackets
- Capable of replacing up to 1000w HID luminaires
- Micro Strike optical distributions of Type 2, 3, 4F, 4W or 5QW
- Tool-less entry option for easy installation and maintenance
- 1.5G rated for high vibration applications including bridges and overpasses



CONTROL TECHNOLOGY



SERVICE PROGRAMS



SPECIFICATIONS

CONSTRUCTION

- Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with powder coat paint finish
- Separate optical and electrical compartment for improved thermal management and optimum component operation
- TGIC thermoset polyester powder paint finish applied at nominal 2.5 mil thickness

OPTICS

- Entire optical aperture illuminates to create a larger luminous surface area resulting in a low glare appearance without sacrificing optical performance
- Premium engineered individual acrylic lenses deliver IES Type 2, 3, 4F, 4W and 5QW distributions
- Lens distributions are field rotatable (in 90° increments) or exchangeable for job site fine-tuning
- 3000K, 4000K or 5000K (70 CRI) CCT
- 80, 160 or 320 midpower LEDs
- 3000K, 4000K or 5000K (70 CRI) CCT
- Zero uplight at 0 degrees of tilt
- Field rotatable optics

INSTALLATION

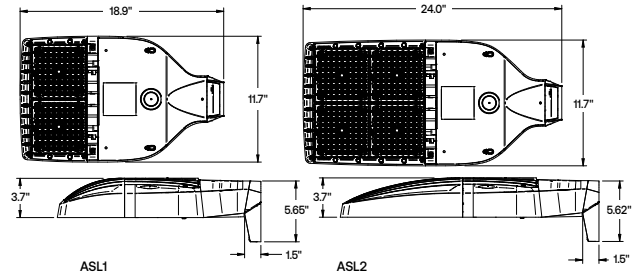
- Tool-less entry to wiring/driver compartment optional
- Arm mounting works with S2 drill pattern
- Fixture ships with square mounting block for ease of installation
- Mast arm fitter accessory or option available for 2-3/8" OD brackets with vertical tilt of +3°, 0° or -3°

ELECTRICAL

- Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz
- Ambient operating temperature -40° C to 40° C
- Drivers have greater than 90% power factor and less than 20% THD
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- Standard 6kV surge protection with optional field replaceable surge protection device provides 20KA and 10KV protection meeting ANSI/IEEE C62.41.2 Category C High and Surge Location Category C3; Automatically takes fixture off-line for protection when device is consumed

CONTROLS

- Photo control, occupancy sensor and Zigbee wireless available for complete on/off and dimming control
- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules (control accessories sold separately)
- Dimming Drivers are standard and dimming leads are extended out of the luminaire unless control options require connection to the dimming leads. Must specify if wiring leads are to be greater than the 6
- Please consult brand or sales representative when combining control and electrical options as some combinations may not operate as anticipated depending on your application



	Weight lbs. (kg)	EPA
ASL1	14.47 (6.56)	.46ft ² 0.43m ²
ASL2	17.47 (7.92)	.56ft ² 0.52m ²

CERTIFICATIONS

- Listed to UL1598 and CSA C22.2#2500-24 for wet locations and 40°C ambient temperatures
- DLC® (DesignLights Consortium Qualified), with some Premium Qualified configurations. Not all product variations on this page are DLC Qualified. Refer to <http://www.designlights.org/> for the most up-to-date list.
- 1.5G rated for ANSI C136.31 high vibration applications
- IP65 optical assembly
- Meets IDA recommendations using 3K CCT configuration at 0 degrees of tilt
- This product meets federal procurement law requirements under the Buy American Act (FAR 52.225-9) and Trade Agreements Act (FAR 52.225-11). See Buy America(n) Solutions (link to <https://www.currentlighting.com/resources/america-solutions>)

WARRANTY

- 5 Year warranty

SLING Micro Strike

AREA/SITE/ROAD LIGHTER

DATE: _____ LOCATION: _____
 TYPE: _____ PROJECT: _____
 CATALOG #: _____

Gray Shading = Service Program Limit of 15 luminaires **QS10**

ORDERING GUIDE

Example: ASL1-80L-50-3K7-2-UNV-ASQU-BLT-7PRMD-40F

CATALOG #

ORDERING INFORMATION

Series	# LEDs	CCT/CRI	Distribution	Voltage	Mounting
ASL1 ASL Microstrike Series	80L-25	3,000 lm	2 Type II	UNV Universal 120-277V	A Arm for Square poles with S2 drill pattern
	80L-39	4,500 lm	3 Type III	120 120V	A3 Square Arm with 3.25"-3.75" OD RPA3 Adapter
	80L-50	6,000 lm	4F Type 4F	208 208V	A4 Square Arm with 3.875"-4.5" OD RPA4 Adapter
	160L-70	9,000 lm	4W Type 4W	240 240V	A5 Square Arm with 5" OD RPA5 Adapter
	160L-100	12,000 lm	5QW Type 5QW	277 277V	MAF Mast Arm Fitter for 2-3/8" OD
	160L-115	15,000 lm		347 347V	
	160L-135	18,000 lm		480 480V	
ASL2 ASL Microstrike Series	320L-145	21,000 lm			
	320L-170	24,000 lm			
	320L-185	27,000 lm			
	320L-210	30,000 lm			
	320L-235	33,000 lm			
	320L-255	35,000 lm			

Network Control Options	Options	Color
NXWS16F NX Networked Wireless Enabled Integral NX SMP2-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming ^{1,3,4}	F Fusing	BLT Black Matte Textured
NXWS40F NX Networked Wireless Enabled Integral NX SMP2-HMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming ^{1,3,4}	BC Backlight Control	BLS Black Gloss Smooth
NXW NX Networked Wireless Radio Module NXRM2 and Bluetooth Programming, without Sensor ^{3,4}	SP 20kA & 10kV Surge Protector	DBT Dark Bronze Matte Textured
Stand Alone Sensors		DBS Dark Bronze Gloss Smooth
7PR 7 Pin Receptacle		GTT Graphite Matte Textured
7PR-SC 7 Pin Receptacle with shorting cap		LGS Light Grey Gloss Smooth
7PR-MD8F 7 pin receptacle with low voltage sensor at 8' mounting for external control accessory		LGT Light Grey Matte Textured
7PR-MD40F 7 pin receptacle with low voltage sensor at 40' mounting for external control accessory		PSS Platinum Silver Smooth
7PR-TL 7 Pin Receptacle with Photocontrol		WHT White Matte Textured
Sensors		WHS White Gloss Smooth
BTS_F Bluetooth Programmable, PIR Occupancy/Daylight Sensor, 360° lens ²		VG Verde Green Textured
BTSO_F Bluetooth Programmable, PIR Occupancy/Daylight Sensor, 360° lens, up to 12' mounting height ³		Color Option
		CC Custom Color

Notes:

- 1 Must specify Voltage
- 2 Replace "_" with "14" for up to 14' mounting height, "40F" for 15-40' mounting height
- 3 Replace "_" with "12" for up to 12' mounting height

SLING Micro Strike

AREA/SITE/ROAD LIGHTER

OUTDOOR LIGHTING CONTROLS OPTIONS

CONTROLS FUNCTIONALITY



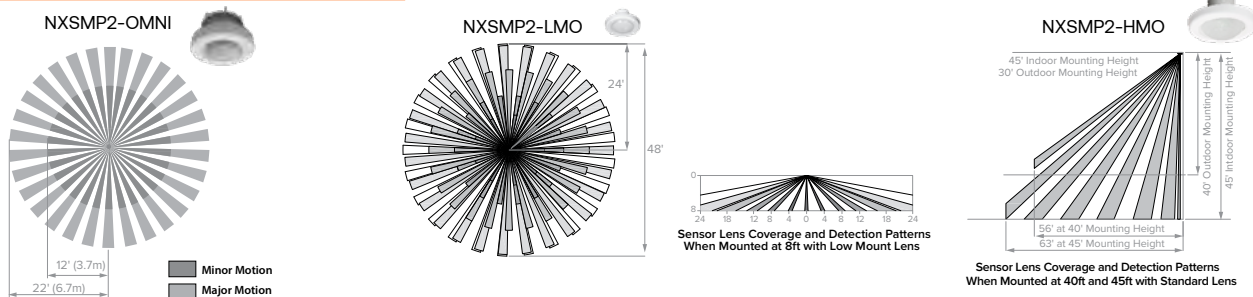
Control Option Ordering Logic & Description		Control Option Functionality									Control Option Components	
		Networkable	Grouping	Scheduling	Occupancy/Motion	Daylight Harvesting	0-10V Dimming	On/Off Control	Bluetooth App Programming	Sensor Height		
NX Wireless	NXW	✓	✓	✓	-	-	✓	✓	✓	-		NXRM2-H
	NXWS12F	✓	✓	✓	✓	✓	✓	✓	✓	12ft		NXSMP2-OMNI-O
	NXWS16F	✓	✓	✓	✓	✓	✓	✓	✓	16ft		NXSMP2-LMO
	NXWS40F	✓	✓	✓	✓	✓	✓	✓	✓	40ft		NXSMP2-HMO
Independent	BTSO-12F	-	-	-	✓	✓	✓	✓	✓	12ft		BTSMP-OMNI-O
	BTS-14F	-	-	-	✓	✓	✓	✓	✓	14ft		BTSMP-LMO
	BTS-40F	-	-	-	✓	✓	✓	✓	✓	40ft		BTSMP-HMO

DEFAULT SETTINGS

NX Wireless	Occupancy Sensor	Enabled
	Occupancy Sensor Sensitivity	7
	Occupancy Sensor Timeout	15 Minutes
	Occupied Dim Level	100%
	Unoccupied Dim Level	0%
	Daylight Sensor	Disabled
	Bluetooth	Enabled
	2.4GHz Wireless Mesh	On
	"Passcode Factory Passcode: HubbN3T!"	Enabled

Stand Alone	Occupancy Sensor	Enabled
	Occupancy Sensor Sensitivity	7
	Occupancy Sensor Timeout	8 Minutes
	Occupied Dim Level	100%
	Unoccupied Dim Level	50%
	Daylight Sensor	Disabled

NX WIRELESS COVERAGE PATTERNS



NX LIGHTING CONTROLS FREE APP

CONTROLS TECH SUPPORT 800-888-8006 (7:00 AM - 7:00 PM)



The NX Lighting Controls App is free to use mobile application for programming both NX Lighting Controls System or Standalone Bluetooth Sensors. The mobile app allows you to configure devices, discover and setup wireless enable luminaires and program NX system settings.

Apple App: <https://apps.apple.com/us/app/nx-lighting-controls/id962112904>

Google Play: https://play.google.com/store/apps/details?id=io.cordova.NXBTR&hl=en_US&q=US






SLING Micro Strike

AREA/SITE/ROAD LIGHTER

OUTDOOR LIGHTING CONTROLS OPTIONS

CONTROLS FUNCTIONALITY

	Control Option Ordering Logic & Description		Control Option Functionality									Control Option Components
			Networkable	Grouping	Scheduling	Occupancy/Motion	Daylight Harvesting	0-10V Dimming	On/Off Control	Bluetooth App Programming	Sensor Height	
Independent	7PR	7-Pin Receptacle	-	-	Paired with external control	-	Paired with external control	-	Paired with external control	-	-	 7PR
	7PR-SC	7-Pin Receptacle with shorting cap	-	-	-	-	-	-	-	-	-	 7PR-SC
	7PR-TL	7-Pin with photocontrol	-	-	-	-	✓	-	✓	-	-	 7PR-TL

SLING Micro Strike

AREA/SITE/ROAD LIGHTER

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

ACCESSORIES (ORDERED SEPARATELY)

Catalog Number	Description
<input type="checkbox"/> ASL1-HSS-90-B-XXX ¹	House Side Shield Back 90 deg
<input type="checkbox"/> ASL1-HSS-90-F-XXX ¹	House Side Shield Front 90 deg
<input type="checkbox"/> ASL1-HSS-90-S-XXX ¹	House Side Shield Side 90 deg
<input type="checkbox"/> ASL1-HSS-270-BSS-XXX ¹	House Side Shield Back, Side & Side 270 deg
<input type="checkbox"/> ASL1-HSS-270-FSS-XXX ¹	House Side Shield Front, Side & Side 270 deg
<input type="checkbox"/> ASL1-HSS-270-FSB-XXX ¹	House Side Shield Front, Side & Back 270 deg
<input type="checkbox"/> ASL1-HSS-360-XXX ¹	House Side Shield 360 deg
<input type="checkbox"/> ASL2-HSS-90-B-XXX ¹	House Side Shield Back 90 deg
<input type="checkbox"/> ASL2-HSS-90-F-XXX ¹	House Side Shield Front 90 deg
<input type="checkbox"/> ASL2-HSS-90-S-XXX ¹	House Side Shield Side 90 deg
<input type="checkbox"/> ASL2-HSS-270-BSS-XXX ¹	House Side Shield Back, Side & Side 270 deg
<input type="checkbox"/> ASL2-HSS-270-FSS-XXX ¹	House Side Shield Front, Side & Side 270 deg
<input type="checkbox"/> ASL2-HSS-270-FSB-XXX ¹	House Side Shield Front, Side & Back 270 deg
<input type="checkbox"/> ASL2-HSS-360-XXX ¹	House Side Shield 360 deg
<input type="checkbox"/> ASL-MAF	Mast arm kit with wildlife shield for mounting on 2 3/8" OD arms
<input type="checkbox"/> SETA2-XX ¹	Square pole tenon adapter (4 at 90 degrees) (2 3/8" OD tenon)
<input type="checkbox"/> RETA2-XX ¹	Round pole tenon adapter (4 at 90 degrees) (2 3/8" OD tenon), requires CLIS-RPA4-ACC-XX for each luminaire
<input type="checkbox"/> RARBC80L	Backlight Control 80L
<input type="checkbox"/> RARBC160L	Backlight Control 160L
<input type="checkbox"/> RARBC320L	Backlight Control 320L
<input type="checkbox"/> RARBC480L	Backlight Control 480L
<input type="checkbox"/> CLIS-RPA*-ACC-CC ¹	Round Pole Adapter (*denotes pole diameter 3=3.25"-3.75", 4=3.875"-4.5", 5=5" and paint color replaces CC
<input type="checkbox"/> ASL-ARMMTG-XX ¹	Arm mounting kit for side of pole attachment
<input type="checkbox"/> WB-AREA-XX ¹	Wall bracket, Compatible with standard arm mount option
<input type="checkbox"/> ASL-MAF	Mast arm kit with wildlife shield for mounting on 2 3/8" OD arms

¹ Replace XX or XXX with color choice, eg: DB for Dark Bronze or BLT for Black Matte Textured

SLING Micro Strike

AREA/SITE/ROAD LIGHTER

DATE: _____ LOCATION: _____
 TYPE: _____ PROJECT: _____
 CATALOG #: _____

PERFORMANCE DATA

Description	Nominal Wattage	System Watts	Dist. Type	5K (5000K NOMINAL 70 CRI)					4K (4000K NOMINAL 70 CRI)					3K (3000K NOMINAL 70 CRI)				
				Lumens	LPW ¹	B	U	G	Lumens	LPW ¹	B	U	G	Lumens	LPW ¹	B	U	G
ASL1	25	25.4	2	3430	135	2	0	2	3413	134	2	0	2	3225	127	2	0	2
			3	3465	136	2	0	2	3448	136	2	0	2	3259	128	2	0	2
			4F	3204	126	1	0	1	3201	126	1	0	1	3127	123	1	0	1
			4W	3401	134	2	0	3	3384	133	2	0	3	3198	126	2	0	3
			5QW	3483	137	4	0	2	3466	136	4	0	2	3274	129	4	0	2
	39	38.0	4F	5005	132	1	0	1	5000	132	1	0	1	4885	129	1	0	1
			2	5232	138	3	0	3	5206	137	3	0	3	4919	129	3	0	3
			3	5287	139	2	0	2	5260	138	2	0	2	4971	131	2	0	2
			4W	5188	137	2	0	3	5163	136	2	0	3	4879	128	2	0	3
	50	49.7	2	6295	127	2	0	2	6263	126	2	0	2	5918	119	2	0	2
			3	6361	128	2	0	2	6329	127	2	0	2	5981	120	2	0	2
			4F	6407	129	1	0	2	6401	129	1	0	2	6254	126	1	0	2
			4W	6243	126	2	0	3	6212	125	2	0	3	5870	118	2	0	3
	70	68.4	5QW	6392	129	4	0	2	6360	128	4	0	2	6009	121	4	0	2
			2	9460	138	3	0	3	9413	138	3	0	3	8895	130	3	0	3
			3	9559	140	2	0	2	9512	139	2	0	2	8989	131	2	0	2
			4F	8988	131	2	0	2	8979	131	2	0	2	8772	128	2	0	2
	100	88.0	4W	9382	137	2	0	3	9335	136	2	0	3	8822	129	2	0	3
			5QW	9610	140	4	0	2	9562	140	4	0	2	9034	132	4	0	2
			2	11939	136	2	0	2	11885	135	2	0	2	11232	128	2	0	2
			3	12064	138	2	0	2	12010	136	2	0	2	11349	129	2	0	2
	115	109.7	4F	12832	146	2	0	2	12819	146	2	0	2	12524	142	2	0	2
			4W	11840	135	2	0	3	11787	135	2	0	3	11138	127	2	0	3
			5QW	12132	138	4	0	2	12071	138	4	0	2	11404	130	4	0	2
			2	15651	143	2	0	2	15577	142	2	0	2	14977	137	2	0	2
	135	133.3	3	15487	141	2	0	2	15413	140	2	0	2	14820	135	2	0	2
			4F	14754	134	2	0	2	14740	134	2	0	2	14401	131	2	0	2
			4W	15305	140	2	0	3	15232	139	2	0	3	14646	134	2	0	3
5QW			15731	143	4	0	2	15632	143	4	0	2	15031	137	4	0	2	
2			18089	136	3	0	3	17999	135	3	0	3	17275	130	3	0	3	
ASL2	133.3	3	17863	134	2	0	2	17777	133	2	0	2	17094	128	2	0	2	
		4F	17317	130	3	0	3	17300	130	3	0	3	16902	127	2	0	3	
		4W	17653	133	2	0	3	17568	132	2	0	3	16893	127	2	0	3	
		5QW	18155	136	4	0	2	18030	135	4	0	2	17338	130	4	0	2	

ASL2 Performance Data on next page

¹ VAC input Lumen values are from photometric test performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations. Actual performance may differ as a result of end-user environment and application.

SLING Micro Strike

AREA/SITE/ROAD LIGHTER

DATE: _____ LOCATION: _____

TYPE: _____ PROJECT: _____

CATALOG #: _____

PERFORMANCE DATA

Description	Nominal Wattage	System Watts	Dist. Type	5K (5000K NOMINAL 70 CRI)					4K (4000K NOMINAL 70 CRI)					3K (3000K NOMINAL 70 CRI)				
				Lumens	LPW ¹	B	U	G	Lumens	LPW ¹	B	U	G	Lumens	LPW ¹	B	U	G
ASL2	145	143.0	2	21007	147	3	0	4	20902	146	3	0	4	20061	140	3	0	4
			3	20842	146	3	0	4	20738	145	3	0	4	19904	139	3	0	4
			4F	19490	136	3	0	3	19471	136	3	0	3	19023	133	3	0	3
			4W	20595	144	3	0	5	20492	143	3	0	5	19669	138	3	0	5
			5QW	21130	148	5	0	4	21024	147	5	0	4	20179	141	5	0	4
	170	168.0	2	24452	146	3	0	4	24330	145	3	0	4	23351	139	3	0	4
			3	24260	144	3	0	4	24139	144	3	0	4	23168	138	3	0	4
			4F	22847	136	3	0	4	22824	136	3	0	4	22299	133	3	0	3
			4W	23972	143	3	0	5	23853	142	3	0	5	22895	136	3	0	5
			5QW	24596	146	5	0	4	24472	146	5	0	4	23488	140	5	0	4
	185	185.0	2	26658	144	4	0	5	26525	143	4	0	5	25457	138	4	0	5
			3	26449	143	3	0	4	26316	142	3	0	4	25258	137	3	0	4
			4F	24834	134	3	0	4	24809	134	3	0	4	24238	131	3	0	3
			4W	26135	141	4	0	5	26005	141	4	0	5	24961	135	4	0	5
			5QW	26814	145	5	0	5	26680	144	5	0	5	25607	138	5	0	5
	210	210.0	2	29872	142	3	0	4	29723	142	3	0	4	28536	136	3	0	4
			3	29638	141	3	0	4	29489	140	3	0	4	28303	135	3	0	4
			4F	30623	146	3	0	4	30592	146	3	0	4	20889	142	3	0	4
			4W	29286	139	3	0	5	29140	139	3	0	5	27970	133	3	0	5
			5QW	30047	143	5	0	4	29896	142	5	0	4	28694	137	5	0	4
	235	235.0	2	32960	140	3	0	4	32796	140	3	0	4	31475	134	3	0	4
			3	32701	139	3	0	4	32537	138	3	0	4	31229	133	3	0	4
			4F	31582	134	3	0	4	31550	134	3	0	4	30825	131	3	0	4
			4W	32313	138	3	0	5	32152	137	3	0	5	30861	131	3	0	5
			5QW	33153	141	5	0	4	32987	140	5	0	4	31660	135	5	0	4
255	261.2	2	36216	142	4	0	5	36035	141	4	0	5	34585	136	4	0	5	
		3	35932	141	3	0	4	35752	140	3	0	4	34314	135	3	0	4	
		4F	34254	131	3	0	4	34219	131	3	0	4	33432	128	3	0	4	
		4W	35505	139	4	0	5	35329	139	4	0	5	33910	133	4	0	5	
		5QW	36428	143	5	0	5	36246	142	5	0	5	34788	136	5	0	5	

¹ VAC input Lumen values are from photometric test performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations. Actual performance may differ as a result of end-user environment and application.

SLING Micro Strike

AREA/SITE/ROAD LIGHTER

DATE: _____ LOCATION: _____

TYPE: _____ PROJECT: _____

CATALOG #: _____

ELECTRICAL DATA

Family	Nominal Wattage	Input Voltage (Volts)	Current (AMPS)	System Power (Watts)
SLING (ASL1)	25	120	0.21	25.4
		208	0.12	
		240	0.11	
		277	0.09	
		347	0.07	
		480	0.05	
	39	120	0.32	38
		208	0.18	
		240	0.16	
		277	0.14	
		347	0.11	
		480	0.08	
	50	120	0.41	49.7
		208	0.24	
		240	0.21	
		277	0.18	
		347	0.14	
		480	0.10	
	70	120	0.57	68.4
		208	0.33	
		240	0.29	
		277	0.25	
		347	0.20	
		480	0.14	
	100	120	0.73	88
		208	0.42	
		240	0.37	
		277	0.32	
		347	0.25	
		480	0.18	
115	120	0.91	109.7	
	208	0.53		
	240	0.46		
	277	0.40		
	347	0.32		
	480	0.23		
135	120	1.11	133.3	
	208	0.64		
	240	0.56		
	277	0.48		
	347	0.38		
	480	0.28		

SLING (ASL2) Next Page

SLING Micro Strike

AREA/SITE/ROAD LIGHTER

ELECTRICAL DATA (CONT'D)

Family	Nominal Wattage	Input Voltage (Volts)	Current (AMPS)	System Power (Watts)
SLING (ASL2)	145	120	1.19	143.0
		208	0.69	
		240	0.60	
		277	0.52	
		347	0.41	
		480	0.30	
	170	120	1.40	168.0
		208	0.81	
		240	0.70	
		277	0.61	
		347	0.48	
		480	0.35	
	185	120	1.54	185.0
		208	0.89	
		240	0.77	
		277	0.67	
		347	0.53	
		480	0.39	
	210	120	1.75	210.0
		208	1.01	
		240	0.88	
		277	0.76	
		347	0.61	
		480	0.44	
	235	120	1.96	235.0
		208	1.13	
		240	0.98	
		277	0.85	
		347	0.68	
		480	0.49	
255	120	2.18	261.2	
	208	1.26		
	240	1.09		
	277	0.94		
	347	0.75		
	480	0.54		

SLING Micro Strike

AREA/SITE/ROAD LIGHTER

PROJECTED LUMEN MAINTENANCE

Ambient Temperature	OPERATING HOURS					
	0	25,000	TM-21-11' L96 60,000	50,000	100,000	L70 (Hours)
25°C / 77°F	1.00	0.97	0.96	0.95	0.91	408,000
40°C / 104°F	0.99	0.96	0.95	0.94	0.89	356,000

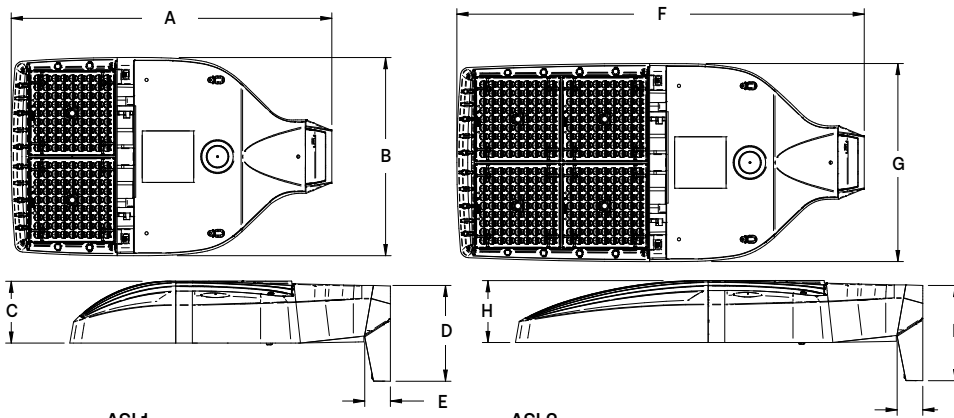
1. Projected per IESNA TM-21-11 (* Cree XP-L, 2100mA, 105°C Ts, 6,000hrs)

LUMINAIRE AMBIENT TEMPERATURE FACTOR (LATF)

Ambient Temperature		Lumen Multiplier
0° C	32° F	1.06
10° C	50° F	1.03
20° C	68° F	1.01
25° C	77° F	1.00
30° C	86° F	0.99
40° C	104° F	0.97

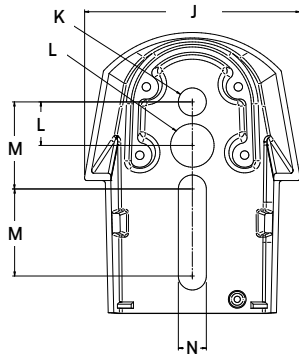
Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

DIMENSIONS



Weight	
ASL1	14.47 lbs (6.56 kgs)
ASL2	17.47 lbs (7.92 kgs)

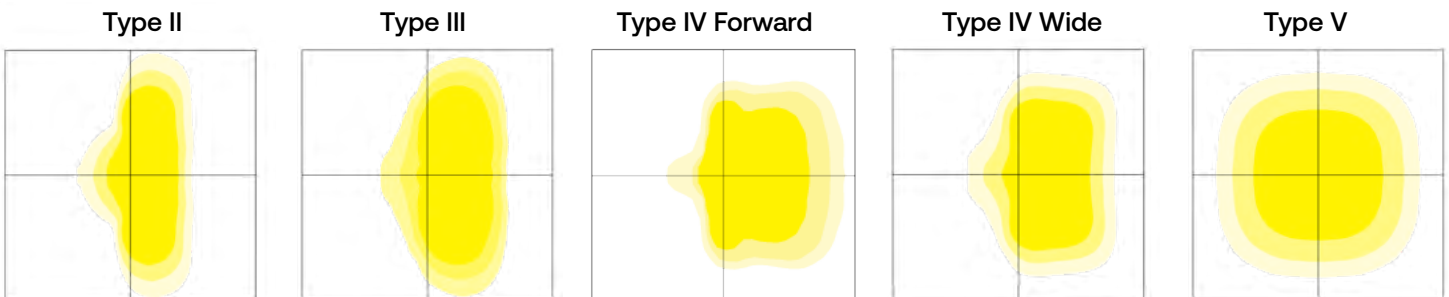
ASL1		ASL2											
A	B	C	D	E	F	G	H	I	ASL1 EPA@0°	ASL2 EPA@0°	ASL1 w/ HSS	ASL2 w/ HSS	
18.9"	11.7"	3.7"	5.65"	1.5"	24.0"	11.7"	3.7"	5.62"	.46 ft. ²	.56 ft. ²	.73 ft. ²	1.01 ft. ²	
480mm	297mm	94mm	144mm	38mm	610mm	297mm	94mm	143mm	.043 m ²	.052 m ²	.068 m ²	.094 m ²	



J	K	L	M	N
4.33"	.562"	.875"	1.75"	.562"
480mm	297mm	94mm	610mm	297mm

PHOTOMETRY

The following diagrams represent the general distribution options offered for this product. For detailed information on specific product configurations, see [website photometric test reports](#).



SLING Micro Strike

AREA/SITE/ROAD LIGHTER

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

ADDITIONAL INFORMATION (CONT'D)

OCCUPANCY SENSOR

- Individual fixture control
- Dims product when space is not occupied



7-PIN RECEPTACLE

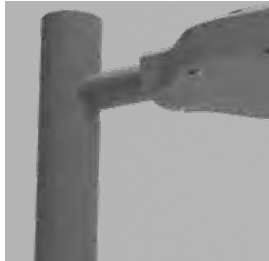
- Compatible with 3-pin, 5-pin or 7-pin photocontrols
- Turns fixture on when sun sets, off when sun rises
- For use with a variety of control platforms



MOUNTING



Arm Mount – Fixture ships with integral arm for ease of installation. Compatible with Outdoor S2 drill pattern.

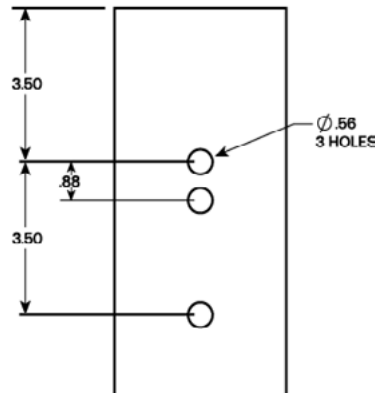


MAF – Fits 2-3/8" OD arms Roadway applications.



Wall Mount – Wall mount bracket designed for building mount applications.

DRILL PATTERN S2

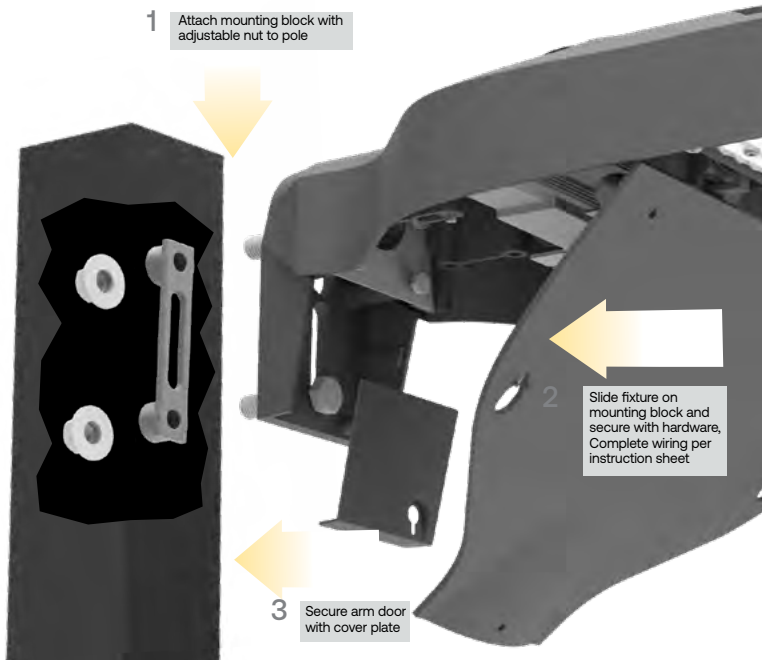


SLING Micro Strike

AREA/SITE/ROAD LIGHTER

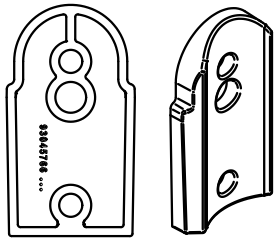
ADDITIONAL INFORMATION (CONT'D)

MOUNTING (CONT'D)



Square Arm Mounting Block –Arm mount block for ease of installation. Compatible with S2 drill patterns from 2.5" to 4.5"

ACCESSORY



ROUND POLE ADAPTER



WB-AREA-XX



SPOKE BRACKET (single arm shown)
Horizontal round arm tenon adapters for use with MAF mounting type or accessory kit. Reference SBH Spoke Pole Top Brackets for ordering information.

SLING Micro Strike

AREA/SITE/ROAD LIGHTER

DATE: _____ LOCATION: _____

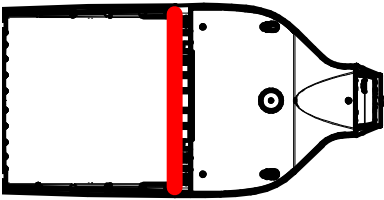
TYPE: _____ PROJECT: _____

CATALOG #: _____

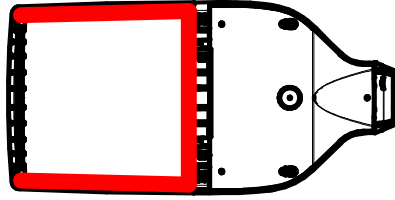
ADDITIONAL INFORMATION (CONT'D)

CONFIGURATIONS

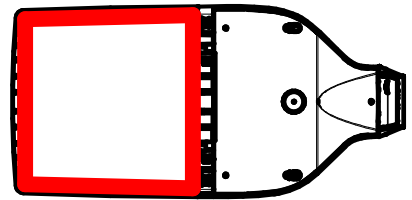
ASLx HSS-90-B-xx



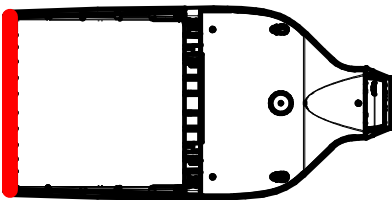
ASLx HSS-270-BSS-xx



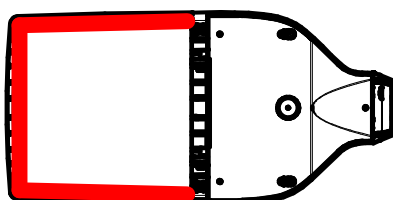
ASLx HSS-360-xx



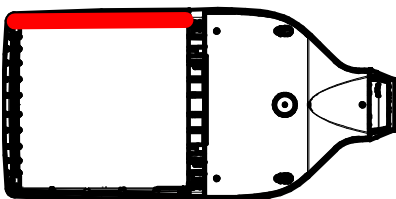
ASLx HSS-90-F-xx



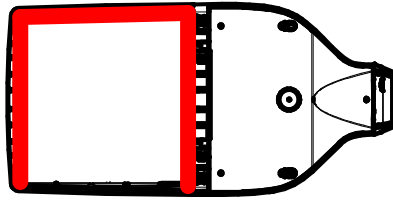
ASLx HSS-270-FSS-xx



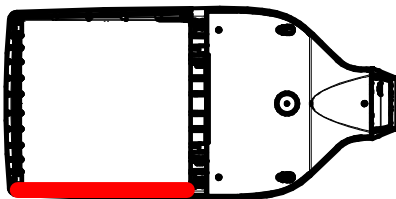
ASLx HSS-90-S-xx



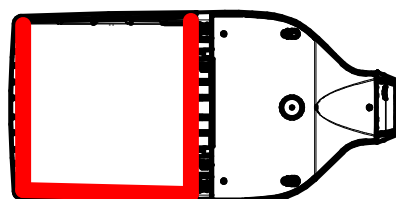
ASLx HSS-270-FSB-xx



ASLx HSS-90-S-xx



ASLx HSS-270-FSB-xx



SSS-H Series Poles

SQUARE STRAIGHT STEEL

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

SPECIFICATIONS

CONSTRUCTION

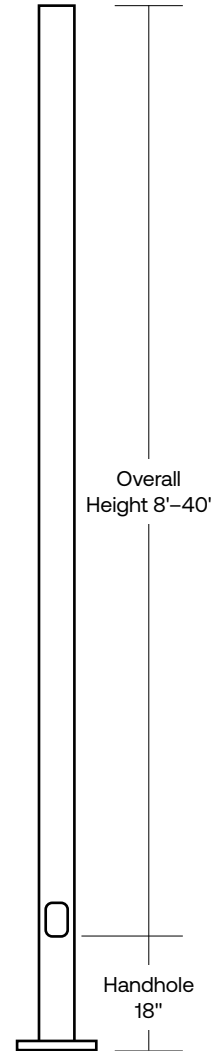
- Shaft: One-piece straight steel with square cross section, flat sides and minimum 0.23" radius on all corners; Minimum yield of 46,000 psi (ASTM-A500, Grade B); Longitudinal weld seam to appear flush with shaft side wall; Steel base plate with axial bolt circle slots welded to pole shaft having minimum yield of 36,000 psi (ASTM A36)
- Base cover: Two-piece square aluminum base cover included standard
- Pole cap: Pole shaft supplied with removable cover when applicable; Tenon and post-top configurations also available
- Hand hole: Rectangular 3x5 steel hand hole frame (2.38" x 4.38" opening); Mounting provisions for grounding lug located behind gasketed cover
- Anchor bolts: Four galvanized anchor bolts provided per pole with minimum yield of 55,000 psi (ASTM F1554). Galvanized hardware with two washers and two nuts per bolt for leveling
 - Anchor bolt part numbers: 3/4 x 30 x 3 — TAB-30-M38
1 x 36 x 4 — TAB-36-M38
- Durable thermoset polyester powder coat paint finish with nominal 3.0 mil thickness
- Powder paint prime applied over "white metal" steel substrate cleaned via mechanical shot blast method
- Decorative finish coat available in multiple standard colors; Custom colors available; RAL number preferable

INSTALLATION

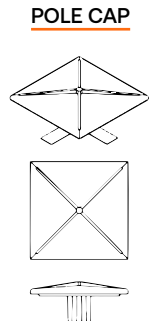
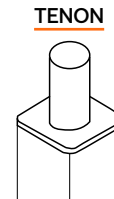
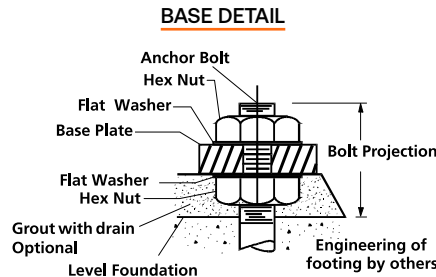
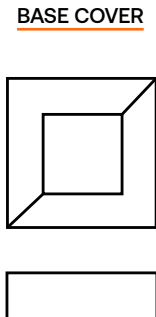
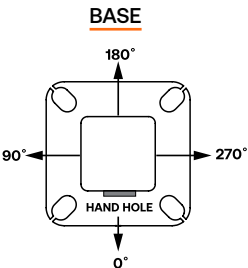
- Lighting installations for side and top mounting of luminaires with effective projected area (EPA) not exceeding maximum allowable loading of the specified pole in its installed geographic location

WAREHOUSE 'STOCKED' POLES:

- SSSH20-40A-4-HV-DBT-WPO and SSS-H25-40A-4HV-DB-WPO (Pole only, must order kit SSSHSTK4KIT for anchor bolts and cap)
- The HV designation in the above catalog numbers is a combination of the S2 pattern and the B3 pattern



SERVICE PROGRAMS



SSS-H Series Poles

SQUARE STRAIGHT STEEL

DATE: _____ LOCATION: _____
 TYPE: _____ PROJECT: _____
 CATALOG #: _____

Gray Shading = Service Program Limit of 15 poles **QS10**

ORDERING INFORMATION

Example: SSS-H-25-40-A-2L-S2-DBT-UL

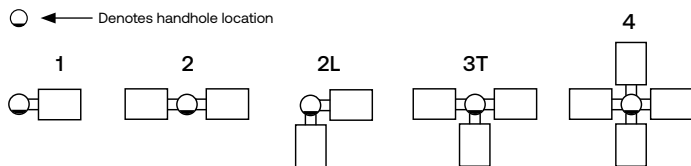
SSS-H Series	Height	Shaft	Thickness	Mounting	Drill Pattern	Finish	Options
SSS-H Square Straight Steel Pole EXO	Reference page 3 Ordering matrix	Reference page 3 Ordering matrix	Reference page 3 Ordering matrix A - .125" Wall B - .188" Wall C - .250" Wall	1 Single arm mount 2 Two fixtures at 180° 2L Two fixtures at 90° 3T Three fixtures at 90° 4 Four fixtures at 90° TA Tenon (2.38" OD x 4" Tall) TB Tenon (2.88" OD x 4" Tall) TC Tenon (3.5" OD x 6" Tall) TR ¹ Removable Tenon (2.38" x 4") OT Open Top (includes pole cap)	B3 2 bolt (2-1/2" spacing), Ratio S2 2 bolt (3-1/2" spacing) UDP Universal Drill Pattern	BLT Black Matte Textured BLS Black Gloss Smooth DBT Dark Bronze Matte Textured DBS Dark Bronze Gloss Smooth GTT Graphite Matte Textured LGT Light Grey Matte Textured LGS Light Grey Gloss Smooth PSS Platinum Silver Smooth WHT White Matte Textured WHS White Gloss Smooth VGT Verde Green Textured Color Option CC Custom Color ²	GF1 ³ 20 Amp GFCI Receptacle and Cover EHH ³ Extra Handhole C05 ³ 5" Coupling C07 ³ 75" Coupling C20 ³ 2" Coupling MPB ³ Mid-pole Luminaire Bracket VM1 ⁴ Mode vibration dampener VM2 ⁵ 2nd mode vibration dampener LAB Less Anchor Bolts UL UL Certified

Accessories (Order Separately)

<input type="checkbox"/> VM2S08	Field-installed 2nd mode vibration dampener - 8 ft
<input type="checkbox"/> VM2S12	Field-installed 2nd mode vibration dampener - 12 ft
<input type="checkbox"/> VM2S16	Field-installed 2nd mode vibration dampener - 16 ft
<input type="checkbox"/> VM2S20	Field-installed 2nd mode vibration dampener - 20 ft
<input type="checkbox"/> VM2S25	Field-installed 2nd mode vibration dampener - 25 ft
<input type="checkbox"/> SSSHSTK4KIT	Pole Cap and anchor bolt kit

- 1 Removable tenon used in conjunction with side arm mounting. First specify desired arm configuration followed by the "TR" notation. Example: SSS-H-25-40-A-1-S2-TR-DB.
- 2 Custom colors available; RAL number preferable
- 3 Specify option location using logic found on page 3 (Option Orientation).
- 4 VM1 recommended on poles 20' and taller with EPA of less than 1.
- 5 There will be a weld witness mark on the side of the pole with the Factory installed VM2

MOUNTING ORIENTATION



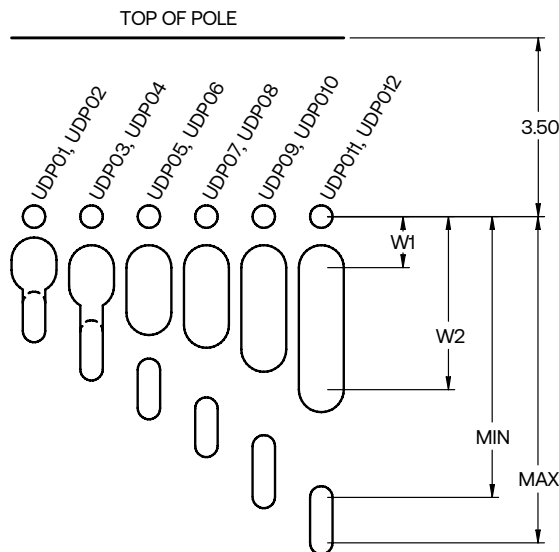
STOCKED POLE ORDERING LOGIC

Catalog #	Description
SSSH20-40A-4-HV-DB-WPO	Square Steel pole, 20', 4" square cross-section, 1/8" wall thickness, Dark Bronze Matte Textured paint. Pole only, no anchor bolts, base cover or pole cap included.
SSSH25-40A-4-HV-DB-WPO	Square Steel pole, 25', 4" square cross-section, 1/8" wall thickness, Dark Bronze Matte Textured paint. Pole only, no anchor bolts, base cover or pole cap included.
SSSHSTK4KIT	Stock kit includes anchor bolts, template, base cover and plastic pole cap. Must be ordered separately from pole.

Note: the HV drill pattern is a combination of the S2 pattern and B3 pattern.

DRILL PATTERNS

UNIVERSAL DRILL PATTERN (UDP)



Two Bolt Mounting with Center Wireway						
Mounting Hardware	Universal Mounting Patterns					
3/8" or less	UDP01	UDP03	UDP05	UDP07	UDP09	UDP011
7/8" to 1/2"	UDP02	UDP04	UDP06	UDP08	UDP10	UDP12
"Min" Attachment Dimension	1.69	2.25	3.00	3.76	4.50	5.50
"Max" Attachment Dimension	2.24	2.99	3.75	4.49	5.49	6.00
W1 (Wireway min)	0.85	1.00	1.00	1.00	1.00	1.00
W2 (Wireway max)	1.05	1.36	1.88	2.13	2.60	3.00

SSS-H Series Poles

SQUARE STRAIGHT STEEL

DATE: _____ LOCATION: _____
 TYPE: _____ PROJECT: _____
 CATALOG #: _____

Gray Shading = Service Program
 Limit of 15 poles **QS10**

ORDERING INFORMATION (CONTINUED)

CATALOG NUMBER	HEIGHT		NOMINAL SHAFT DIMENSIONS	WALL THICKNESS	BOLT CIRCLE (SUGGESTED)	BOLT CIRCLE (RANGE)	BASE PLATE SQUARE	ANCHOR BOLT SIZE	BOLT PROJECTION	POLE WEIGHT (LBS)
	FEET	METERS								
SSS-H-10-40-A-XX-XX	10	3.0	4" square	.0125"	9"	8" - 10"	9"	3/4" x 30" x 3"	3.5	77
SSS-H-12-40-A-XX-XX	12	3.7	4" square	.0125"	9"	8" - 10"	9"	3/4" x 30" x 3"	3.5	90
SSS-H-14-40-A-XX-XX	14	4.3	4" square	.0125"	9"	8" - 10"	9"	3/4" x 30" x 3"	3.5	103
SSS-H-16-40-A-XX-XX	16	4.9	4" square	.0125"	9"	8" - 10"	9"	3/4" x 30" x 3"	3.5	116
SSS-H-18-40-A-XX-XX	18	5.5	4" square	.0125"	9"	8" - 10"	9"	3/4" x 30" x 3"	3.5	129
SSS-H-20-40-A-XX-XX	20	6.1	4" square	.0125"	9"	8" - 10"	9"	3/4" x 30" x 3"	3.5	142
SSS-H-25-40-A-XX-XX	25	7.6	4" square	.0125"	9"	8" - 10"	9"	3/4" x 30" x 3"	3.5	175
SSS-H-14-40-B-XX-XX	14	4.3	4" square	.188"	11"	10" - 12"	10.50"	3/4" x 30" x 3"	3.5	152
SSS-H-16-40-B-XX-XX	16	4.9	4" square	.188"	11"	10" - 12"	10.50"	3/4" x 30" x 3"	3.5	171
SSS-H-18-40-B-XX-XX	18	5.5	4" square	.188"	11"	10" - 12"	10.50"	3/4" x 30" x 3"	3.5	190
SSS-H-20-40-B-XX-XX	20	6.1	4" square	.188"	11"	10" - 12"	10.50"	3/4" x 30" x 3"	3.5	209
SSS-H-25-40-B-XX-XX	25	7.6	4" square	.188"	11"	10" - 12"	10.50"	3/4" x 30" x 3"	3.5	257
SSS-H-30-40-B-XX-XX	30	9.1	4" square	.188"	11"	10" - 12"	10.50"	3/4" x 30" x 3"	3.5	304
SSS-H-16-50-B-XX-XX	16	4.9	5" square	.188"	11"	10.25" - 13.25"	11.50"	1" x 36" x 4"	4.5	219
SSS-H-18-50-B-XX-XX	18	5.5	5" square	.188"	11"	10.25" - 13.25"	11.50"	1" x 36" x 4"	4.5	243
SSS-H-20-50-B-XX-XX	20	6.1	5" square	.188"	11"	10.25" - 13.25"	11.50"	1" x 36" x 4"	4.5	267
SSS-H-25-50-B-XX-XX	25	7.6	5" square	.188"	11"	10.25" - 13.25"	11.50"	1" x 36" x 4"	4.5	327
SSS-H-30-50-B-XX-XX	30	9.1	5" square	.188"	11"	10.25" - 13.25"	11.50"	1" x 36" x 4"	4.5	387
SSS-H-25-50-C-XX-XX	25	7.6	5" square	.25"	11"	10.25" - 13.25"	11.50"	1" x 36" x 4"	4.5	427
SSS-H-30-50-C-XX-XX	30	9.1	5" square	.25"	11"	10.25" - 13.25"	11.50"	1" x 36" x 4"	4.5	507
SSS-H-20-60-B-XX-XX	20	6.1	6" square	.188"	12"	11.00" - 13.25"	12.25"	1" x 36" x 4"	5.0	329
SSS-H-25-60-B-XX-XX	25	7.6	6" square	.188"	12"	11.00" - 13.25"	12.25"	1" x 36" x 4"	5.0	404
SSS-H-30-60-B-XX-XX	30	9.1	6" square	.188"	12"	11.00" - 13.25"	12.25"	1" x 36" x 4"	5.0	479
SSS-H-35-60-B-XX-XX	35	10.7	6" square	.188"	12"	11.00" - 13.25"	12.25"	1" x 36" x 4"	5.0	554
SSS-H-40-60-B-XX-XX	40	12.2	6" square	.188"	12"	11.00" - 13.25"	12.25"	1" x 36" x 4"	5.0	629

- Notes:**
- Factory supplied template must be used when setting anchor bolts. Current will deny any claim for incorrect anchorage placement resulting from failure to use factory supplied template and anchor bolts.
 - For more information about pole vibration and vibration dampeners, please consult factory.
 - Unwrap poles immediately upon receipt to avoid condensation build up and possible corrosion.
 - † There will be a weld witness mark on the side of the pole with the Factory installed VM2.

<p>EHH Extra handhole</p> <p>Provision for Grounding</p>	<p>C05 / C07 / C20 Coupling</p> <p>2" -11.5 NPS C Threads 3/4" - 14 NPS C Threads 1/2" - 14 NPS C Threads</p>	<p>VM1 1st mode vibration dampener</p> <p>Field Installed Pole Top dampener designed to reduce pole top deflection or sway. VM1 is recommended for pole systems 25' and taller with a total EPA of 1.0 or less.</p>	<p>VM2¹ 2nd mode vibration dampener</p> <p>Factory installed, internal dampener designed to alter pole resonance to reduce movement and material fatigue caused by 2nd mode vibration.</p>	<p>VM2SXX Field-installed 2nd mode vibration dampener</p> <p>VM2S08 - 8' VM2S12 - 12' VM2S16 - 16' VM2S20 - 20' VM2S24 - 24'</p> <p>Field installed, internal dampener designed to alter pole resonance to reduce movement and material fatigue caused by 2nd mode vibration.</p>
<p>GFI 20 Amp GCFI Receptacle & Cover</p> <p>Wet Locations In-use Cover</p>	<p>MPB Mid Pole Bracket</p> <p>Attachment stub, 5" long, welded to pole 2" pipe tenon, 4.25" tall Arm, 3" Sq. x 13.5" long (ships separately)</p>	<p>Option Orientation</p> <p>Follow the logic below when ordering location specific options. For each option, include its orientation (in degrees) and its height (in feet).</p> <p>Example: Option C05 should be ordered as: SSS-H-20-40-A-TA-DB-C05-0-15 (5" coupling on the handhole/arm side of pole, 15' up from the pole base) † spacing required between option. Consult factory for other configurations.</p> <p>Height of option in feet</p>		

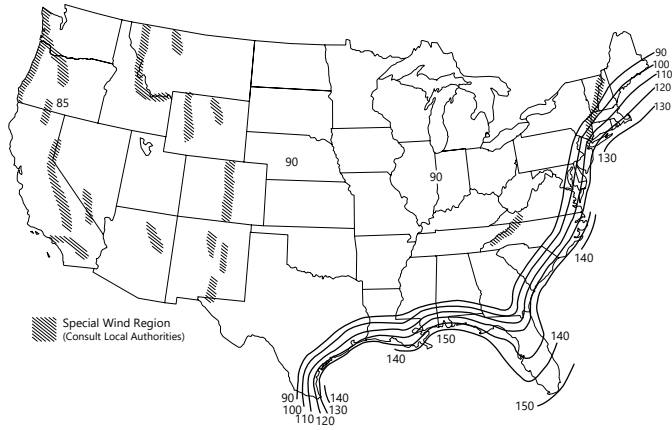
SSS-H Series Poles

SQUARE STRAIGHT STEEL

DATE: _____ LOCATION: _____
 TYPE: _____ PROJECT: _____
 CATALOG #: _____

WIND MAPS

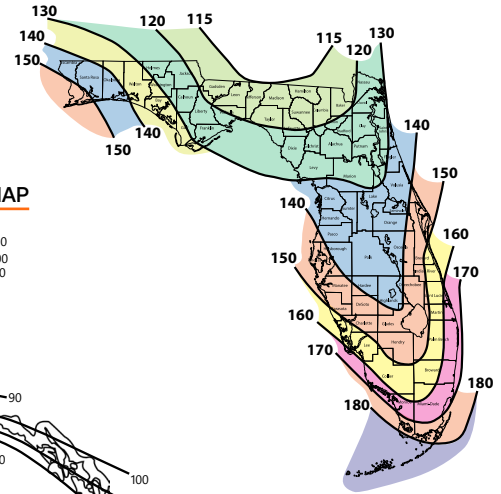
ASCE7-05 WIND MAP



HAWAII – 105 mph
PUERTO RICO – 145 mph

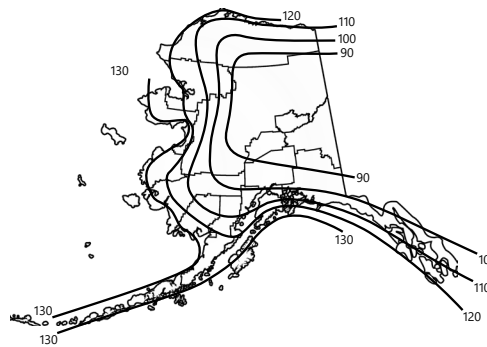
*Printed with permission from ASCE

FLORIDA REGION WIND MAP



Florida region wind map above is based upon 3-second gust winds and the 2017 Florida Building Code.

ALASKA REGION WIND MAP



ASCE 7-05 wind map EPA Load Rating - 3 second gust wind speeds (Use for all locations except Florida)										
Catalog Number	85	90	100	105	110	120	130	140	145	150
SSS-H-10-40-A	25.0	25.0	25.0	22.8	20.6	17.0	14.2	11.9	11.0	10.1
SSS-H-12-40-A	25.0	25.0	20.0	18.0	16.1	13.2	10.8	8.9	8.1	7.4
SSS-H-14-40-A	23.1	20.4	16.1	14.3	12.8	10.2	8.2	6.6	5.9	5.3
SSS-H-16-40-A	19.0	16.7	13.0	11.5	10.1	7.9	6.2	4.7	4.1	3.6
SSS-H-18-40-A	15.6	13.6	10.0	9.0	7.8	5.9	4.4	3.1	2.6	2.1
SSS-H-20-40-A	12.7	10.9	7.9	6.9	5.9	4.2	2.8	1.7	1.3	0.9
SSS-H-25-40-A	7.3	5.9	3.8	2.9	2.1	0.8	NR	NR	NR	NR
SSS-H-14-40-B	25.0	25.0	23.3	20.8	18.6	15.1	12.3	10.2	9.2	8.4
SSS-H-16-40-B	25.0	24.9	19.4	17.3	15.4	12.3	9.9	8.0	7.2	6.4
SSS-H-18-40-B	24.0	20.8	16.1	14.2	12.5	9.8	7.7	6.1	5.3	4.7
SSS-H-20-40-B	20.2	17.5	13.2	11.6	10.1	7.7	5.9	4.4	3.8	3.2
SSS-H-25-40-B	12.8	11.0	7.9	6.7	5.5	3.7	2.3	1.2	0.7	NR
SSS-H-30-40-B	8.0	6.6	4.1	3.1	2.2	0.8	NR	NR	NR	NR
SSS-H-16-50-B	25.0	25.0	25.0	25.0	24.8	20.1	16.5	13.6	12.3	11.2
SSS-H-18-50-B	25.0	25.0	25.0	22.9	20.4	16.4	13.2	10.7	9.6	8.6
SSS-H-20-50-B	25.0	25.0	21.3	18.9	16.7	13.2	10.4	8.1	7.2	6.3
SSS-H-25-50-B	20.7	17.8	13.3	11.5	9.8	7.2	5.0	3.3	2.6	1.9
SSS-H-30-50-B	13.5	11.3	7.7	6.2	4.9	2.8	1.1	NR	NR	NR
SSS-H-25-50-C	25.0	25.0	19.4	17.1	15.1	11.7	9.0	6.9	6.0	5.1
SSS-H-30-50-C	20.1	17.3	12.7	10.9	9.3	6.6	4.5	2.8	2.1	1.4
SSS-H-20-60-B	25.0	25.0	25.0	25.0	25.0	20.2	16.1	12.9	11.5	10.3
SSS-H-25-60-B	25.0	25.0	20.6	18.0	15.6	11.8	8.7	6.2	5.2	4.2
SSS-H-30-60-B	21.4	18.1	12.9	10.7	8.8	5.7	3.3	1.3	NR	NR
SSS-H-35-60-B	14.0	11.3	6.9	5.2	3.6	1.0	NR	NR	NR	NR
SSS-H-40-60-B	8.1	5.8	2.2	nr	NR	NR	NR	NR	NR	NR

Florida Building Code 2017 EPA Load Rating - 3 second gust wind speeds (Use for Florida only)								
Catalog Number	115	120	130	140	150	160	170	180
SSS-H-10-40-A	25.0	25.0	25.0	25.0	21.4	18.4	15.9	13.9
SSS-H-12-40-A	25.0	25.0	23.6	19.8	16.7	14.2	12.1	10.4
SSS-H-14-40-A	25.0	23.1	19.0	15.7	13.1	10.9	9.1	7.6
SSS-H-16-40-A	20.8	18.7	15.2	12.3	10.1	8.2	6.7	5.4
SSS-H-18-40-A	16.8	15.0	11.9	9.4	7.5	5.9	4.5	3.4
SSS-H-20-40-A	13.6	11.9	9.2	7.1	5.3	3.9	2.7	1.7
SSS-H-25-40-A	7.4	6.2	4.1	2.5	1.1	NR	NR	NR
SSS-H-14-40-B	25.0	23.6	19.4	16.1	13.4	11.2	9.4	7.8
SSS-H-16-40-B	21.4	19.2	15.6	12.7	10.4	8.5	6.9	5.6
SSS-H-18-40-B	17.2	15.4	12.2	9.7	7.7	6.1	4.7	3.6
SSS-H-20-40-B	13.9	12.3	9.5	7.3	5.5	4.1	2.9	1.9
SSS-H-25-40-B	7.7	6.4	4.3	2.6	1.3	NR	NR	NR
SSS-H-30-40-B	3.2	2.1	NR	NR	NR	NR	NR	NR
SSS-H-16-50-B	25.0	25.0	25.0	25.0	25.0	21.4	18.2	15.5
SSS-H-18-50-B	25.0	25.0	25.0	24.4	20.4	17.0	14.2	11.9
SSS-H-20-50-B	25.0	25.0	24.4	19.9	16.3	13.4	11.0	8.9
SSS-H-25-50-B	21.8	19.3	15.0	11.5	8.8	6.5	4.7	3.1
SSS-H-30-50-B	13.7	11.7	8.2	5.5	3.3	1.5	NR	NR
SSS-H-25-50-C	21.8	19.3	15.0	11.5	8.8	6.5	4.7	3.1
SSS-H-30-50-C	13.7	11.7	8.2	5.5	3.3	1.5	NR	NR
SSS-H-20-60-B	25.0	25.0	25.0	21.9	17.8	14.5	11.7	9.4
SSS-H-25-60-B	23.8	20.9	16.1	12.3	9.2	6.6	4.5	2.8
SSS-H-30-60-B	14.6	12.3	8.4	5.3	2.8	0.8	NR	NR
SSS-H-35-60-B	7.5	5.6	2.4	NR	NR	NR	NR	NR
SSS-H-40-60-B	1.8	NR	NR	NR	NR	NR	NR	NR

SSS-H Series Poles

SQUARE STRAIGHT STEEL

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

NOTES

Wind-speed Website disclaimer:

Current has no connection to the linked website and makes no representations as to its accuracy. While the information presented on this third party website provides a useful starting point for analyzing wind conditions, Current has not verified any of the information on this third party website and assumes no responsibility or liability for its accuracy. The material presented in the windspeed website should not be used or relied upon for any specific application without competent examination and verification of its accuracy, suitability and applicability by engineers or other licensed professionals. Current does not intend that the use of this information replace the sound judgment of such competent professionals, having experience and knowledge in the field of practice, nor to substitute for the standard of care required of such professionals in interpreting and applying the results of the windspeed report provided by this website. Users of the information from this third party website assume all liability arising from such use. Use of the output of these referenced websites do not imply approval by the governing building code bodies responsible for building code approval and interpretation for the building site described by latitude/longitude location in the windspeed report. <http://windspeed.atcouncil.org>

- Allowable EPA, to determine max pole loading weight, multiply allowable EPA by 30 lbs.
- The tables for allowable pole EPA are based on the ASCE 7-05 Wind Map or the Florida Region Wind Map for the 2010 Florida Building Code. The Wind Maps are intended only as a general guide and cannot be used in conjunction with other maps. Always consult local authorities to determine maximum wind velocities, gusting and unique wind conditions for each specific application
- Allowable pole EPA for jobsite wind conditions must be equal to or greater than the total EPA for fixtures, arms, and accessories to be assembled to the pole. Responsibility lies with the specifier for correct pole selection. Installation of poles without luminaires or attachment of any unauthorized accessories to poles is discouraged and shall void the manufacturer's warranty
- Wind speeds and listed EPAs are for ground mounted installations. Poles mounted on structures (such as bridges and buildings) must consider vibration and coefficient of height factors beyond this general guide; Consult local and federal standards
- Wind Induced Vibration brought on by steady, unidirectional winds and other unpredictable aerodynamic forces are not included in wind velocity ratings. Consult Current Lighting's Pole Vibration Application Guide for environmental risk factors and design considerations.
- Extreme Wind Events like, Hurricanes, Typhoons, Cyclones, or Tornadoes may expose poles to flying debris, wind shear or other detrimental effects not included in wind velocity ratings